



BOARD OF DIRECTORS MEETING

September 8, 2026

5:30 P.M.

Auburn Hills City Hall, Council Conference Room • 1827 N. Squirrel Road, Auburn Hills, MI
Minutes of the TIFA Board Meeting will be on file in the City Clerk's Office • 248-370-9402

MEETING CALLED TO ORDER

1) ROLL CALL

2) PERSONS WISHING TO BE HEARD

3) APPROVAL OF MINUTES

- a) TIFA Regular Meeting Minutes – August 20, 2026

4) CORRESPONDENCE AND PRESENTATIONS

5) CONSENT AGENDA

All items listed are considered to be routine by the Tax Increment Finance Authority and will be enacted by one motion. There will be no separate discussion of these items unless a Board Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

- a) FY 2026 Adopted Budget and YTD Summary – August 31, 2026

6) UNFINISHED BUSINESS

7) NEW BUSINESS

- a) Election of Officer – Vice Chairperson
- b) Approval of 2027 Proposed Budget
- c) Executive Hills Road Project – Budget Amendment
- d) Primary Street Parking Lot Project – Change Order & Budget Amendments
- e) TIF-A Budget Amendment

8) EXECUTIVE DIRECTOR REPORT

9) BOARD MEMBER COMMENTS

10) CLOSED SESSION

- a) Motion – To meet in closed session to discuss property acquisition pursuant to MCL 15.268(1)(d) of the Open Meetings Act

11) ADJOURNMENT

Next Meeting is Scheduled for October 13, 2026 at 5:30 p.m.



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: September 8, 2026

AGENDA ITEM NO _____

TAX INCREMENT FINANCE AUTHORITY

**“Not Yet Approved”
CITY OF AUBURN HILLS
TAX INCREMENT FINANCE AUTHORITY MEETING**

August 20, 2026

CALL TO ORDER: Chairman Kneffel called the meeting to order at 5:10 PM.

ROLL CALL:

Present:	Kneffel, Goodhall, Ferro, Fletcher, Long, Cartwright
Absent:	Barash
Also Present:	Andrew Hagge, Assistant to the City Manager/TIFA Executive Director; Thomas A. Tanghe, City Manager
Guests:	None

LOCATION: Fieldstone Golf Club Board Room, 1984 Taylor Road, Auburn Hills, MI 48326

PERSONS WISHING TO BE HEARD

None

APPROVAL OF MINUTES

A. TIFA Regular Meeting Minutes – July 21, 2026

There was no discussion on the approval of the minutes.

**Moved by Mr. Goodhall to approve the TIFA Board of Directors Regular Meeting Minutes from July 21, 2026, as presented.
Seconded by Dr. Fletcher**

**Yes: Kneffel, Goodhall, Fletcher, Long, Cartwright
No: none**

Motion Carried

CONSENT AGENDA

A. FY 2026 Adopted Budget and YTD Summary – July 31, 2026

There was no discussion of the Consent Agenda.

**Moved by Dr. Fletcher to approve the Consent Agenda.
Seconded by Mr. Goodhall**

**Yes: Kneffel, Goodhall, Fletcher, Long, Cartwright
No: None**

Motion Carried

UNFINISHED BUSINESS

None

NEW BUSINESS**A. ChargePoint Renewal**

Mr. Hagge presented the agenda item regarding the renewal of the ChargePoint service contract. The ChargePoint service contract includes maintenance and cloud plans between the TIFA and ChargePoint for the electric vehicle charging stations located in both TIF-A and TIF-D districts. The existing agreement is set to expire in October of 2026. In previous years, the TIFA Board has approved one-year extensions with ChargePoint. One-year extensions give the Board flexibility and optionality if better, more worthwhile service providers come into the market. Additionally, the agreement for one-year of service did not increase and remained stagnant between years 2025, 2026, and going into 2027.

Moved by Mr. Long to approve a one-year renewal of the ChargePoint Cloud Plan and the ChargePoint Assure Maintenance and Management Plan in an amount not to exceed \$8,850.

Seconded by Ms. Cartwright

Yes: Kneffel, Goodhall, Fletcher, Ferro, Long, Cartwright
No: none

Motion Carried

B. Parking Lease Extension – Auburn Square

Mr. Hagge presented the agenda item regarding the parking lease extension for Auburn Square. The current parking space lease agreement between Auburn Square apartments and the TIFA is set to expire on December 31, 2026. Originally, the downtown parking structure and Auburn Square apartments were built as companion pieces. Residents at Auburn Square can directly access each level of the parking structure through direct exits and entrances at Auburn Square. Additionally, Auburn Square is responsible for certain types of maintenance throughout the parking structure, like elevator maintenance for example.

The proposed parking lease extension agreement would span from January 1, 2027 and expire on December 31, 2039. Related, the TIFA Board signed an agreement with The Webster development to lease parking spaces within the parking structure in 2022. The proposed extension with Auburn Square would align with the per-space, per-month rates that are currently in place with The Webster.

Finally, Mr. Hagge noted that before this agreement can be formally executed, the Auburn Hills City Council will need to approve the agreement. That is because the agreement's expiration stretches beyond the sunset of the TIFA districts on December 31, 2031. When the TIFA expires, this agreement, like other TIFA assets, will fold into the city's assets.

Moved by Mr. Long to approve the Parking Space Lease Agreement Extension between the Auburn Hills Tax Increment Finance Authority and Auburn Hills Housing, LLC, upon final review and approval by the City Attorney and authorize the Executive Director to sign the final agreement. Furthermore, recommend approval of the Parking Space Lease Agreement Extension to the Auburn Hills City Council.

Seconded by Dr. Fletcher

Yes: Kneffel, Goodhall, Fletcher, Ferro, Long, Cartwright
No: none

Motion Carried

C. Purchase Approval – City Hall Office Remodel

Mr. Hagge presented the agenda item regarding the purchase approval for the City Hall Office Remodel project. This phase of the project contains the offices within the City Manager's Wing within City Hall. That wing includes the City Manager's Office Executive Suite, Human Resources' offices, as well as Economic Development and Community Relations offices. Additionally, this purchase approval memo is only for furniture purchases. Other aspects of this project, including items like floor and wall coverings, were not covered in this memo. Those items will be brought to the TIFA Board at a later TIFA meeting.

The total cost of office furniture for the City Manager's Wing in City Hall came to \$156,207.09. The TIFA Board budgeted \$275,000 within the TIF-D 2026 budget, which will cover all the non-furniture costs of the office remodel project.

Moved by Mr. Ferro to approve the purchase of office furniture for the offices in the City Manager wing at City Hall from ISCG, Inc. 612 N. Main Street, Royal Oak, MI under MiDeal contract numbers 22000000043 and 240000000497, and OMNIA contract number R240108. Total costs shall not exceed \$156,207.09.

Seconded by Mr. Long

Yes: Kneffel, Goodhall, Fletcher, Ferro, Long, Cartwright

No: none

Motion Carried

CORRESPONDENCE & PRESENTATIONS

A. 2027 – 2031 Budget Presentation

Mr. Hagge presented the 2027 through 2031 proposed budget to the TIFA Board of Directors. The budget provided a look-ahead to all the major projects that would take place in all three of the TIFA districts in both 2027 but from 2028 through 2031 as well.

Additionally, the presentation summarized the largest expenditures and revenues for each district in both 2026 and 2027, giving the Board of Directors insight into the year-over-year changes in the budget. Mr. Hagge noted to the Board that a formal motion is not required. Instead, this presentation allows for the Board to receive the necessary budget information, ask questions, and make requests before the budget is adopted during the September 2026 TIFA Board of Directors meeting.

EXECUTIVE DIRECTOR REPORT

Mr. Hagge provided a couple different updates to the Board. First, regarding future agenda items, Mr. Hagge anticipated that more agenda items would cover the floor and wall covering aspects of the City Hall remodel project within the City Manager's Wing. Additionally, Mr. Hagge mentioned that he had been working with Stephanie Carroll, the city's Economic Development Manager and the DDA's Executive Director, to schedule a joint meeting between the TIFA and the DDA in October of this year.

BOARD MEMBER COMMENTS

Mr. Kneffel mentioned to the Board that we ought to schedule a vote to fill the now vacant Vice Chair position that was created with the resignation of Anthony Barash. Additionally, the Board asked for an update regarding The DEN renovation project. Mr. Hagge will get DPW representation at the upcoming September meeting to provide an update to the Board.

ANNOUNCEMENT OF NEXT MEETING

The next regularly scheduled TIFA Board of Directors meeting is scheduled for Tuesday, September 8, 2026, at 5:30 p.m. in the City Hall Administrative Conference Room located at 1827 N. Squirrel Road, Auburn Hills, Michigan 48326.

ADJOURNMENT

Moved by Dr. Fletcher to adjourn the TIFA Board meeting.

Seconded by Mr. Long

Yes: Kneffel, Goodhall, Ferro, Fletcher, Long, Cartwright

No: None

Motion carried

The TIFA Board of Directors meeting adjourned at 6:37 p.m.

Steve Goodhall
Secretary of the Board

Andrew Hagge
Assistant to the City Manager



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director;

DATE: September 1, 2026

SUBJECT: FY 2026 Adopted Budget and YTD Summary – August 31, 2026

STATEMENT OF NET POSITION

<u>TIF-A</u>	<u>TIF-B</u>	<u>TIF-D</u>
• \$2.7 million cash • \$1,129,079 million invested ○ \$638,458 – MiClass ○ \$490,621 – MiClass Edge	• \$12.1 million cash • \$3.6 million invested ○ \$3.6 million – MiClass Edge	• \$4.6 million cash • \$0 invested

TIFA 85-A STATEMENT OF REVENUES AND EXPENDITURES

- Approximately 62% of budgeted revenues have been received for TIF-A in fiscal year 2026.

Property Taxes:	\$774,615
Other Revenue:	\$48,771
Interest:	\$59,691
EV Charging Fees:	\$2,480
	\$885,557
- Approximately 15% of budgeted expenditures have been utilized for fiscal year 2026.

TIFA 85-B STATEMENT OF REVENUES AND EXPENDITURES

- Approximately 78% of budgeted revenues have been received for TIF-B in fiscal year 2026.

Property Taxes:	\$1,421,219
Interest:	\$221,392
	\$1,642,611
- Approximately 31% of budgeted expenditures have been utilized for fiscal year 2026.

TIFA 86-D STATEMENT OF REVENUES AND EXPENDITURES

- Approximately 36% of budgeted revenues have been received for TIF-D in fiscal year 2026.

Property Taxes:	\$271,027
Interest:	\$64,212
EV Charging Fees:	\$1,938
Event Sponsorships:	\$43,000
	\$380,177
- Approximately 35% of budgeted expenditures have been utilized for fiscal year 2026.

An appropriate motion is:

Move to receive and file the TIFA Financial Report for period ending August 31, 2026.

BALANCE SHEET REPORT FOR CITY OF AUBURN HILLS
Balance As of 08/31/2026

GL Number	Description	YTD Balance 08/31/2026
Fund: 251 TIFA A		
*** Assets ***		
251-000-001.000	CASH	2,672,731.59
251-000-017.004	CASH - MICCLASS	638,457.51
251-000-017.005	CASH - MICCLASS EDGE	490,621.05
251-000-040.000	ACCOUNTS RECEIVABLE	0.80
251-000-062.000	Lease Receivable	45,650.00
251-000-130.000	LAND	6,336,254.47
251-000-132.000	LAND IMPROVEMENTS	5,523,510.43
251-000-133.000	ACCUM DEPREC-LAND & IMPROV	(2,956,797.92)
251-000-136.000	BLDGS, BLDG ADDITIONS AND	6,409,122.17
251-000-137.000	ACCUM DEPREC-BLDGS & ADDS & IMPROVEMNTS	(1,981,313.81)
251-000-146.000	OFFICE EQUIPMENT AND FURN	238,719.42
251-000-147.000	ACC. DEPR. - OFFICE EQUIP	(179,547.20)
251-000-159.000	MACHINERY & EQUIPMENT	167,877.38
251-000-160.000	ACCUM DEPREC-MACH & EQUIP	(129,411.82)
251-000-163.000	ROADS & INFRASTRUCTURE	17,713,486.23
251-000-164.000	ACCUM DEPREC-ROAD & INFRASTURE	(10,576,581.32)
Total Assets		24,412,778.98
*** Liabilities ***		
251-000-275.000	DUE TO TAXPAYERS	13,602.81
251-000-360.001	Deferred Inflow of Resources	45,650.00
Total Liabilities		59,252.81
*** Fund Equity ***		
251-000-390.000	FUND BALANCE	24,088,291.47
Total Fund Equity		24,088,291.47
Total Fund 251:		
TOTAL ASSETS		24,412,778.98
BEG. FUND BALANCE		24,088,291.47
+ NET OF REVENUES & EXPENDITURES		265,234.70
= ENDING FUND BALANCE		24,353,526.17
+ LIABILITIES		59,252.81
= TOTAL LIABILITIES AND FUND BALANCE		24,412,778.98

BALANCE SHEET REPORT FOR CITY OF AUBURN HILLS
Balance As of 08/31/2026

GL Number	Description	YTD Balance 08/31/2026
Fund: 252 TIFA B		
*** Assets ***		
252-000-001.000	CASH	12,154,309.15
252-000-017.004	CASH - MICLASS	0.19
252-000-017.005	CASH - MICLASS EDGE	3,556,092.08
252-000-132.000	LAND IMPROVEMENTS	1,415,205.92
252-000-133.000	ACCUM DEPREC-LAND & IMPROV	(1,199,831.01)
252-000-158.000	CONSTRUCTION-IN-PROGRESS	352,456.78
252-000-159.000	MACHINERY & EQUIPMENT	64,200.00
252-000-160.000	ACCUM DEPREC-MACH & EQUIP	(33,360.00)
252-000-163.000	ROADS & INFRASTRUCTURE	9,772,855.05
252-000-164.000	ACCUM DEPREC-ROAD & INFRASTURE	(3,859,984.90)
Total Assets		22,221,943.26
*** Liabilities ***		
252-000-275.000	DUE TO TAXPAYERS	(45,211.96)
Total Liabilities		(45,211.96)
*** Fund Equity ***		
252-000-390.000	FUND BALANCE	22,177,348.18
Total Fund Equity		22,177,348.18
Total Fund 252:		
TOTAL ASSETS		22,221,943.26
BEG. FUND BALANCE		22,177,348.18
+ NET OF REVENUES & EXPENDITURES		89,807.04
= ENDING FUND BALANCE		22,267,155.22
+ LIABILITIES		(45,211.96)
= TOTAL LIABILITIES AND FUND BALANCE		22,221,943.26

BALANCE SHEET REPORT FOR CITY OF AUBURN HILLS
Balance As of 08/31/2026

GL Number	Description	YTD Balance 08/31/2026
Fund: 253 TIFA D		
*** Assets ***		
253-000-001.000	CASH	4,654,067.73
253-000-017.004	CASH - MICLASS	1.33
253-000-019.000	TAXES RECEIVABLE	(76,579.77)
253-000-130.000	LAND	2,017,211.00
253-000-132.000	LAND IMPROVEMENTS	3,726,962.87
253-000-133.000	ACCUM DEPREC-LAND & IMPROV	(1,667,371.19)
253-000-136.000	BLDGS, BLDG ADDITIONS AND	21,064,504.40
253-000-137.000	ACCUM DEPREC-BLDGS & ADDS & IMPROVEMNTS	(11,058,029.47)
253-000-146.000	OFFICE EQUIPMENT AND FURN	25,794.03
253-000-147.000	ACC. DEPR. - OFFICE EQUIP	(20,634.55)
253-000-158.000	CONSTRUCTION-IN-PROGRESS	117,611.35
253-000-159.000	MACHINERY & EQUIPMENT	42,919.48
253-000-160.000	ACCUM DEPREC-MACH & EQUIP	(40,902.85)
253-000-163.000	ROADS & INFRASTRUCTURE	8,984,067.60
253-000-164.000	ACCUM DEPREC-ROAD & INFRASTURE	(3,198,350.27)
Total Assets		24,571,271.69
*** Liabilities ***		
253-000-211.000	RETAINAGE PAYABLE	49,362.66
253-000-214.703	DUE TO TRUST AND AGENCY	16,105.67
253-000-275.000	DUE TO TAXPAYERS	42,731.86
253-000-339.000	UNEARNED (DEFERRE) REVENUE	(76,579.77)
Total Liabilities		31,620.42
*** Fund Equity ***		
253-000-390.000	FUND BALANCE	25,528,811.06
Total Fund Equity		25,528,811.06
Total Fund 253:		
TOTAL ASSETS		24,571,271.69
BEG. FUND BALANCE		25,528,811.06
+ NET OF REVENUES & EXPENDITURES		(989,159.79)
= ENDING FUND BALANCE		24,539,651.27
+ LIABILITIES		31,620.42
= TOTAL LIABILITIES AND FUND BALANCE		24,571,271.69

REVENUE AND EXPENDITURE REPORT FOR CITY OF AUBURN HILLS

Balance As of 08/31/2026

*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2026 Original Budget	2026 Amended Budget	YTD Balance 08/31/2026	Available Balance 08/31/2026	% Bdgt Used	Account Classificatio n
Fund: 251 TIFA A							
Account Category: Revenues							
Department: 735 TIFA A							
20	PROPERTY TAXES	945,566.00	945,566.00	774,614.64	170,951.36	81.92	
25	STATE SHARED REVENUE	192,335.00	192,335.00	0.00	192,335.00	0.00	
35	CHARGES FOR SERVICES	300.00	300.00	2,480.23	(2,180.23)	826.74	
28	INTEREST REVENUE	104,514.00	104,514.00	59,691.40	44,822.60	57.11	
39	OTHER REVENUE	80,537.00	80,537.00	48,771.40	31,765.60	60.56	
38	TRANSFERS FROM FUNDS	100,000.00	100,000.00	0.00	100,000.00	0.00	
Total Dept 735 - TIFA A		1,423,252.00	1,423,252.00	885,557.67	537,694.33	62.22	
Revenues		1,423,252.00	1,423,252.00	885,557.67	537,694.33	62.22	
Account Category: Expenditures							
Department: 735 TIFA A							
251-735-708.000-TREELIGHTING	OVERTIME WAGES	2,600.00	2,600.00	0.00	2,600.00	0.00	
251-735-715.000-TREELIGHTING	SOCIAL SECURITY	200.00	200.00	0.00	200.00	0.00	
251-735-722.000	WORKERS COMPENSATION	22.00	22.00	29.43	(7.43)	133.77	
251-735-729.000	PRINTING	1,500.00	1,500.00	0.00	1,500.00	0.00	
251-735-730.000	POSTAGE	250.00	250.00	0.00	250.00	0.00	
251-735-732.000	SOFTWARE & LICENSES SUBSCRIPTIONS	10,000.00	10,000.00	0.00	10,000.00	0.00	
251-735-799.000	EQUIPMENT UNDER \$5,000	2,800.00	2,800.00	0.00	2,800.00	0.00	
251-735-800.199	LANDSCAPE/GEN MAINT	10,000.00	10,000.00	1,048.01	8,951.99	10.48	
251-735-802.000-CHAMBER_3395	CONTRACTED SERVICES	5,000.00	5,000.00	0.00	5,000.00	0.00	
251-735-802.000-THEDEN__3388	CONTRACTED SERVICES	5,000.00	5,000.00	3,700.50	1,299.50	74.01	
251-735-810.000	INVESTMENT MANAGEMENT FEES	425.00	425.00	19.99	405.01	4.70	
251-735-817.000	CONSULTANT SERVICES	5,000.00	5,000.00	0.00	5,000.00	0.00	
251-735-851.000-PKSTRUC_3381	TELEPHONE	1,231.00	1,231.00	713.10	517.90	57.93	
251-735-851.000-THEDEN__3388	TELEPHONE	0.00	0.00	730.08	(730.08)	100.00	
251-735-885.000	COMMUNITY RELATIONS	3,000.00	3,000.00	0.00	3,000.00	0.00	
251-735-885.000-TREELIGHTING	COMMUNITY RELATIONS	15,000.00	15,000.00	0.00	15,000.00	0.00	
251-735-921.000-CHAMBER_3395	ELECTRIC	2,280.00	2,280.00	1,399.01	880.99	61.36	
251-735-921.000-PKSTRUC_3381	ELECTRIC	35,000.00	35,000.00	18,388.25	16,611.75	52.54	
251-735-921.000-THEDEN__3388	ELECTRIC	2,570.00	2,570.00	798.28	1,771.72	31.06	
251-735-922.000	STREET LIGHTING	52,000.00	52,000.00	31,202.50	20,797.50	60.00	
251-735-922.000-RIVERSD_3311	STREET LIGHTING	11,000.00	11,000.00	4,902.72	6,097.28	44.57	
251-735-922.000-SKATEPRK_202	STREET LIGHTING	325.00	325.00	177.68	147.32	54.67	
251-735-923.000-CHAMBER_3395	HEAT	2,000.00	2,000.00	1,101.93	898.07	55.10	
251-735-923.000-PKSTRUC_3381	HEAT	250.00	250.00	161.48	88.52	64.59	
251-735-923.000-THEDEN__3388	HEAT	2,000.00	2,000.00	1,070.03	929.97	53.50	
251-735-924.000-CHAMBER_3395	CABLE TV SERVICES	1,600.00	1,600.00	879.68	720.32	54.98	
251-735-924.000-THEDEN__3388	CABLE TV SERVICES	3,200.00	3,200.00	1,513.04	1,686.96	47.28	
251-735-927.000-CHAMBER_3395	WATER CONSUMPTION	1,000.00	1,000.00	55.65	944.35	5.57	
251-735-927.000-FIREST1_3483	WATER CONSUMPTION	4,200.00	4,200.00	1,538.14	2,661.86	36.62	
251-735-927.000-PKSTRUC_3381	WATER CONSUMPTION	730.00	730.00	68.53	661.47	9.39	
251-735-927.000-RIVERSD_3311	WATER CONSUMPTION	27,800.00	27,800.00	13,156.26	14,643.74	47.32	
251-735-927.000-RIVERWDS_300	WATER CONSUMPTION	1,300.00	1,300.00	210.40	1,089.60	16.18	
251-735-927.000-THEDEN__3388	WATER CONSUMPTION	1,100.00	1,100.00	330.56	769.44	30.05	
251-735-929.000	IRRIGATION WATER AND MAINT.	45,000.00	45,000.00	16,091.11	28,908.89	35.76	
251-735-929.000-SKATEPRK_202	IRRIGATION WATER AND MAINT.	0.00	0.00	2.46	(2.46)	100.00	
251-735-931.000-CHAMBER_3395	BLDG. MAINTENANCE	6,253.00	6,253.00	3,951.64	2,301.36	63.20	

REVENUE AND EXPENDITURE REPORT FOR CITY OF AUBURN HILLS

Balance As of 08/31/2026

*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2026 Original Budget	2026 Amended Budget	YTD Balance 08/31/2026	Available Balance 08/31/2026	% Bdg Used	Account Classificatio n
Fund: 251 TIFA A							
Account Category: Expenditures							
Department: 735 TIFA A							
251-735-931.000-PKSTRUC_3381	BLDG. MAINTENANCE	10,000.00	10,000.00	5,690.99	4,309.01	56.91	
251-735-931.000-THEDEN__3388	BLDG. MAINTENANCE	2,000.00	2,000.00	230.13	1,769.87	11.51	
251-735-933.000-THEDEN__3388	EQUIPMENT MAINTENANCE	0.00	0.00	375.00	(375.00)	100.00	
251-735-935.005	BRIDGE REPAIRS AND MAINTENANCE	3,500.00	3,500.00	0.00	3,500.00	0.00	
251-735-937.000	PARKING LOT MAINTENANCE	2,500.00	2,500.00	0.00	2,500.00	0.00	
251-735-937.001	PATHWAY MAINTENANCE	10,000.00	81,000.00	81,000.00	0.00	100.00	
251-735-937.003	SIDEWALK MAINTENANCE	10,000.00	10,000.00	0.00	10,000.00	0.00	
251-735-957.000	MISC/CONTINGENCY	1,000.00	1,000.00	150.28	849.72	15.03	
251-735-957.002	LIABILITY INSURANCE	7,642.00	7,642.00	7,612.00	30.00	99.61	
251-735-959.000	PROPERTY TAXES	2,000.00	2,000.00	10,415.24	(8,415.24)	520.76	
251-735-967.100	SITE IMPROVEMENT GRANTS	100,000.00	200,000.00	0.00	200,000.00	0.00	
251-735-972.000	LAND AND IMPROVEMENTS	100,000.00	100,000.00	0.00	100,000.00	0.00	
251-735-975.000	BLDG. ADDITIONS & IMPROVEMENTS	25,000.00	25,000.00	0.00	25,000.00	0.00	
251-735-975.000-THEDEN__3388	BLDG. ADDITIONS & IMPROVEMENTS	350,000.00	461,860.00	300,178.87	161,681.13	64.99	
251-735-995.004	ADMINISTRATIVE CHARGES	64,878.00	64,878.00	70,864.00	(5,986.00)	109.23	
251-735-995.007	INTERFUND SERVICES	42,255.00	42,255.00	40,566.00	1,689.00	96.00	
251-735-995.101-PKSTRUC_3381	TRANSFER TO GENERAL FUND	3,000,000.00	3,000,000.00	0.00	3,000,000.00	0.00	
Total Dept 735 - TIFA A		3,992,411.00	4,275,271.00	620,322.97	3,654,948.03	14.51	
Expenditures		3,992,411.00	4,275,271.00	620,322.97	3,654,948.03	14.51	
Fund 251 - TIFA A:							
TOTAL REVENUES		1,423,252.00	1,423,252.00	885,557.67	537,694.33	62.22	
TOTAL EXPENDITURES		3,992,411.00	4,275,271.00	620,322.97	3,654,948.03	14.51	
NET OF REVENUES & EXPENDITURES:		(2,569,159.00)	(2,852,019.00)	265,234.70	(3,117,253.70)		

REVENUE AND EXPENDITURE REPORT FOR CITY OF AUBURN HILLS

Balance As Of 08/31/2026

*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2026 Original Budget	2026 Amended Budget	YTD Balance 08/31/2026	Available Balance 08/31/2026	% Bdgt Used	Account Classificatio n
Fund: 252 TIFA B							
Account Category: Revenues							
Department: 736 TIFA B							
20	PROPERTY TAXES	1,754,202.00	1,754,202.00	1,421,218.90	332,983.10	81.02	
25	STATE SHARED REVENUE	81,340.00	81,340.00	0.00	81,340.00	0.00	
28	INTEREST REVENUE	261,862.00	261,862.00	221,391.69	40,470.31	84.55	
Total Dept 736 - TIFA B		2,097,404.00	2,097,404.00	1,642,610.59	454,793.41	78.32	
Revenues		2,097,404.00	2,097,404.00	1,642,610.59	454,793.41	78.32	
Account Category: Expenditures							
Department: 736 TIFA B							
252-736-732.000	SOFTWARE & LICENSES SUBSCRIPTIONS	30,000.00	30,000.00	0.00	30,000.00	0.00	
252-736-800.199	LANDSCAPE/GEN MAINT	10,000.00	10,000.00	0.00	10,000.00	0.00	
252-736-810.000	INVESTMENT MANAGEMENT FEES	6,700.00	6,700.00	427.60	6,272.40	6.38	
252-736-885.000	COMMUNITY RELATIONS	16,000.00	16,000.00	5,000.00	11,000.00	31.25	
252-736-901.000	ADVERTISING/MARKETING	1,000.00	1,000.00	0.00	1,000.00	0.00	
252-736-922.000	STREET LIGHTING	12,500.00	12,500.00	6,720.88	5,779.12	53.77	
252-736-929.000	IRRIGATION WATER AND MAINT.	40,000.00	40,000.00	11,192.82	28,807.18	27.98	
252-736-957.000	MISC/CONTINGENCY	500.00	500.00	0.00	500.00	0.00	
252-736-967.100	SITE IMPROVEMENT GRANTS	100,000.00	435,240.90	246,500.00	188,740.90	56.64	
252-736-972.000	LAND AND IMPROVEMENTS	2,000,000.00	2,000,000.00	0.00	2,000,000.00	0.00	
252-736-972.000-EXECUTIVESAD	LAND AND IMPROVEMENTS	0.00	154,019.22	201,444.10	(47,424.88)	130.79	
252-736-973.005	NON MOTORIZED PATHWAYS	10,000.00	10,000.00	0.00	10,000.00	0.00	
252-736-995.004	ADMINISTRATIVE CHARGES	30,086.00	30,086.00	29,257.00	829.00	97.24	
252-736-995.007	INTERFUND SERVICES	38,295.00	38,295.00	91,782.00	(53,487.00)	239.67	
252-736-995.101	TRANSFER TO GENERAL FUND	109,875.00	109,875.00	58,393.20	51,481.80	53.15	
252-736-995.203-CENTRERD_SAD	TRANSFER TO LOCAL STREETS	1,200,000.00	1,200,000.00	445,322.67	754,677.33	37.11	
252-736-995.203-EXECUTIVESAD	TRANSFER TO LOCAL STREETS	0.00	0.00	7,170.88	(7,170.88)	100.00	
252-736-995.203-INNOVATION	TRANSFER TO LOCAL STREETS	550,000.00	550,000.00	372,029.18	177,970.82	67.64	
252-736-995.301	TRANSFER TO PATROL DEPT	386,622.00	386,622.00	77,563.22	309,058.78	20.06	
Total Dept 736 - TIFA B		4,541,578.00	5,030,838.12	1,552,803.55	3,478,034.57	30.87	
Expenditures		4,541,578.00	5,030,838.12	1,552,803.55	3,478,034.57	30.87	
Fund 252 - TIFA B:							
TOTAL REVENUES		2,097,404.00	2,097,404.00	1,642,610.59	454,793.41	78.32	
TOTAL EXPENDITURES		4,541,578.00	5,030,838.12	1,552,803.55	3,478,034.57	30.87	
NET OF REVENUES & EXPENDITURES:		(2,444,174.00)	(2,933,434.12)	89,807.04	(3,023,241.16)		

REVENUE AND EXPENDITURE REPORT FOR CITY OF AUBURN HILLS

Balance As of 08/31/2026

*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2026 Original Budget	2026 Amended Budget	YTD Balance 08/31/2026	Available Balance 08/31/2026	% Bdgt Used	Account Classificatio n
Fund: 253 TIFA D							
Account Category: Revenues							
Department: 737 TIFA D							
20	PROPERTY TAXES	358,906.00	358,906.00	271,026.96	87,879.04	75.51	
25	STATE SHARED REVENUE	587,927.00	587,927.00	0.00	587,927.00	0.00	
35	CHARGES FOR SERVICES	500.00	500.00	1,938.03	(1,438.03)	387.61	
28	INTEREST REVENUE	76,932.00	76,932.00	64,211.90	12,720.10	83.47	
39	OTHER REVENUE	0.00	43,000.00	43,000.00	0.00	100.00	
Total Dept 737 - TIFA D		1,024,265.00	1,067,265.00	380,176.89	687,088.11	35.62	
Revenues		1,024,265.00	1,067,265.00	380,176.89	687,088.11	35.62	
Account Category: Expenditures							
Department: 737 TIFA D							
253-737-703.000	WAGES - TEMPORARY & PART-TIME	24,000.00	24,000.00	20,560.84	3,439.16	85.67	
253-737-715.000	SOCIAL SECURITY	1,836.00	1,836.00	1,572.90	263.10	85.67	
253-737-720.000	PENSION DC	0.00	0.00	332.86	(332.86)	100.00	
253-737-799.000	EQUIPMENT UNDER \$5,000	45,000.00	49,240.26	34,718.26	14,522.00	70.51	
253-737-800.199	LANDSCAPE/GEN MAINT	6,000.00	6,000.00	6,071.92	(71.92)	101.20	
253-737-810.000	INVESTMENT MANAGEMENT FEES	1,500.00	1,500.00	85.15	1,414.85	5.68	
253-737-885.000	COMMUNITY RELATIONS	2,000.00	70,000.00	60,845.69	9,154.31	86.92	
253-737-922.000	STREET LIGHTING	75,000.00	75,000.00	53,491.71	21,508.29	71.32	
253-737-927.000	WATER CONSUMPTION	350.00	350.00	392.18	(42.18)	112.05	
253-737-927.000-2458ESEYBURN	WATER CONSUMPTION	0.00	0.00	44.42	(44.42)	100.00	
253-737-927.000-ADMBLDG_1827	WATER CONSUMPTION	6,000.00	6,000.00	2,030.55	3,969.45	33.84	
253-737-927.000-FIREADM_3410	WATER CONSUMPTION	300.00	300.00	202.82	97.18	67.61	
253-737-927.000-LIBRARY_3400	WATER CONSUMPTION	4,000.00	4,000.00	1,475.90	2,524.10	36.90	
253-737-927.000-SEYBURN MNSN	WATER CONSUMPTION	8,000.00	8,000.00	2,905.15	5,094.85	36.31	
253-737-927.000-SPORTFD_1800	WATER CONSUMPTION	8,000.00	8,000.00	4,992.86	3,007.14	62.41	
253-737-929.000	IRRIGATION WATER AND MAINT.	50,000.00	50,000.00	21,161.35	28,838.65	42.32	
253-737-931.000-ADMBLDG_1827	BLDG. MAINTENANCE	275,000.00	275,000.00	18,624.84	256,375.16	6.77	
253-737-931.001-SPORTFD_1800	PARK MAINTENANCE	0.00	16,000.00	0.00	16,000.00	0.00	
253-737-935.000	ROAD MAINTENANCE	25,000.00	25,000.00	0.00	25,000.00	0.00	
253-737-937.000	PARKING LOT MAINTENANCE	1,200,000.00	726,197.40	327,121.33	399,076.07	45.05	
253-737-937.003	SIDEWALK MAINTENANCE	5,000.00	5,000.00	0.00	5,000.00	0.00	
253-737-957.000	MISC/CONTINGENCY	150.00	150.00	0.00	150.00	0.00	
253-737-957.002	LIABILITY INSURANCE	270.00	270.00	284.00	(14.00)	105.19	
253-737-972.000	LAND AND IMPROVEMENTS	900,000.00	2,020,151.90	670,369.20	1,349,782.70	33.18	
253-737-972.000-CAMPUSSIGNXX	LAND AND IMPROVEMENTS	150,000.00	150,000.00	0.00	150,000.00	0.00	
253-737-977.000	MACHINERY & EQUIPMENT	12,000.00	12,000.00	18,750.00	(6,750.00)	156.25	
253-737-995.004	ADMINISTRATIVE CHARGES	26,080.00	26,080.00	75,301.00	(49,221.00)	288.73	
253-737-995.007	INTERFUND SERVICES	10,938.00	10,938.00	20,316.00	(9,378.00)	185.74	
253-737-995.203-SEYBURNDRIVE	TRANSFER TO LOCAL STREETS	425,000.00	397,264.93	27,685.75	369,579.18	6.97	
Total Dept 737 - TIFA D		3,261,424.00	3,968,278.49	1,369,336.68	2,598,941.81	34.51	
Expenditures		3,261,424.00	3,968,278.49	1,369,336.68	2,598,941.81	34.51	
Fund 253 - TIFA D:							
TOTAL REVENUES		1,024,265.00	1,067,265.00	380,176.89	687,088.11	35.62	
TOTAL EXPENDITURES		3,261,424.00	3,968,278.49	1,369,336.68	2,598,941.81	34.51	
NET OF REVENUES & EXPENDITURES:		(2,237,159.00)	(2,901,013.49)	(989,159.79)	(1,911,853.70)		

REVENUE AND EXPENDITURE REPORT FOR CITY OF AUBURN HILLS

Balance As Of 08/31/2026

*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2026 Original Budget	2026 Amended Budget	YTD Balance 08/31/2026	Available Balance 08/31/2026	% Bdgt Used	Account Classificatio n
Report Totals:							
TOTAL REVENUES - ALL FUNDS		4,544,921.00	4,587,921.00	2,908,345.15	1,679,575.85	63.39	
TOTAL EXPENDITURES - ALL FUNDS		11,795,413.00	13,274,387.61	3,542,463.20	9,731,924.41	26.69	
NET OF REVENUES & EXPENDITURES:		(7,250,492.00)	(8,686,466.61)	(634,118.05)	(8,052,348.56)		



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director

DATE: September 3, 2026

SUBJECT: Election of Officers

No additional written material provided.

At this time, the floor will be opened for nomination of Vice Chairperson of the Board for 2026.

This Vice Chairperson term will serve until the annual Election of Officers takes place again during the December TIFA Board of Directors meeting. This Vice Chairperson seat is vacant with the resignation of former Vice Chairperson Anthony Barash.



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director

DATE: September 2, 2025

SUBJECT: Approval of 2027 Proposed Budget

INTRODUCTION AND HISTORY

At the August 20 TIFA Board meeting, the TIFA Board was provided the opportunity to review the proposed 2027 budgets for TIF Districts A, B, and D.

As a part of this agenda item concerning the adoption of the 2027 budget, there are three documents attached to this memo. The three supporting documents contain the proposed 2027, as well as projected budgets for years 2028, 2029, 2030, and 2031 for each of the three TIFA districts.

Unlike previous years, there are NOT significant changes to the budget that have occurred from the presentation of the budget during the August TIFA meeting and the September TIFA meeting.

STAFF RECOMMENDATION

Staff recommends approval of the 2027 proposed budget.

An appropriate motion is:

Move to approve the 2027 Proposed Budget as presented. Furthermore, recommend to the City Council the inclusion of these budgets for adoption in the City's overall budget documents.

Fund 251 - TIFA A

<u>DESCRIPTION</u>	<u>2025 ACTUAL</u>	<u>2026 AMENDED BUDGET</u>	<u>2027 BUDGET</u>	<u>2028 PROJECTION</u>	<u>2029 PROJECTION</u>	<u>2030 PROJECTION</u>	<u>2031 PROJECTION</u>
<u>REVENUES</u>							
PROPERTY TAXES	916,772.57	945,566.00	984,328.00	1,015,416.00	1,047,467.00	1,080,512.00	1,114,582.00
STATE SHARED REVENUE & REFUNDS	288,568.31	192,335.00	173,102.00	155,792.00	140,213.00	126,192.00	100,000.00
INTEREST REVENUE	129,325.23	104,514.00	96,064.00	88,306.00	87,666.00	83,792.00	83,248.00
CHARGES FOR SERVICES	4,304.65	300.00	2,000.00	2,000.00	2,000.00	2,000.00	2,000.00
OTHER REVENUE	54,531.40	80,537.00	106,053.00	107,391.00	108,377.00	115,312.00	116,378.00
Transfer from DDA	0.00	100,000.00	750,000.00	-	-	-	-
TOTAL REVENUES	\$ 1,393,502	\$ 1,423,252	\$ 2,111,547	\$ 1,368,905	\$ 1,385,723	\$ 1,407,808	\$ 1,416,208
TOTAL REVENUE CHANGE PERCENT		2.1%	48.4%	-35.2%	1.2%	1.6%	0.6%
<u>EXPENDITURES</u>							
SALARIES & WAGES	2,447	2,600	2,615	2,667	2,721	2,775	2,830
FRINGE BENEFITS	239	222	250	253	257	261	266
SUPPLIES	20,961.98	14,550.00	11,750.00	11,750.00	15,750.00	24,950.00	11,750.00
UTILITIES	136,488.58	149,586.00	154,094.00	156,924.00	159,794.00	162,670.00	165,560.00
REPAIR & MAINTENANCE	423,212.68	170,253.00	95,753.00	99,253.00	95,753.00	99,253.00	95,753.00
INSURANCE	7,953.00	7,642.00	7,802.00	8,036.00	8,277.00	8,525.00	8,781.00
CAPITAL EXPENDITURES	-	586,860.00	880,000.00	-	-	-	-
ADMIN & DPW ADMIN CHARGES	62,383.00	64,878.00	76,533.00	82,656.00	89,268.00	96,409.00	104,122.00
CONTRACTUAL SERVICES	70,527.50	215,000.00	135,000.00	135,000.00	135,000.00	135,000.00	135,000.00
OTHER EXPENSES	15,535.25	21,425.00	22,500.00	22,500.00	22,500.00	22,500.00	22,500.00
INTERFUND CHARGE EXPENSE	40,243.00	42,255.00	42,953.00	44,942.00	47,026.00	49,210.00	51,499.00
TRANSFER TO OTHER FUND	478,321.58	3,000,000.00	2,750,000.00	-	-	250,000.00	-
DEPRECIATION & AMORTIZATION	882,409.35	-	-	-	-	-	-
TOTAL EXPENSES	\$ 2,140,723	\$ 4,275,271	\$ 4,179,250	\$ 563,981	\$ 576,346	\$ 851,553	\$ 598,061
TOTAL EXPENSES CHANGE PERCENT		99.7%	-2.2%	-86.5%	2.2%	47.8%	-29.8%
NET OF REVENUES/EXPENSES	\$ (747,220)	\$ (2,852,019)	\$ (2,067,703)	\$ 804,924	\$ 809,377	\$ 556,255	\$ 818,147
ESTIMATED UNRESTRICTED NET POSITION	\$ 3,461,751	\$ 609,732	\$ (1,457,971)	\$ (653,047)	\$ 156,330	\$ 712,585	\$ 1,530,732

Fund 252 - TIFA B

<u>DESCRIPTION</u>	<u>2025 ACTUAL</u>	<u>2026 AMENDED BUDGET</u>	<u>2027 BUDGET</u>	<u>2028 PROJECTION</u>	<u>2029 PROJECTION</u>	<u>2030 PROJECTION</u>	<u>2031 PROJECTION</u>
<u>REVENUES</u>							
PROPERTY TAXES	1,680,118.95	1,754,202.00	1,939,471.00	1,999,610.00	2,061,613.00	2,125,539.00	2,191,446.00
STATE SHARED REVENUE & REFUNDS	165,433.71	81,340.00	73,206.00	65,886.00	59,297.00	53,367.00	48,000.00
INTEREST REVENUE	717,321.17	261,862.00	370,517.00	342,686.00	337,442.00	322,173.00	317,544.00
OTHER REVENUE	-	-	-	-	-	-	-
TOTAL REVENUES	\$ 2,562,874	\$ 2,097,404	\$ 2,383,194	\$ 2,408,182	\$ 2,458,352	\$ 2,501,079	\$ 2,556,990
TOTAL REVENUE CHANGE PERCENT		-18.2%	13.6%	1.0%	2.1%	1.7%	2.2%
<u>EXPENDITURES</u>							
SALARIES & WAGES	-	-	-	-	-	-	-
FRINGE BENEFITS	-	-	-	-	-	-	-
REPAIR & MAINTENANCE	141,246.95	50,000.00	100,000.00	100,000.00	100,000.00	100,000.00	100,000.00
OTHER EXPENSES	11,317.49	24,200.00	17,500.00	17,500.00	17,500.00	17,500.00	17,500.00
SUPPLIES	-	30,000.00	30,000.00	30,000.00	30,000.00	30,000.00	30,000.00
CONTRACTUAL SERVICES	714,913.08	435,240.90	100,000.00	100,000.00	100,000.00	100,000.00	100,000.00
UTILITIES	11,017.36	12,500.00	12,600.00	12,700.00	12,800.00	12,900.00	13,000.00
CAPITAL EXPENDITURES	-	2,164,019.22	2,010,000.00	510,000.00	10,000.00	10,000.00	10,000.00
ADMIN & DPW ADMIN CHARGES	28,929.00	30,086.00	31,597.00	34,125.00	36,855.00	39,803.00	42,987.00
INTERFUND CHARGE EXPENSE	36,471.00	38,295.00	97,263.00	101,734.00	106,417.00	111,321.00	116,458.00
DEPRECIATION & AMORTIZATION	358,970.36	-	-	-	-	-	-
TRANSFERS TO OTHER FUNDS	2,040,505.56	2,246,497.00	1,152,677.00	486,767.00	1,726,328.00	5,236,753.00	443,722.00
TOTAL EXPENSES	\$ 3,343,371	\$ 5,030,838	\$ 3,551,637	\$ 1,392,826	\$ 2,139,900	\$ 5,658,277	\$ 873,667
TOTAL EXPENSES CHANGE PERCENT		50.5%	-29.4%	-60.8%	53.6%	164.4%	-84.6%
NET OF REVENUES/EXPENSES	\$ (780,497)	\$ (2,933,434)	\$ (1,168,443)	\$ 1,015,356	\$ 318,452	\$ (3,157,198)	\$ 1,683,323
ESTIMATED UNRESTRICTED NET POSITION	\$ 16,469,790	\$ 13,536,356	\$ 12,367,913	\$ 13,383,269	\$ 13,701,721	\$ 10,544,523	\$ 12,227,846

Fund 253 - TIFA D

<u>DESCRIPTION</u>	<u>2025 ACTUAL</u>	<u>2026 AMENDED BUDGET</u>	<u>2027 BUDGET</u>	<u>2028 PROJECTION</u>	<u>2029 PROJECTION</u>	<u>2030 PROJECTION</u>	<u>2031 PROJECTION</u>
<u>REVENUES</u>							
PROPERTY TAXES	210,042.87	358,906.00	313,937.00	323,949.00	334,270.00	344,911.00	355,883.00
GRANTS	-	-	-	-	-	-	-
STATE SHARED REVENUE & REFUNDS	944,132.57	587,927.00	529,135.00	476,221.00	428,599.00	385,739.00	365,000.00
CHARGES FOR SERVICES	2,007.73	500.00	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00
INTEREST REVENUE	171,002.33	76,932.00	92,136.00	87,530.00	83,154.00	78,997.00	75,048.00
NON-OPERATING REVENUE	-	43,000.00	-	-	-	-	-
TOTAL REVENUES	\$ 1,327,186	\$ 1,067,265	\$ 936,208	\$ 888,700	\$ 847,023	\$ 810,647	\$ 796,931
TOTAL REVENUE CHANGE PERCENT		-19.6%	-12.3%	-5.1%	-4.7%	-4.3%	-1.7%
<u>EXPENDITURES</u>							
SALARIES & WAGES	27,753.91	24,000.00	30,800.00	30,800.00	30,800.00	30,800.00	30,800.00
FRINGE BENEFITS	2,058.24	1,836.00	2,876.00	2,876.00	2,876.00	2,876.00	2,876.00
UTILITIES	119,260.59	101,650.00	113,700.00	115,700.00	117,700.00	119,700.00	121,700.00
REPAIR & MAINTENANCE	436,824.87	1,103,197.40	313,000.00	63,000.00	63,000.00	63,000.00	63,000.00
CAPITAL EXPENDITURES	-	2,182,151.90	-	-	-	-	-
SUPPLIES	15,935.00	49,240.26	-	-	-	-	-
ADMIN & DPW ADMIN CHARGES	25,077.00	26,080.00	81,325.00	87,831.00	94,857.00	102,446.00	110,642.00
INSURANCE	-	270.00	293.00	301.00	310.00	320.00	329.00
OTHER EXPENSES	1,096.47	71,650.00	30,150.00	2,650.00	2,650.00	2,650.00	2,650.00
INTERFUND CHARGE EXPENSE	10,416.00	10,938.00	21,532.00	22,520.00	23,555.00	24,639.00	25,774.00
DEPRECIATION & AMORTIZATION	914,391.01	-	-	-	-	-	-
TRANSFER TO OTHER FUNDS	37,153.25	397,264.93	500,000.00	-	390,000.00	3,036,250.00	1,750,000.00
TOTAL EXPENSES	\$ 1,589,966	\$ 3,968,278	\$ 1,093,676	\$ 325,678	\$ 725,748	\$ 3,382,681	\$ 2,107,771
TOTAL EXPENSES CHANGE PERCENT		149.6%	-72.4%	-70.2%	122.8%	366.1%	-37.7%
NET OF REVENUES/EXPENSES	\$ (262,781)	\$ (2,901,013)	\$ (157,468)	\$ 563,022	\$ 121,275	\$ (2,572,034)	\$ (1,310,840)
UNRESTRICTED NET POSITION	\$ 5,056,090	2,155,077	1,997,609	2,560,631	2,681,906	109,872	(1,200,968)



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director

DATE: August 25, 2026

SUBJECT: Executive Hills Road Project – Budget Amendment

INTRODUCTION AND HISTORY

In 2025, the TIFA Board of Directors budgeted \$2,570,000 within TIF-B to fund the reconstruction of Executive Hills. Executive Hills is a horseshoe-shaped semi-circle connecting Opdyke and Featherstone roads. However, the Executive Hills Road project was not completed in 2025. Only \$1,531,182.78, from the original budget of \$2,570,000, was spent in 2025. The unspent, budgeted funds associated with this road project amount to \$1,038,817.22.

The purpose of this budget amendment is to roll over the remaining budget for the Executive Hills project from 2025 to 2026. Since it was not budgeted for in 2026, a formal budget amendment is the only path forward to roll over the remaining project budget.

STAFF RECOMMENDATION

Staff recommend creating a budget amendment, increasing appropriations within the 2026 TIF-B budget in account number 252-736-995.203-EXECUTIVESAD in the amount of \$1,038,817.22

An appropriate motion is:

Move to authorize a budget amendment, increasing appropriations within the 2026 TIF-B budget.



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director, TIFA Executive Director;
Stephen Baldante, Director of Public Works

DATE: September 8, 2026

SUBJECT: Primary Street Parking Lot Reconstruction – Change Order Award, Construction Services, and
Budget Amendment

INTRODUCTION AND HISTORY

The Primary Street Parking Lot has reached the end of its useful life and is in need of full reconstruction. The lot was identified for reconstruction prior to its use as the staging site for The Webster Development, and its redesign has been planned to accommodate the changes in downtown traffic and circulation resulting from the development that has taken place in the district over the past several years. The lot has been partially closed while serving as the Webster staging area; the Webster contractor vacated the lot as of Labor Day, creating the opportunity to complete the reconstruction during the 2026 construction season.

The project was not included in the 2026 Capital Improvement Plan. The City had previously planned and budgeted for an expansion of the Primary Street Parking Structure; however, based on current construction costs and the limited number of net new spaces the expansion would produce, the City elected not to proceed with the parking deck expansion and instead to focus on surface lots to meet downtown parking needs. With that decision, reconstruction of the Primary Street Parking Lot has become a priority, and the City is seeking approval to complete the work in 2026 by change order.

To capture 2026 pricing without delaying the work into 2027, the City reviewed its existing contracts with vendors performing similar scopes of work that were competitively bid this year. Artisan Contracting, the City's contractor on the Auburn Hills Riverwalk Pathway project, has an open contract, has capacity to complete the work within its 2026 schedule, and has provided a quote of \$670,796 to perform the reconstruction as a change order to the Riverwalk contract. The majority of the line items were previously bid as part of the Riverwalk project, and OHM Advisors has reviewed the quote to confirm the pricing is consistent with Artisan's competitively bid unit prices. The Artisan quote is attached as Exhibit B.

The reconstruction plans are attached as Exhibit A. The project consists of a full asphalt reconstruction on a new aggregate base, new concrete curb and gutter, storm sewer installation, sidewalk replacement, landscaped islands, new light pole foundations and lighting, and electrical conduit to serve a proposed parking meter kiosk and two trash compactors. The design also rebuilds the ingress and egress to the existing parking structure and includes the foundation, walls, and bollards for the enclosure that will house the two trash compactors. The compactors, which the City plans to lease, will replace the dumpsters currently staged in The Den parking lot at the corner of Primary Street and Grey Road and will provide waste collection service for downtown businesses, downtown residential complexes, and City needs.

OHM Advisors has submitted a scope of construction services for the project totaling \$72,800, consisting of construction engineering (\$19,900), contract administration (\$18,500), and full-time construction observation under the contractor's crew-day line item (\$34,400). Materials testing will be provided by G2 Consulting Group under a separate agreement in the estimated amount of \$13,500. The OHM scope of services is attached as Exhibit

Primary Street Parking Lot Reconstruction

C. Construction is anticipated to begin in September, subject to material procurement and weather, with completion by December 2026.

The following summarizes the total project cost:

Item	Amount
Change Order – Artisan Contracting (Reconstruction)	\$670,796.00
Construction Services – OHM Advisors	\$72,800.00
Materials Testing – G2 Consulting Group (estimated)	\$13,500.00
Total Project Cost	\$757,096.00

Because the project was not budgeted for 2026, a budget amendment increasing appropriations in account 251-735-973.002 by \$757,096 is required to fund the project. In addition, under the terms of its development agreement, the developer of the Webster has agreed to reimburse the City for a portion of the parking lot repairs. The reimbursement totals \$109,766 and will be recognized as revenue in account 251-735-676.001, offsetting a portion of the project cost. The net TIFA cost of the project after the developer reimbursement is \$647,330.

STAFF RECOMMENDATION

Staff recommends that the TIFA Board approve a change order to Artisan Contracting in the amount of \$670,796 for the reconstruction of the Primary Street Parking Lot; approve a construction services agreement with OHM Advisors in the amount of \$72,800 for construction engineering, observation, and contract administration; approve materials testing services with G2 Consulting Group in the estimated amount of \$13,500; and approve a budget amendment increasing appropriations in account 251-735-973.002 by \$757,096 and increasing revenues in account 251-735-676.001 by \$109,766 to recognize the Webster developer reimbursement.

An appropriate motion is:

Move to approve change order and contracts to Artisan Contracting in the amount of \$670,796.00 for the reconstruction of the Primary Street Parking Lot; authorize a construction services agreement with OHM Advisors in the amount of \$72,800.00 for construction engineering, observation, and contract administration; authorize materials testing services with G2 Consulting Group in the estimated amount of \$13,500.00. In addition, move to amend the 2026 TIF-A budget increasing appropriations by \$757,096 and move to amend account # 251-735-676.002 increasing 2026 TIF-A revenues by \$109,766.

Owner
City of Auburn Hills
1827 N. Squirrel Road
Auburn Hills, MI 48326

Contact: Stephen Baldante
Director of Public Works
Phone: 248.364-6902
sbaldante@auburnhills.org

Civil Engineer
NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact:
Patrick Williams, PE
Principal
pwilliams@nfe-engr.com

Direct: 844.416.3364 | Ext. 216
Cell: 248.635.6469

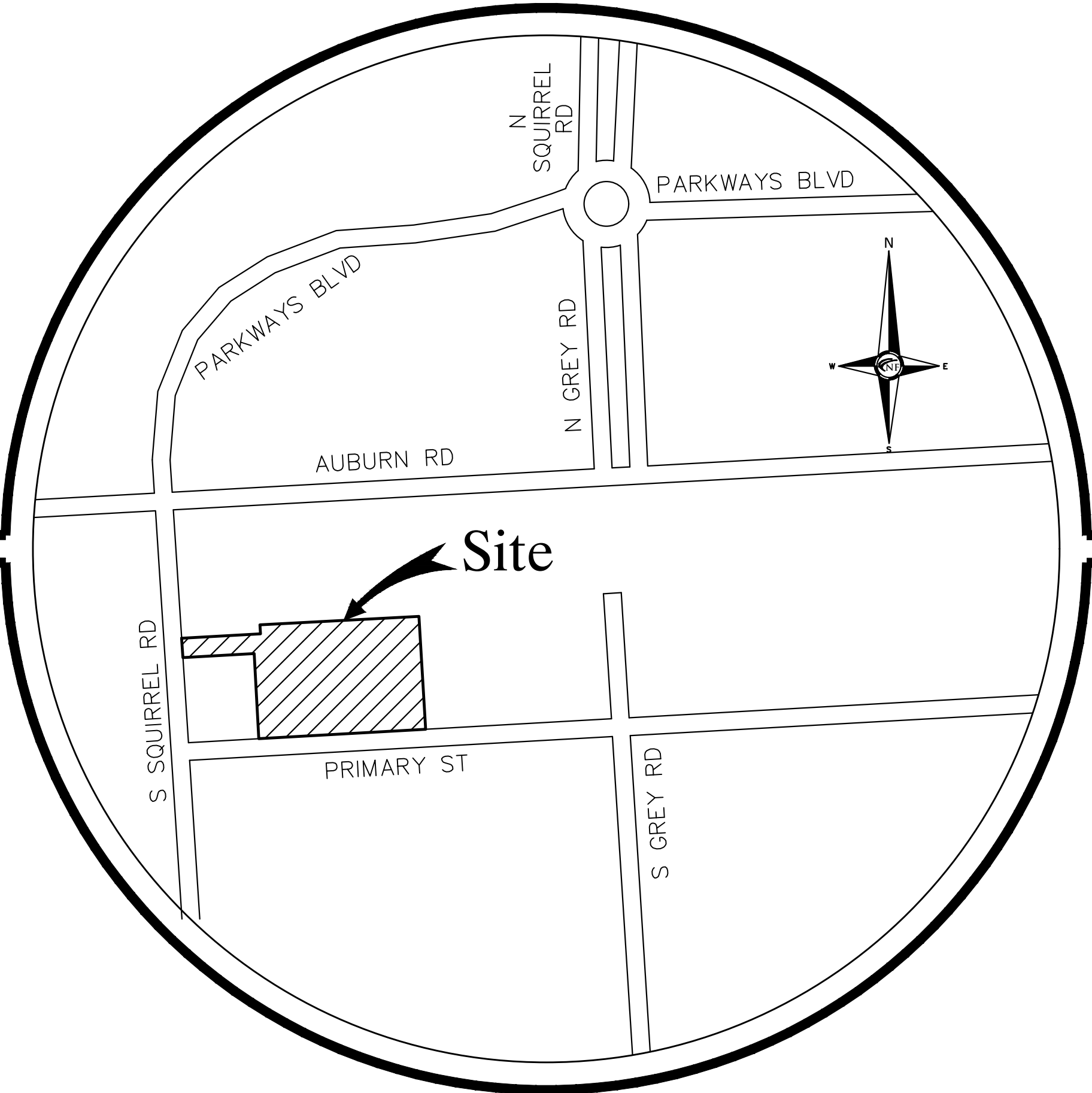
Landscape Architect
NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact:
George Ostrowski, PLA, LEED AP
gostrowski@nfe-engr.com

Direct: 844.416.3364 | Ext. 250
Cell: 248.303.5395

City of Auburn Hills,
Oakland County, Michigan
CONSTRUCTION DOCUMENTS

Part of the SW 1/4 of Section 36
T. 03 N , R. 10 E,
City of Auburn Hills,
Oakland County, Michigan



LOCATION MAP

LEGAL DESCRIPTION - PER TAX RECORD

A PORTION OF LAND IN PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 03 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN BEING PART OF LOTS 46-50 OF THE "PLAT OF THE VILLAGE OF AUBURN" AS RECORDED IN LIBER 3, P.11 (OCR) DESCRIBED AS:

BEGINNING AT A POINT DISTANT N 00°17'07" E 106.00 FEET FROM THE SOUTHWEST CORNER OF LOT 50 AT THE NORTHEAST INTERSECTION OF PRIMARY STREET (55 FT. WIDE) AND SQUIRREL ROAD (WIDTH VARIES); THENCE CONTINUING N 00°00'17" E 24.00 FEET; THENCE EAST 98.00 FEET; THENCE NORTH 00°17'07" E 11.33 FEET; THENCE EAST 66.00 FEET; THENCE S 00°17'07" W 0.64 FEET; THENCE EAST 132.0 FEET; THENCE S 00°17'07" W 140.69 FEET; THENCE WEST 207.08 FEET; THENCE N 00°17'07" E 106.00 FEET; THENCE WEST 88.90 FEET TO THE POINT OF BEGINNING.

CONTAINING 31,269.3 SQUARE FEET OR 0.718 ACRES.

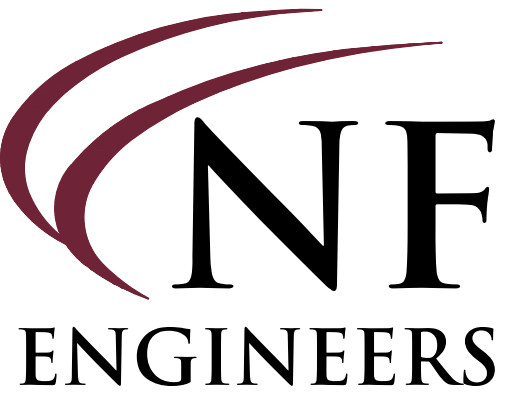
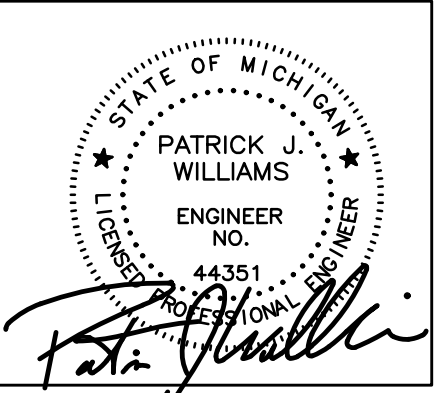
P.I.N.: 14-36-126-029

SHEET INDEX	
C-00	Cover Sheet
C-01	Existing Conditions
C-02	Demolition Plan
C-03	Dimensional Plan
C-04	Paving and Grading plan
C-05	Utility Plan
C-06	Storm Sewer Profiles
C-07	Soil Erosion Control Plan
C-08	Fire Protection Plan
Auburn Hills Standard Details	
OCWRC Soil Erosion Details	

**Downtown Municipal
Parking Lot**

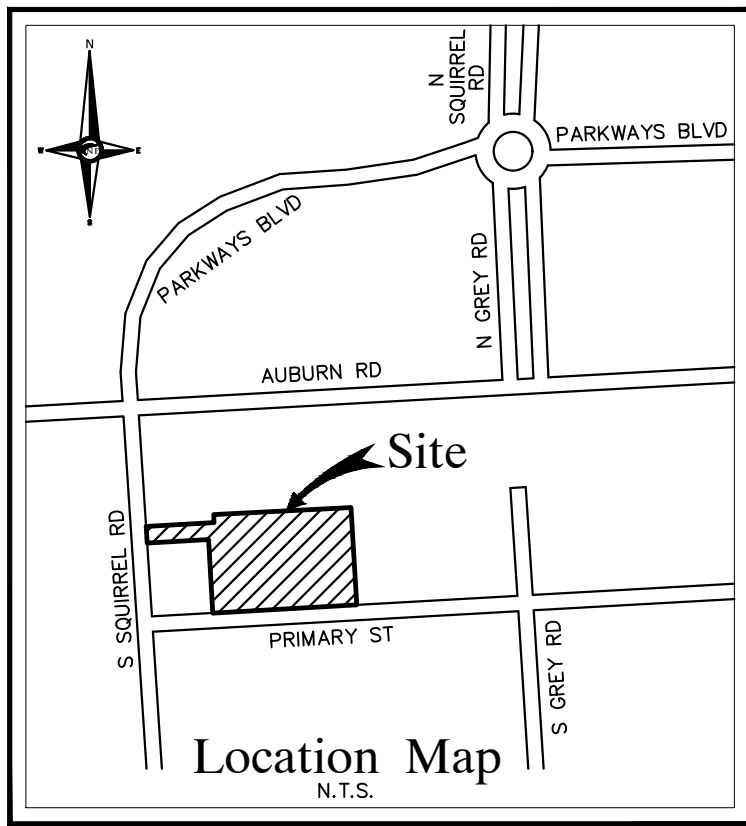
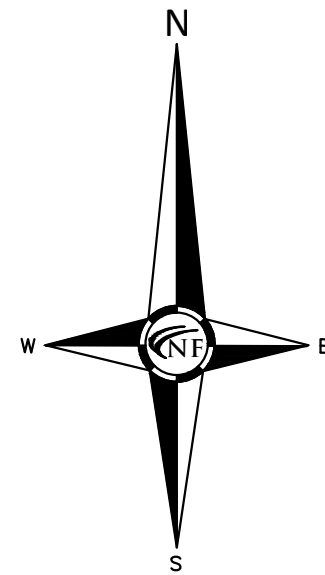
Primary Street Parking Lot

CONSTRUCTION DRAWINGS
Sidwell No. 14-36-126-029

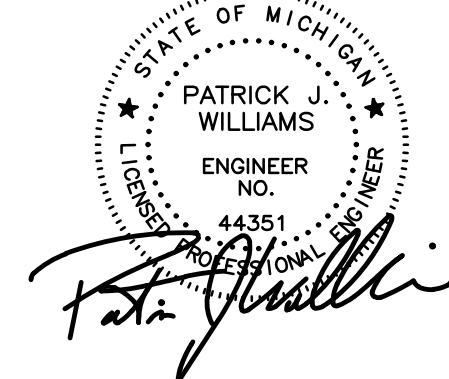


CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM



SEAL



PROJECT

Primary St. Parking Lot
Auburn Hills, MI 48326

CLIENT

Auburn Hills Tax Incremental
Financing Authority
1827 Squirrel Rd.
Auburn Hills, MI 48326

Contact: Andrew Hagge

Phone: 248-634-6900

Email:

ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Existing Conditions



DATE ISSUED/REVISED
07-21-2026 ISSUED FOR ENGINEERING REVIEW

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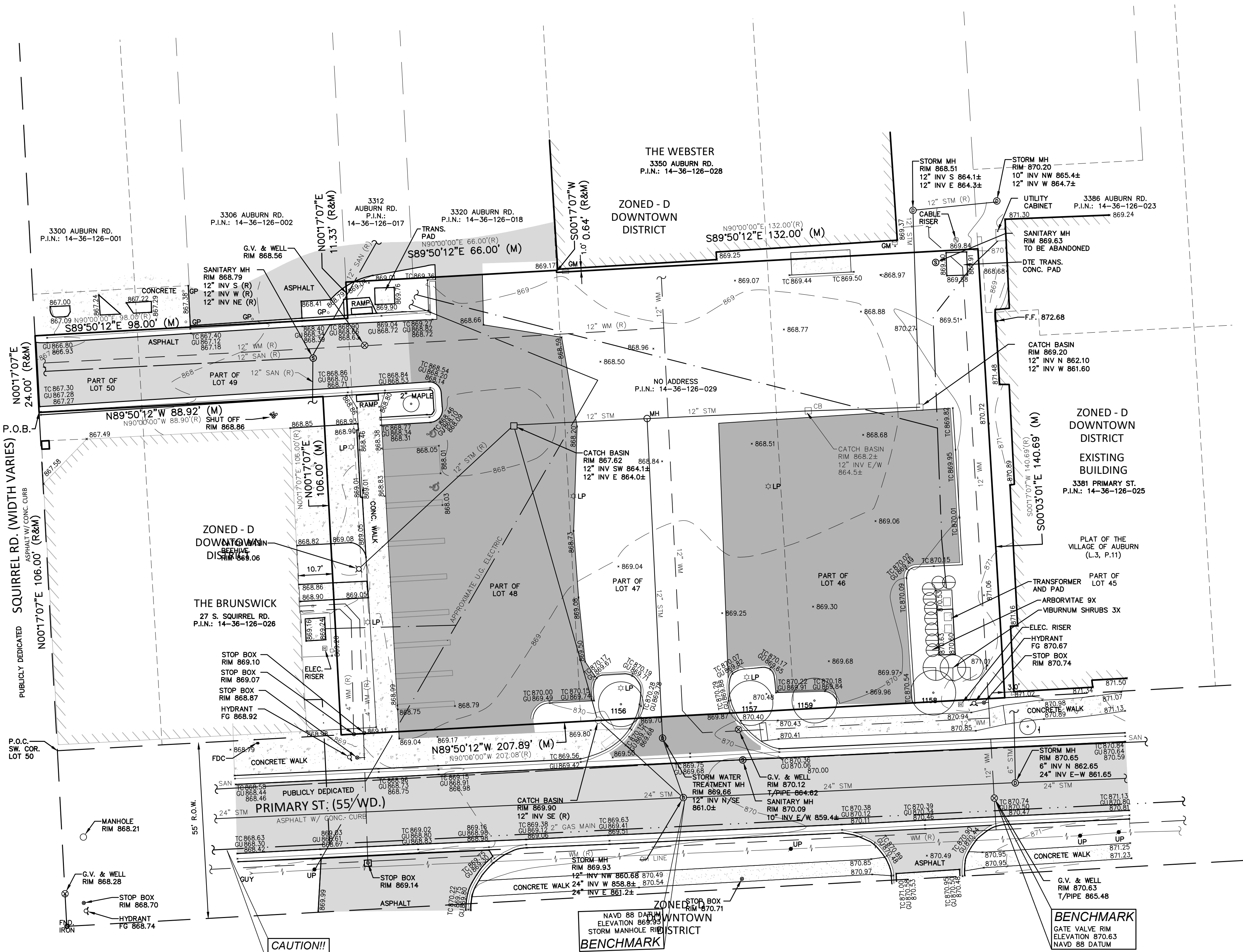
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P.L.N.: 14-36-126-029

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0388F BEARING AN EFFECTIVE DATE OF 9-29-2026.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 2026031801872-000, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 04-22-2026. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
CO	EXISTING SAN. CLEAN OUT
HYDRANT(HYD)	GATE VALVE(GVW)
GATE VALVE(GVW)	EXISTING WATER MAIN
MANHOLE(MH)	CATCH BASIN(CB)
CATCH BASIN(CB)	EXISTING STORM SEWER
CBB	EX. BEEHIVE CATCH BASIN
UTILITY POLE GUY POLE	EX. UNDERGROUND (UG.) CABLE
UP	OVERHEAD (OH.) LINES
LP	LIGHT POLE
↑	SIGN
---	EXISTING GAS MAIN
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(M)	MEASURED
C/L	CENTERLINE
P/L	PROPERTY LINE
GM	GAS METER
EM	ELECTRIC METER
LS	LANDSCAPE
DS	DOWNSPOUT
GP	GUARD POST
12" T.	12" TREE

SEAL



PROJECT

Primary St. Parking Lot
Auburn Hills, MI 48326

CLIENT

Auburn Hills Tax Increment
Financing Authority
1827 Squirrel Rd.
Auburn Hills, MI 48326

Contact: Andrew Hagge

Phone: 248-634-6900

Email:

ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Demolition Plan



DATE ISSUED/REVISED
07/21/2026 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:
A. Wiseman

DESIGNED BY:
A. Wiseman

APPROVED BY:
P. Williams

DATE:
April 23, 2026

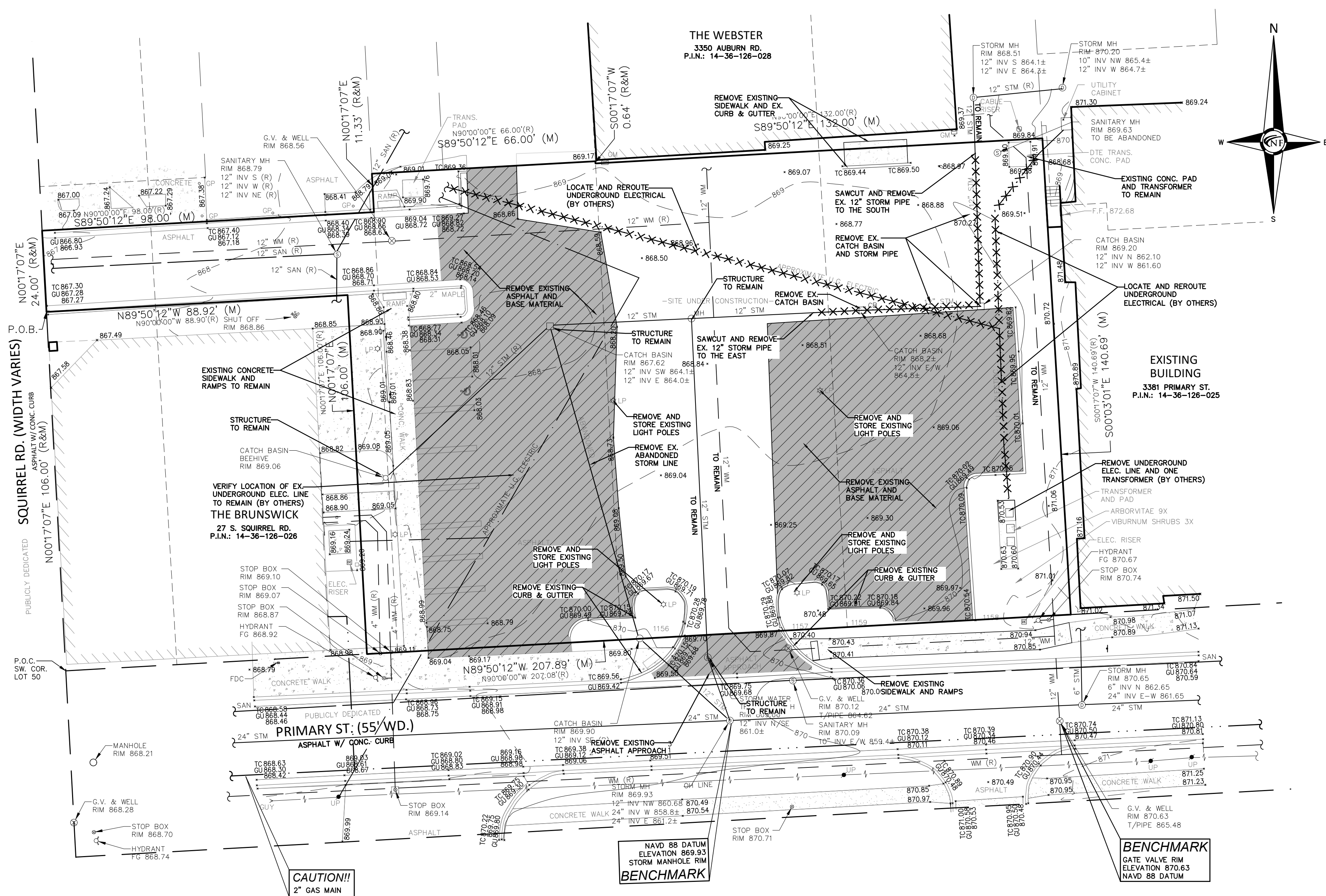
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NFE JOB NO.

SHEET NO.

P262

C-02



DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION. FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LIKEWISE SHALL ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANIES ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANIES COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

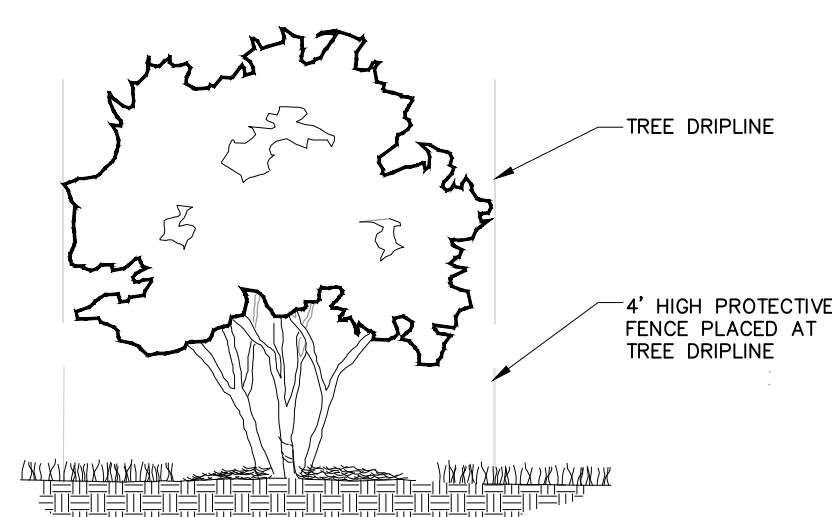
WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MOIST CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 95% OF MATERIALS MAXIMUM DENSITY.

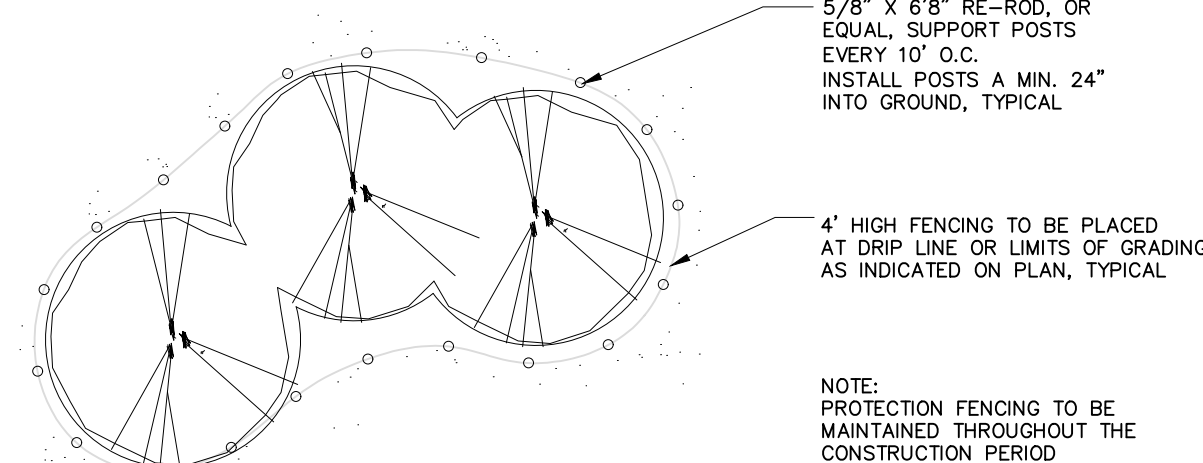
GENERAL TREE PROTECTION NOTES

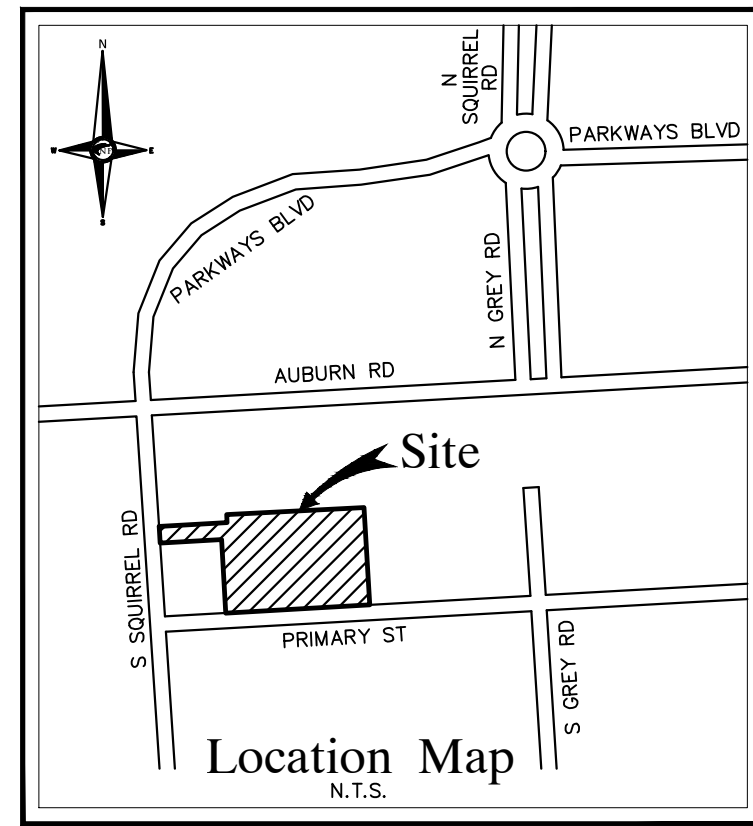
- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MANUALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL, BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

TREE PROTECTION DETAIL-SECTION



TREE PROTECTION DETAIL-PLAN





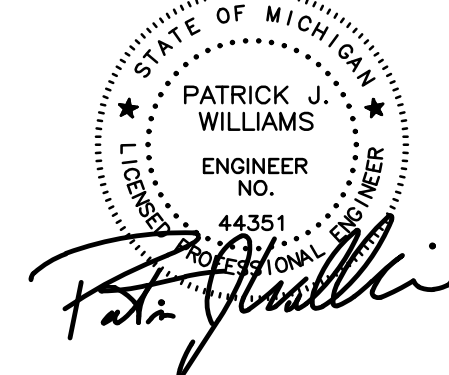
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A PORTION OF LAND IN PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 03 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN BEING PART OF LOTS 46-50 OF THE "PLAT OF THE VILLAGE OF AUBURN" AS RECORDED IN LIBER 3, P.11 (OCR) DESCRIBED AS:

BEGINNING AT A POINT DISTANT N 00°17'07" E 106.00 FEET FROM THE SOUTHWEST CORNER OF LOT 50 AT THE NORTHEAST INTERSECTION OF PRIMARY STREET (55 FT. WIDE) AND SQUIRREL ROAD (WIDTH VARIES); THENCE CONTINUING N 00°01'17" E 24.00 FEET; THENCE EAST 98.00 FEET; THENCE NORTH 00°17'07" E 11.33 FEET; THENCE EAST 66.00 FEET; THENCE S 00°17'07" W 0.64 FEET; THENCE EAST 132.00 FEET; THENCE S 00°17'07" W 140.69 FEET; THENCE WEST 207.08 FEET; THENCE N 00°17'07" E 106.00 FEET; THENCE WEST 88.90 FEET TO THE POINT OF BEGINNING.

CONTAINING 31,269.3 SQUARE FEET OR 0.718 ACRES.
P.L.N.: 14-36-126-029

SEAL



PROJECT

Primary St. Parking Lot
Auburn Hills, MI 48326

CLIENT

Auburn Hills Tax Increment
Financing Authority
1827 Squirrel Rd.
Auburn Hills, MI 48326

Contact: Andrew Hagge
Phone: 248-634-6900
Email:
ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Dimensional Site Plan



DATE ISSUED/REVISED
07/21/2026 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:
A. Wiseman

DESIGNED BY:
A. Wiseman

APPROVED BY:
P. Williams

DATE:
April 23, 2026

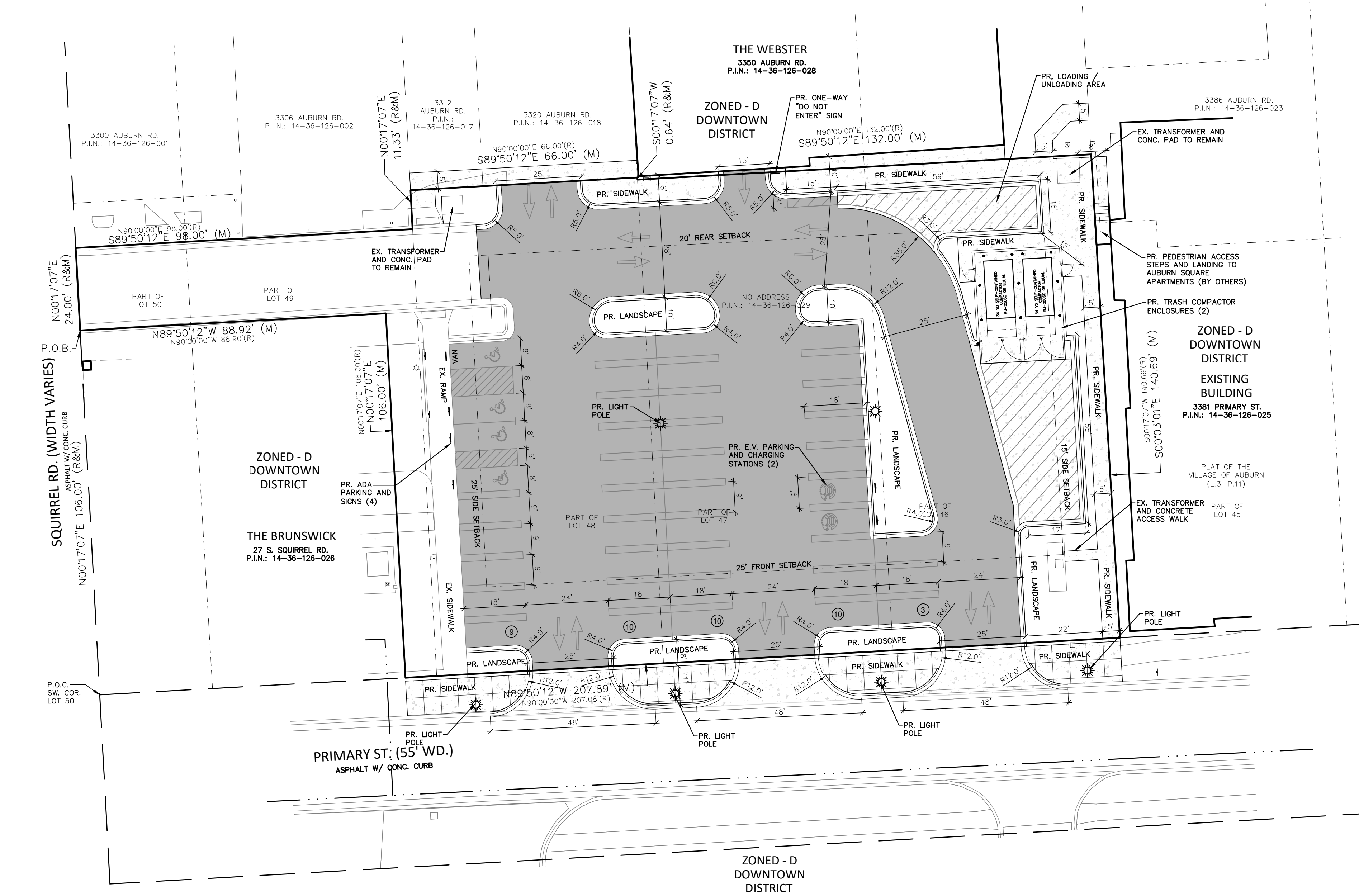
SCALE: 1" = 20'

NFE JOB NO.

SHEET NO.

P262

C-03



CITY OF AUBURN HILLS GENERAL NOTES

- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, OR TRAILER STORAGE.
- GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO. 372.
- PARKING SPACES SHALL BE DOUBLE STRIPPED PER ZONING ORDINANCE NO. 372.
- ENVIRONMENTAL IMPACT STATEMENT IS NOT REQUIRED. SITE AREA IS 2.378 ACRES.
- LAND COMBINATION IS REQUIRED.
- THE APPLICANT HAS AGREED TO INSTALL A DUAL ELECTRIC VEHICLE (EV) CHARGING STATION TO SERVICE TWO EVS. TWO EV PARKING SPACES ARE DEPICTED ON THE SITE PLAN. SIGNAGE FOR THE SPACES SHALL COMPLY WITH CITY STANDARDS.

FIRE DEPARTMENT NOTES

THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:

WHITE	- ON 4-INCH MAINS
RED	- ON 6-INCH MAINS
ORANGE	- ON 8-INCH MAINS
GREEN	- ON 12-INCH MAINS
BLUE	- ON 16-INCH OR LARGER MAINS

NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.

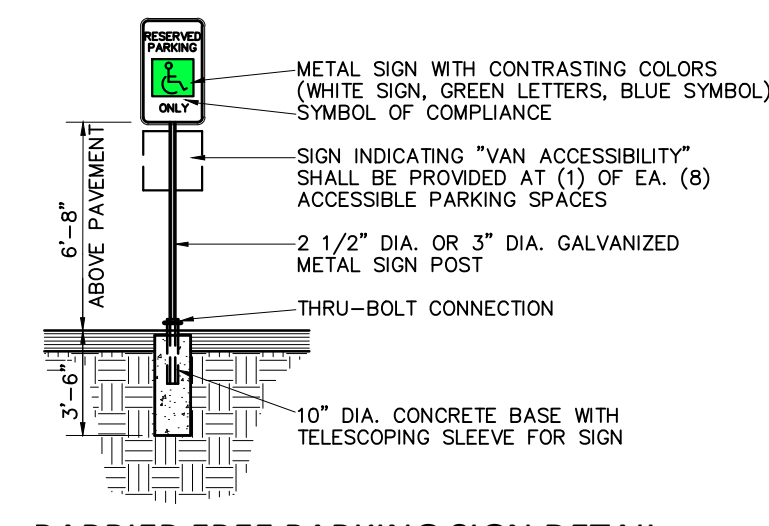
THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE PAVED DRIVEWAY OR STREET.

GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICE, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.

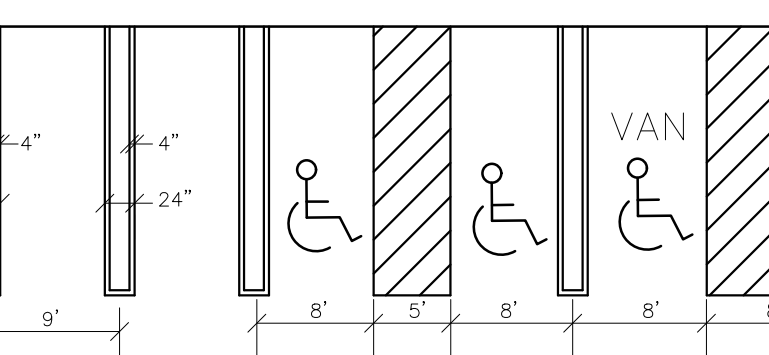
ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT TO EXCEED ONE HUNDRED (100) FEET.

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

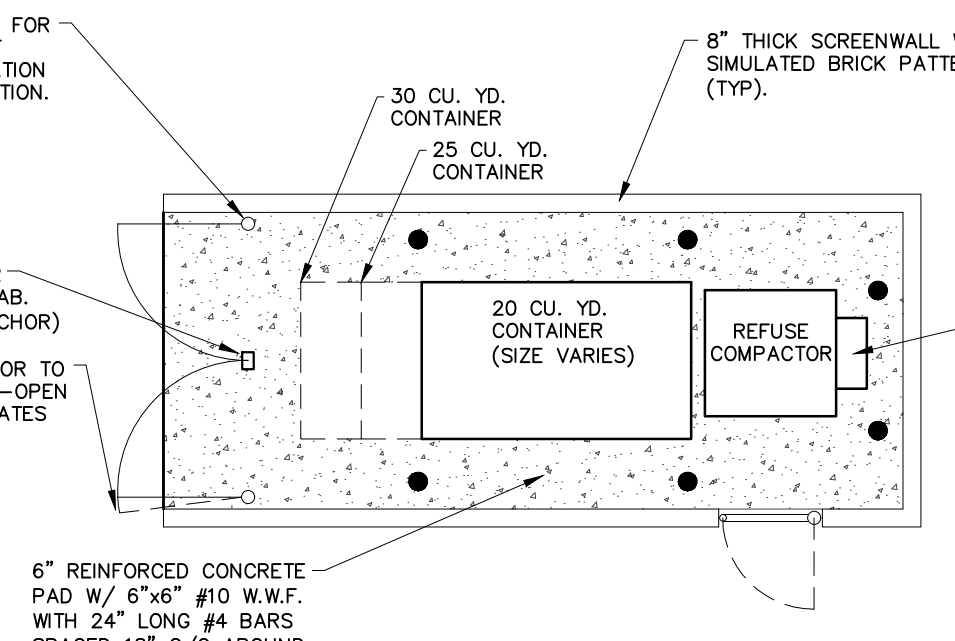
A WHITE HIGH VISIBILITY STRIP SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.



BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space



STANDARD PARKING STRIPE DETAIL
N.T.S.



REFUSE COMPACTOR DETAIL
N.T.S.

SITE DATA

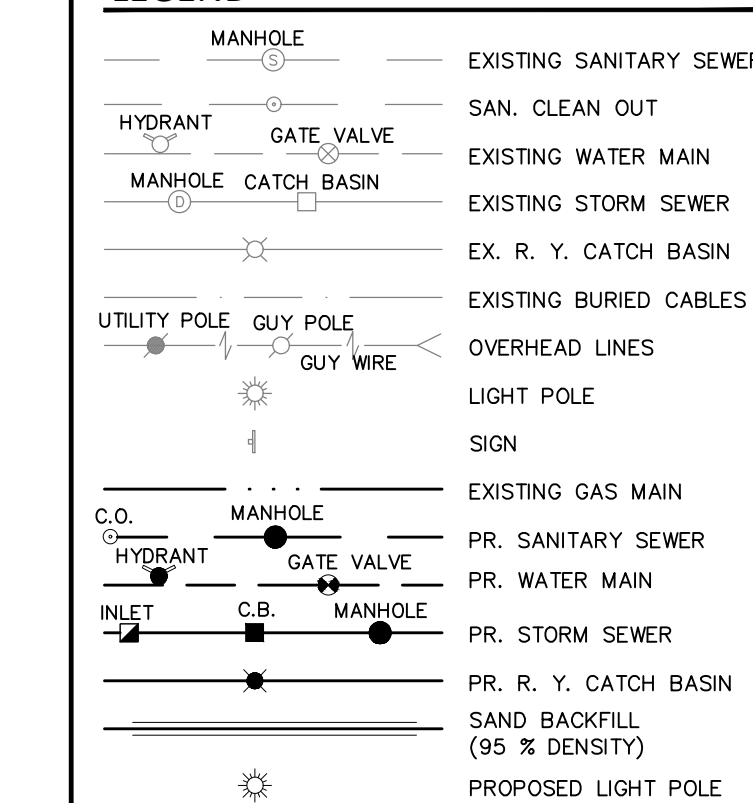
ZONING: D: DOWNTOWN DISTRICT

PARKING PROVIDED:
37 REGULAR PARKING SPACES
3 ADA STANDARD PARKING SPACES
1 ADA VAN ACCESSIBLE PARKING SPACE
2 E.V. PARKING / CHARGING SPACE

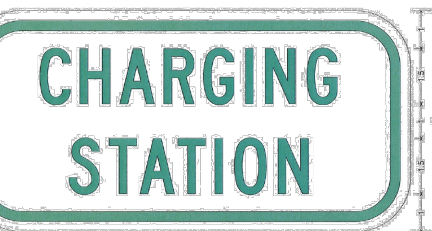
TOTAL PARKING PROVIDED: = 43 SPACES

SETBACKS:	REQUIRED:	PROVIDED:
FRONT (SOUTH):	25' (1m)	N/A
SIDE (WEST):	25' (1m)	N/A
SIDE (EAST):	25' (1m)	N/A
REAR (NORTH):	20' (1m)	N/A

LEGEND

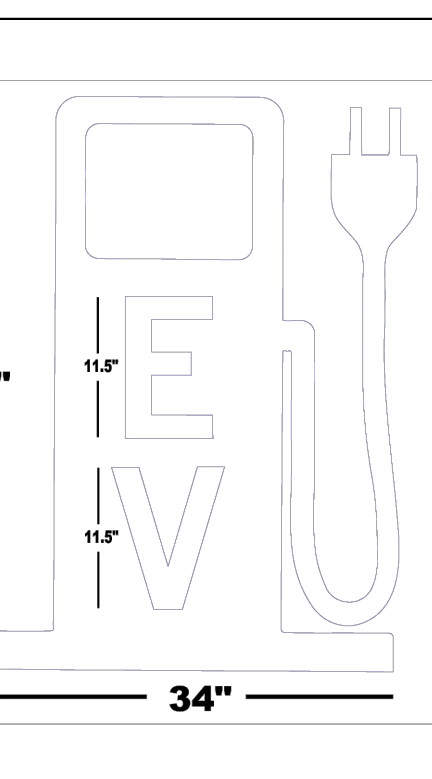


RESERVED PARKING SIGN
N.T.S.

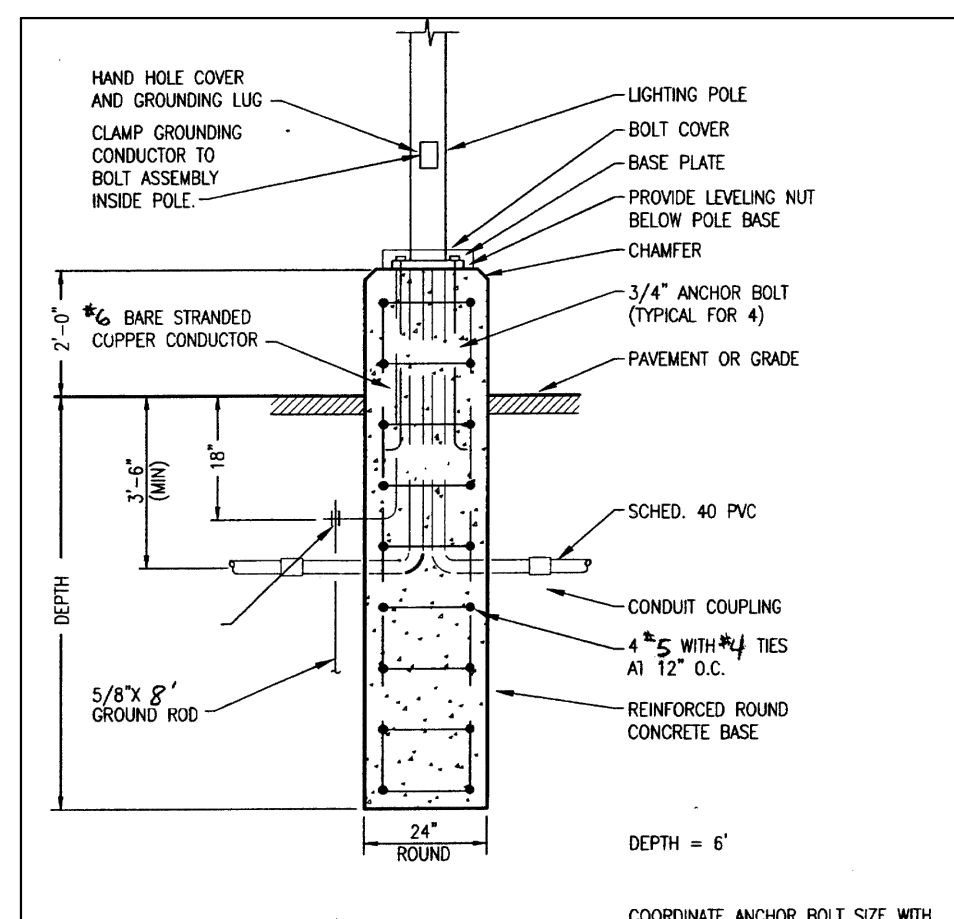


CHARGING STATION SIGN
N.T.S.

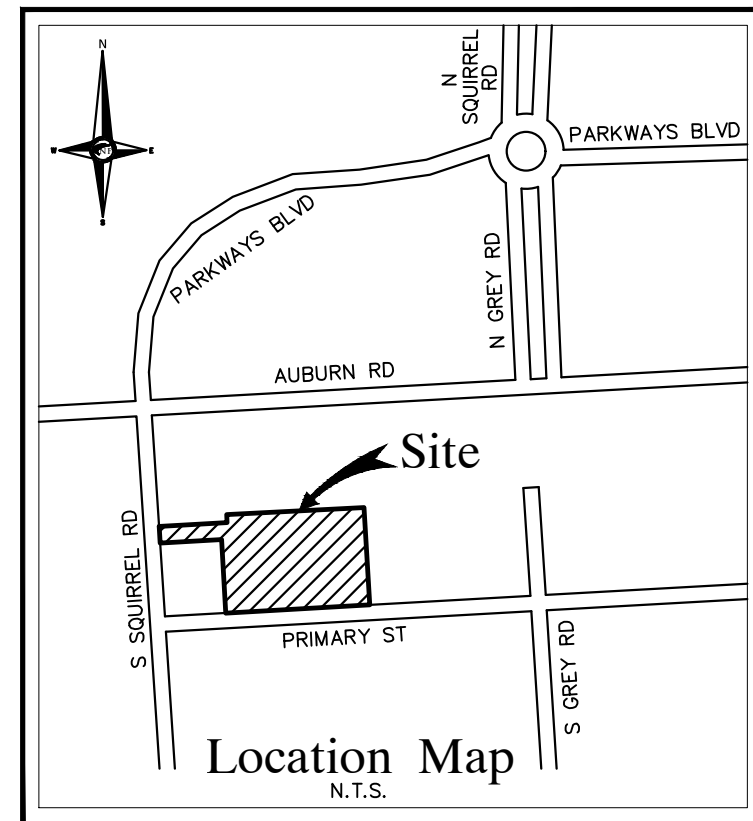
EV PARKING SIGN DETAIL
N.T.S.



EV PARKING PAVEMENT MARKING DETAIL
N.T.S.



LIGHTING POLE BASE DETAIL
NO SCALE



LEGAL DESCRIPTION - PER TAX RECORD

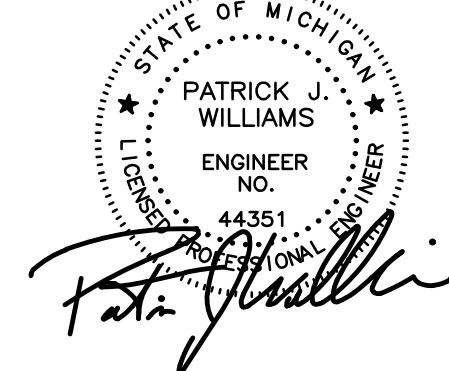
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Auburn Hills, MI 48326

CLIENT

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Financing Authority
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Contact: Andrew Hagge
Phone: 248-634-6900

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ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Paving and Grading Plan



DATE ISSUED/REVISED

07/21/2026 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:
A. Wiseman

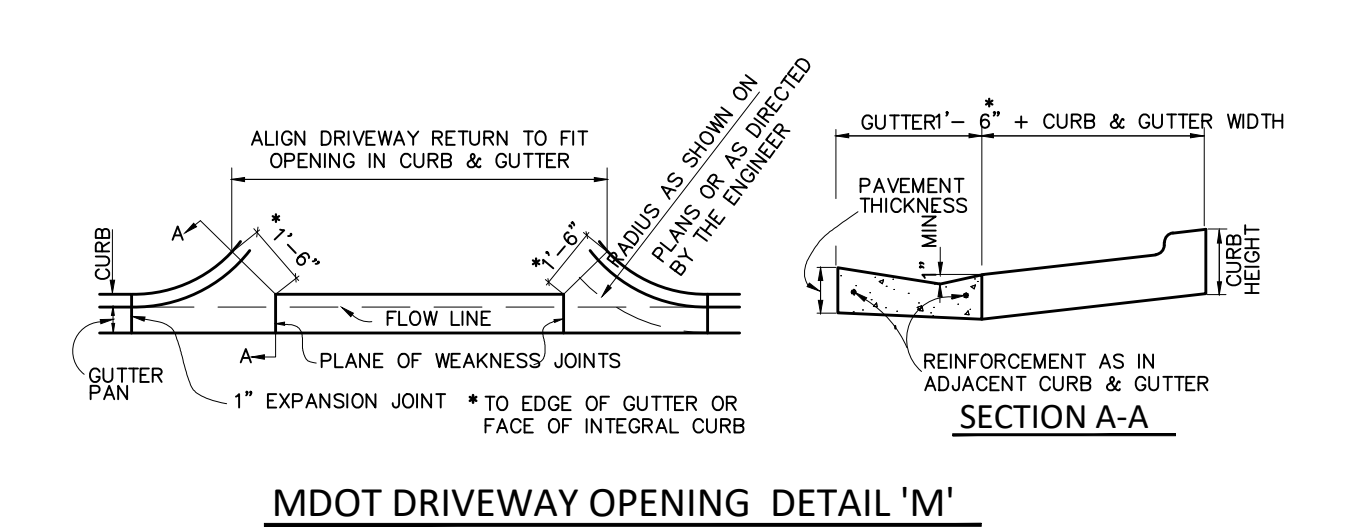
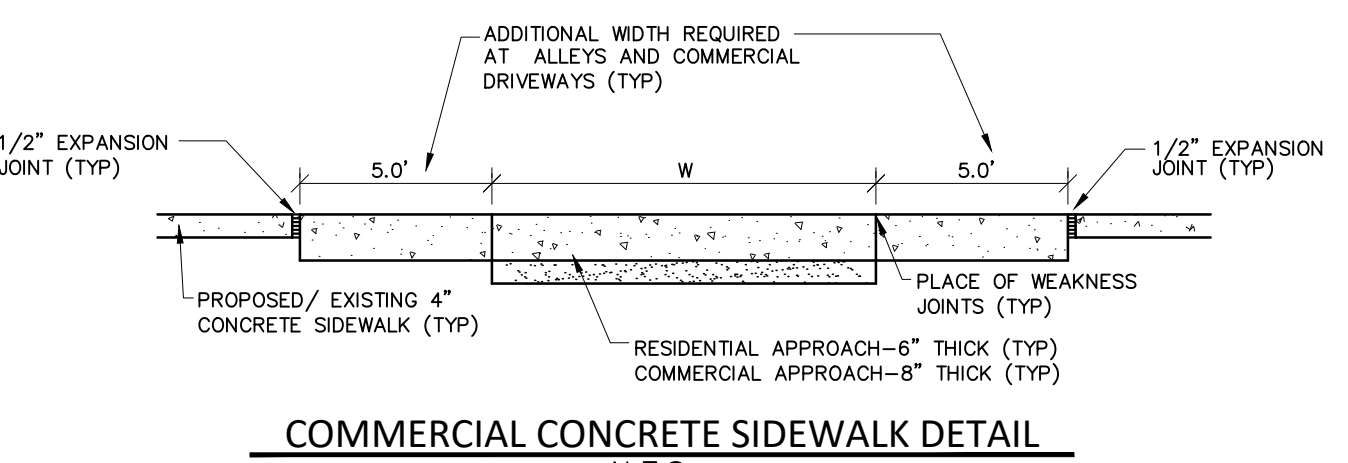
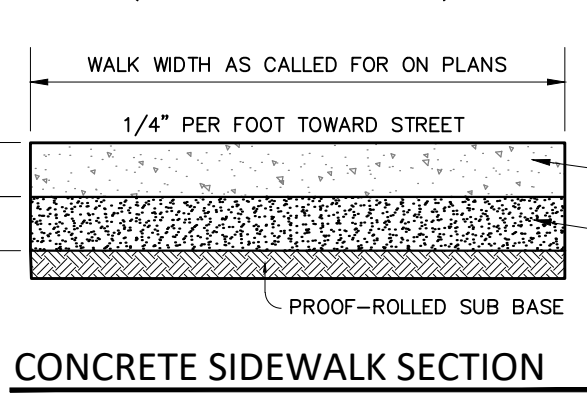
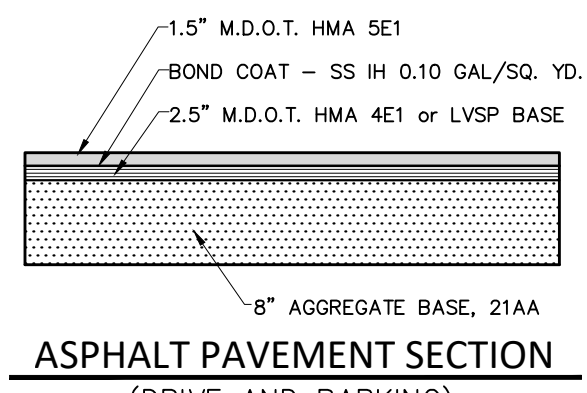
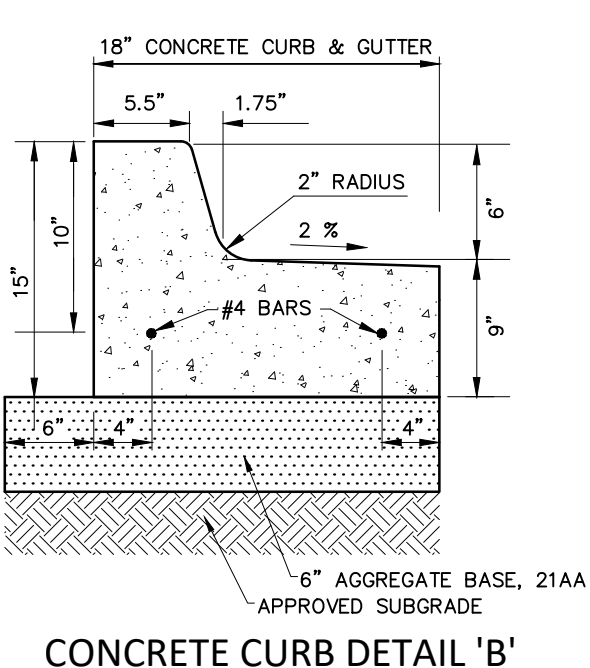
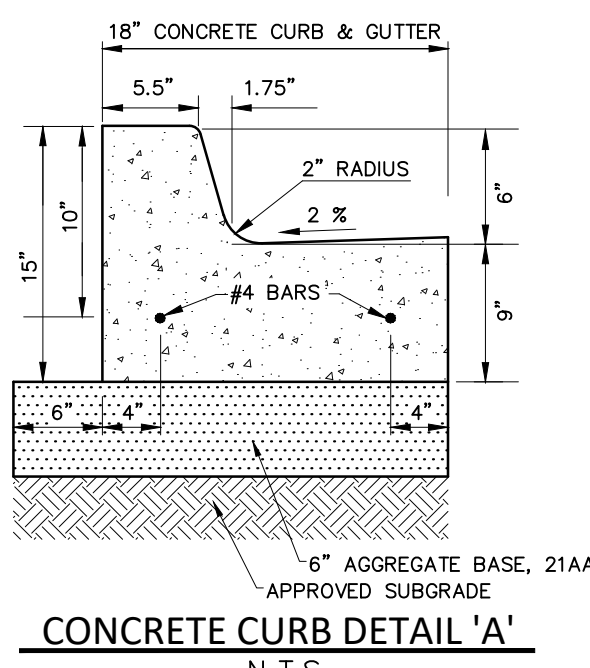
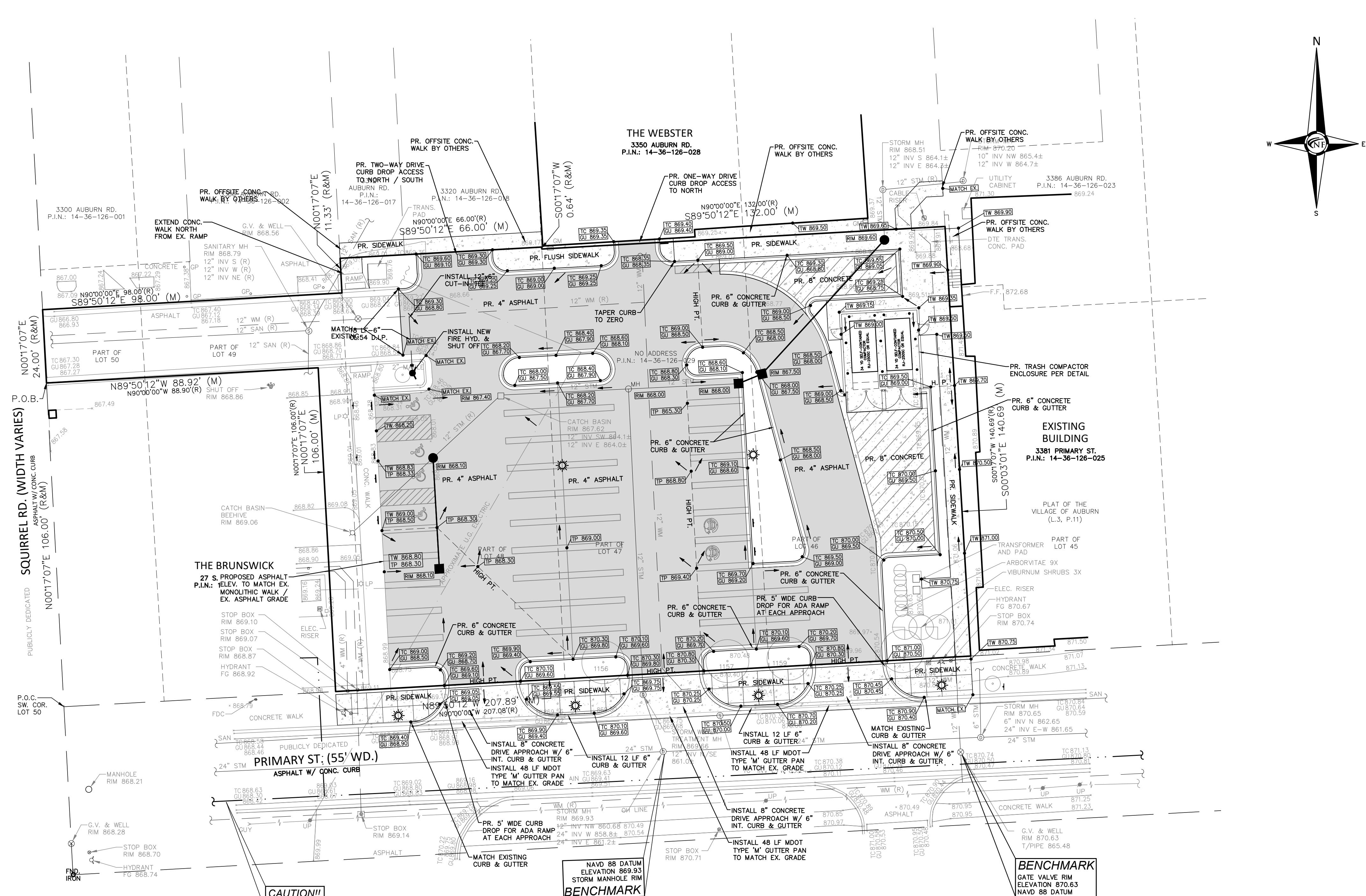
DESIGNED BY:
A. Wiseman

APPROVED BY:
P. Williams

DATE:
April 23, 2026

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
P262 C-04



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE HMA 4E1, 20A; SURFACE COURSE - MDT BITUMINOUS MIXTURE HMA 5E1, 20A; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-IH EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

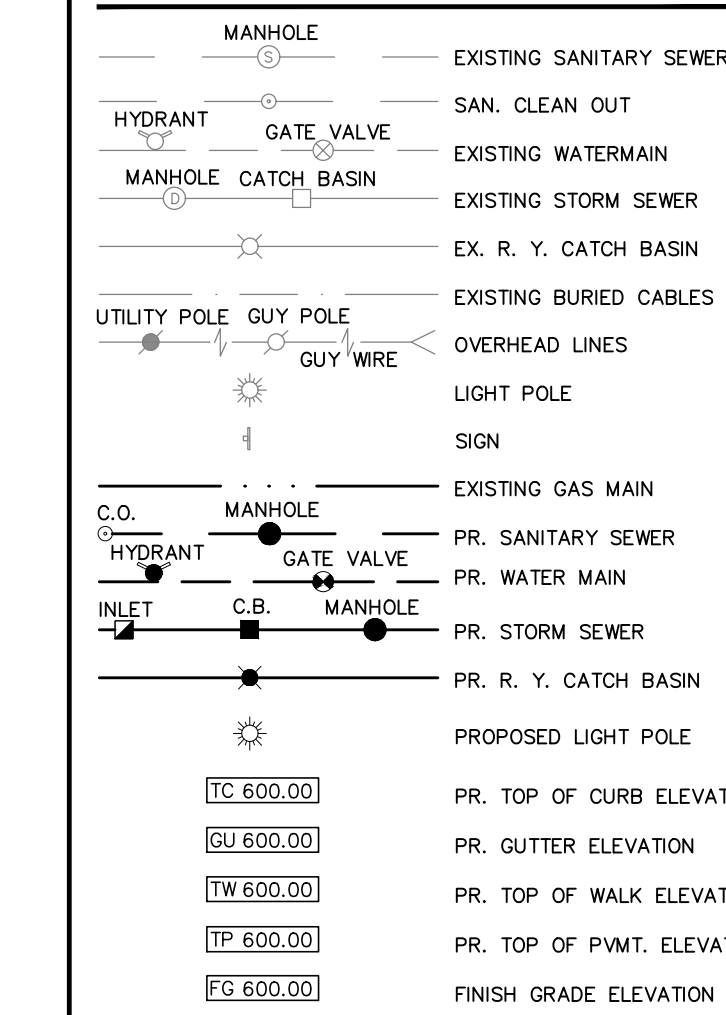
ESTIMATED QUANTITIES

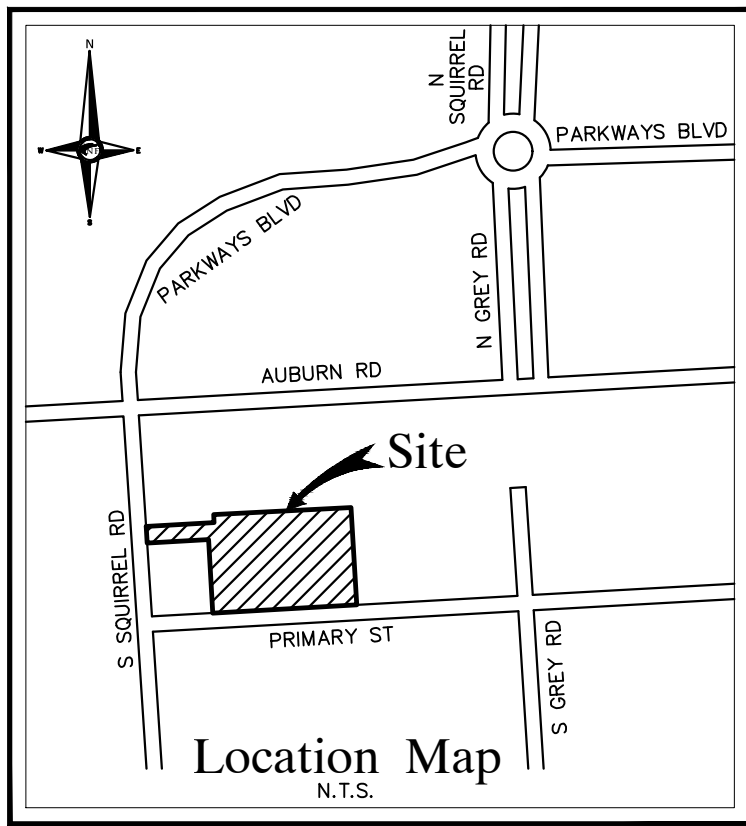
PAVING	DESCRIPTION	QUANTITY	UNITS
6" ASPHALT ON 8" 21AA BASE		1,972	S.Y.
4" CONCRETE SIDEWALK (ON-SITE)		2,226	S.F.
4" CONCRETE SIDEWALK (R.O.W.)		1,261	S.F.
8" CONCRETE W/6" INT. CURB & GUTTER		120	S.Y.
8" NON-REINFORCED CONCRETE		188	S.Y.
6" CONCRETE CURB & GUTTER (ON-SITE)		728	L.F.
6" CONCRETE CURB & GUTTER R.O.W.)		99	L.F.

PAVING LEGEND



LEGEND





NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

LEGAL DESCRIPTION - PER TAX RECORD

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Auburn Hills, MI 48326

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1827 Squirrel Rd.
Auburn Hills, MI 48326

Contact: Andrew Hagge

Phone: 248-634-6900

Email:

ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Utility Plan



DATE ISSUED/REVISED

07/21/2026 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:
A. Wiseman

DESIGNED BY:
A. Wiseman

APPROVED BY:
P. Williams

DATE:
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SCALE: 1" = 20'

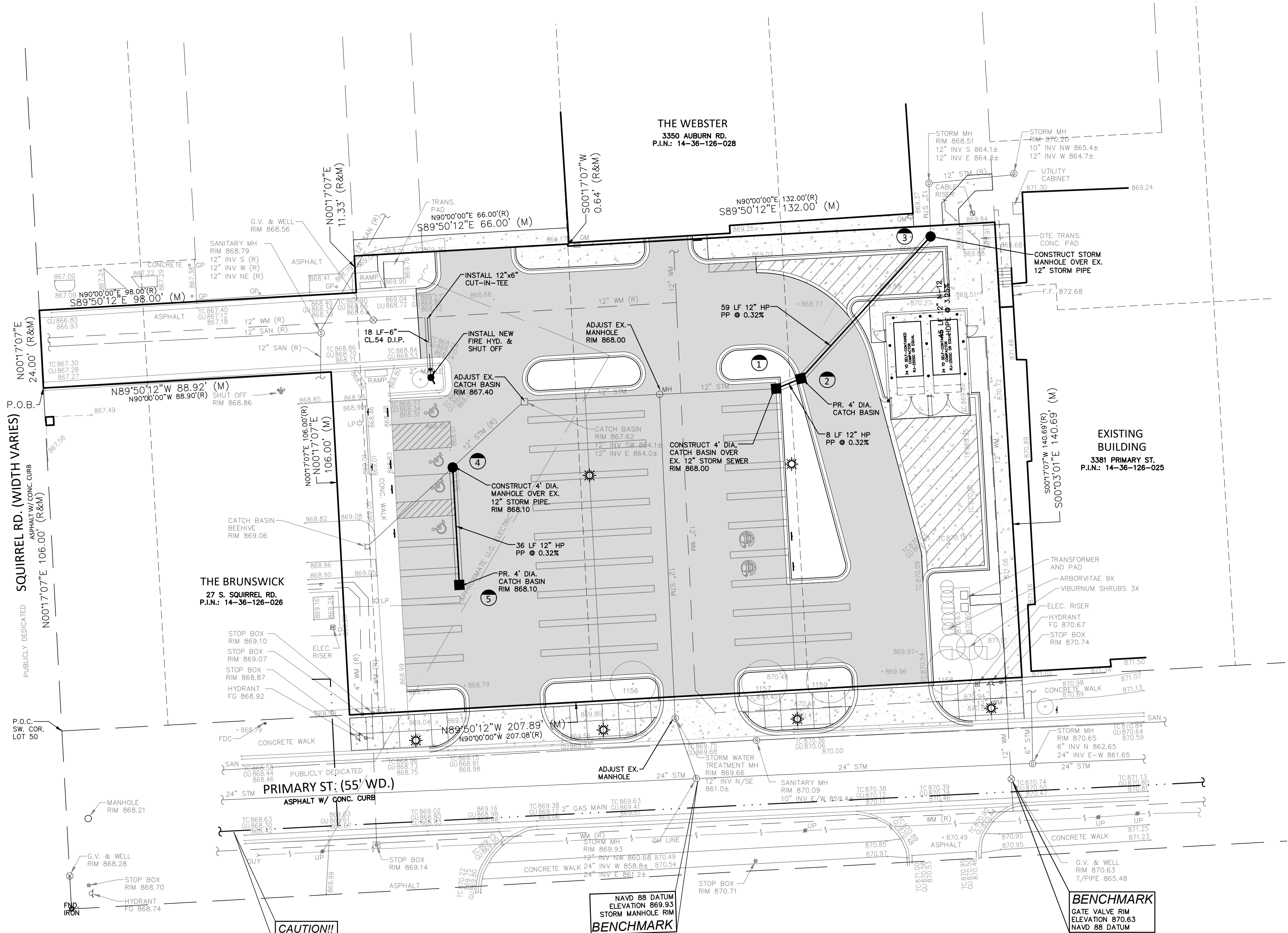
20 10 0 10 20 30

NFE JOB NO.

P262

SHEET NO.

C-05



FIRE DEPARTMENT NOTES

THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:

- WHITE - ON 4-INCH MAINS
- RED - ON 6-INCH MAINS
- ORANGE - ON 8-INCH MAINS
- GREEN - ON 12-INCH MAINS
- BLUE - ON 16-INCH OR LARGER MAINS

NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.

THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE PAVED DRIVEWAY OR STREET.

GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICE, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.

ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT TO EXCEED ONE HUNDRED (100) FEET.

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

A WHITE HIGH VISIBILITY STRIP SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

CITY OF AUBURN HILLS STANDARD NOTES

CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS.

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE ROW.

ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED, SIGNIFICANT FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM, SUNUP TO SUNDOWN, WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.

UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

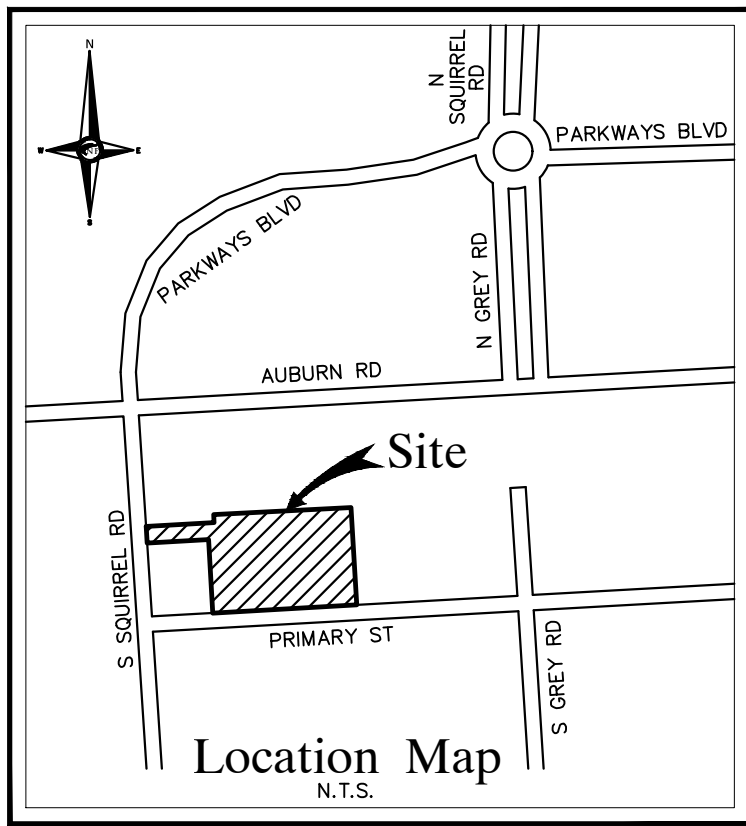
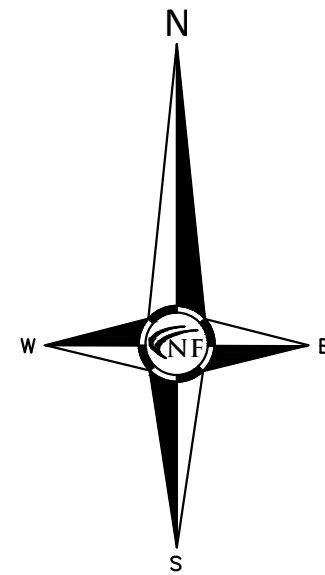
ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.

FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & MCCLIMENT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.



LEGAL DESCRIPTION - PER TAX RECORD

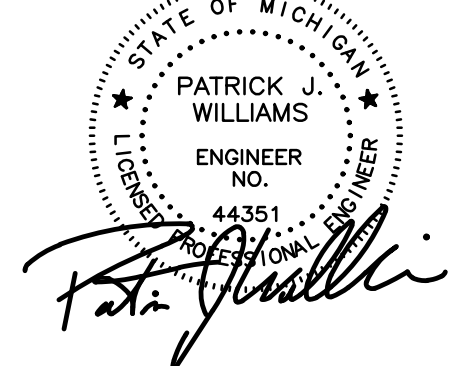
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BEGINNING AT A POINT DISTANT N 00°17'07" E 106.00 FEET FROM THE SOUTHWEST CORNER OF LOT 50 AT THE NORTHEAST INTERSECTION OF PRIMARY STREET (55 FT. WDE) AND SQUIRREL ROAD (WIDTH VARIES); THENCE CONTINUING N 00°01'17" E 24.00 FEET; THENCE EAST 98.00 FEET; THENCE NORTH 00°17'07" E 11.33 FEET; THENCE EAST 66.00 FEET; THENCE S 00°17'07" W 0.64 FEET; THENCE EAST 132.0 FEET; THENCE S 00°17'07" W 140.69 FEET; THENCE WEST 207.08 FEET; THENCE N 00°17'07" E 106.00 FEET; THENCE WEST 88.90 FEET TO THE POINT OF BEGINNING.

CONTAINING 31,269.3 SQUARE FEET OR 0.718 ACRES.

P.L.N.: 14-36-126-029

SEAL



PROJECT

Primary St. Parking Lot
Auburn Hills, MI 48326

CLIENT

Auburn Hills Tax Increment
Financing Authority
1827 Squirrel Rd.
Auburn Hills, MI 48326

Contact: Andrew Hagge
Phone: 248-634-6900
Email:

ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Storm Sewer Profiles



Know what's below
Call before you dig.

DATE **ISSUED/REVISED**

07-21-2026 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:

A. Wiseman

DESIGNED BY:

A. Wiseman

APPROVED BY:

P. Williams

DATE:

April 23, 2026

SCALE: 1" = 30' / 1" = 3'

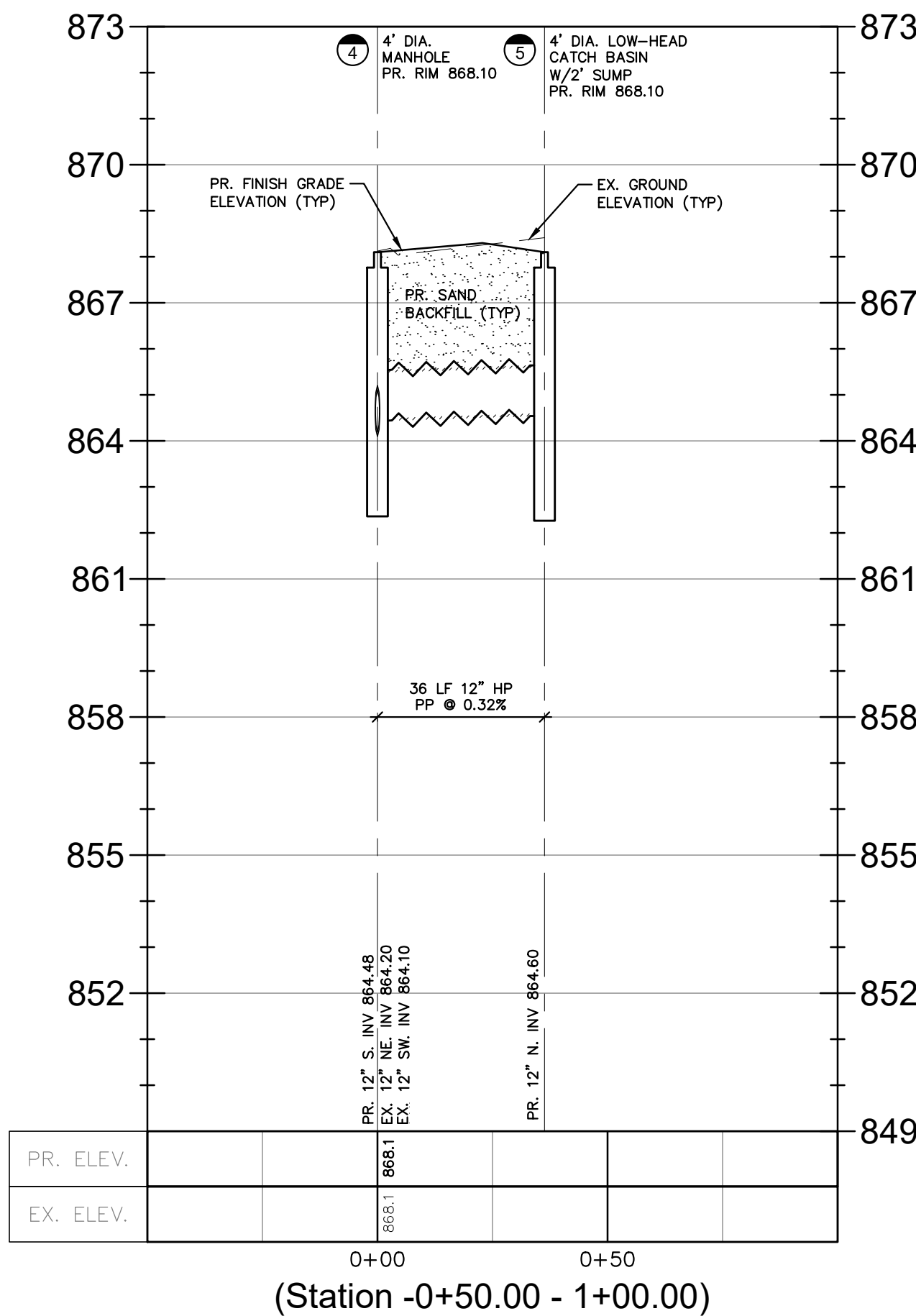
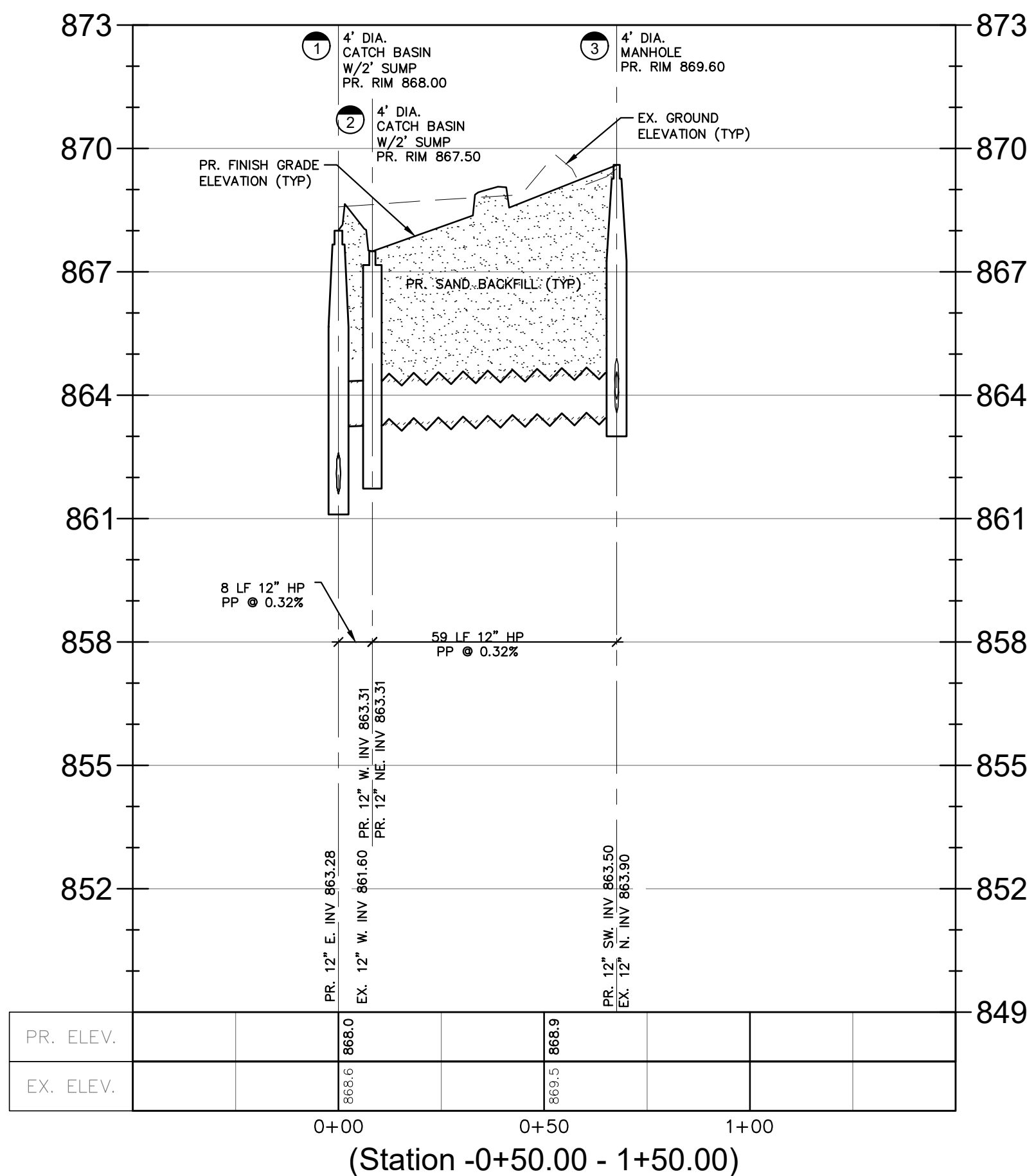
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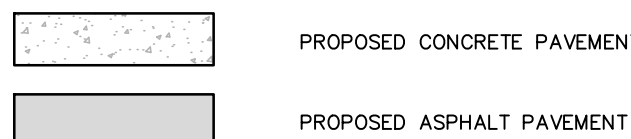
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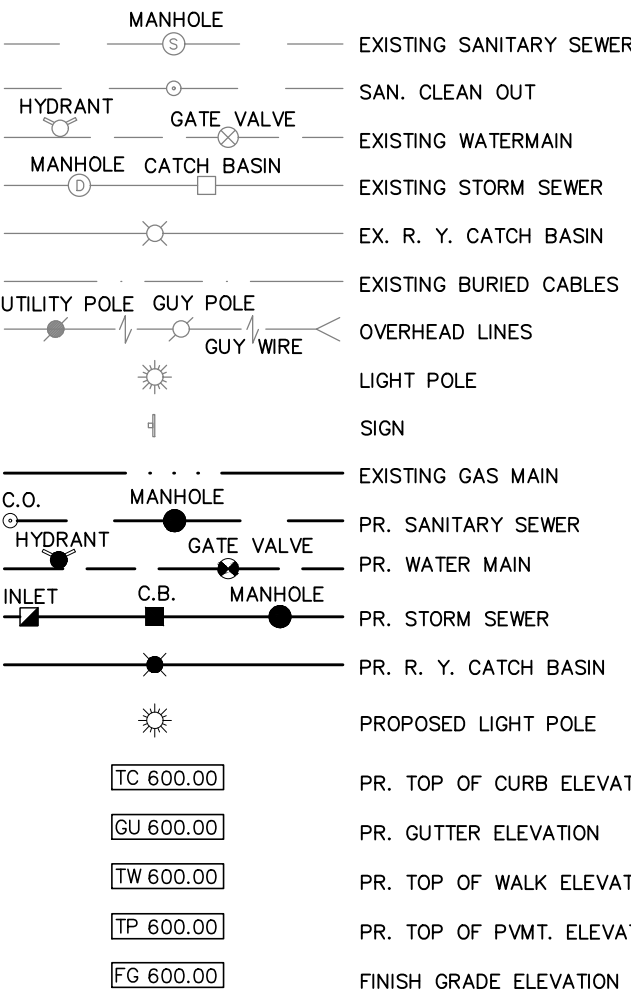
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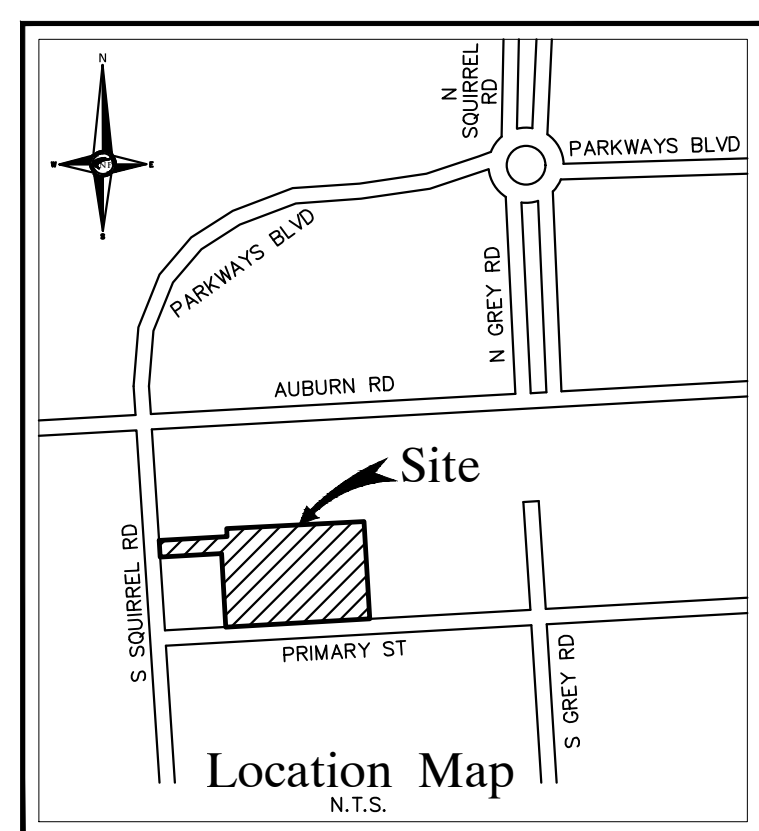
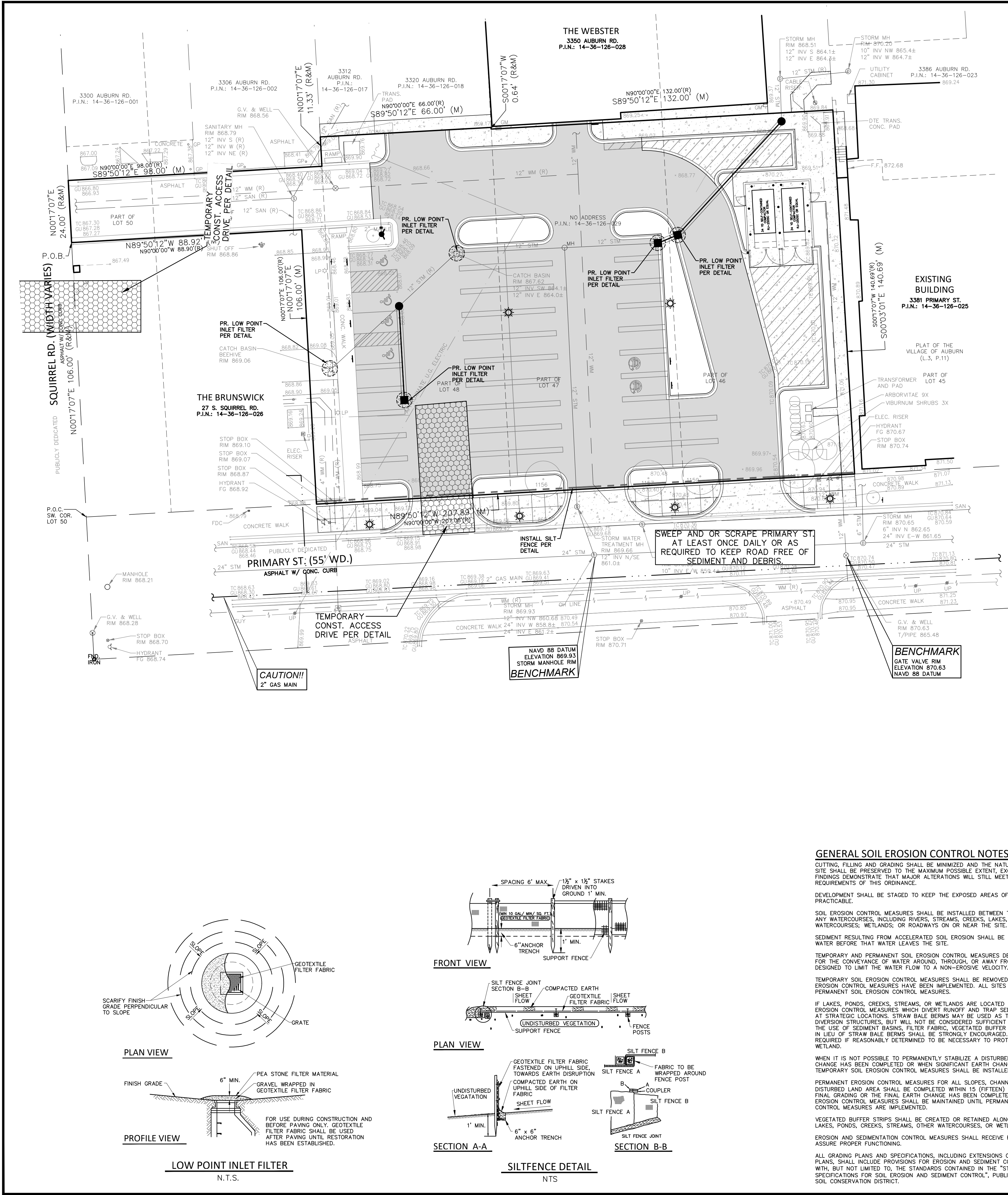


PAVING LEGEND



LEGEND





LEGAL DESCRIPTION - PER TAX RECORD

A PORTION OF LAND IN PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 03 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN BEING PART OF LOTS 46-50 OF THE "PLAT OF THE VILLAGE OF AUBURN" AS RECORDED IN LIBER 3, P.11 (OCR) DESCRIBED AS:

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CONTAINING 31,269.3 SQUARE FEET OR 0.718 ACRES.

P.L.N.: 14-36-126-029

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
SOIL EROSION CONTROL		
SILT FABRIC FENCING	207	L.F.
LOW POINT INLET FILTER	5	EA.

LEGEND

---	INDICATES LIMITS OF SILT FABRIC FENCE AND LIMITS OF DISTURBANCE.
○	INDICATES LOW POINT INLET FILTER ON REAR YARD DRAINAGE STRUCTURES
○	INDICATES SILT SACK OR EQUAL ON CURB & GUTTER DRAINAGE STRUCTURE

LEGEND

CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
MANHOLE	CB	EXISTING BURIED CABLES
UTILITY POLE	GUY POLE	EXISTING GAS MAIN
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING OVERHEAD LINES
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYCB	PROPOSED STORM SEWER
COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL
TC 600.00		UTILITY CROSSING
GU 600.00		PROPOSED GUTTER ELEVATION
TW 600.00		PR. TOP OF WALK ELEVATION
TP 600.00		PR. TOP OF PAVEMENT ELEV.
FG 600.00		PROPOSED FINISH GRADE
600		PROPOSED CONTOUR
---		PROPOSED SWALE
---		PR. DRAINAGE DIRECTION
---		PROPOSED INLET FILTER
---		DRAINAGE AREA LIMITS
---		PROPOSED SILT FENCE
---		LIMITS OF SOIL DISRUPTION

PAVING LEGEND

---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED ASPHALT PAVEMENT

SOIL EROSION MAINTENANCE

ALL SOIL EROSION SHALL BE CONTAINED ON SITE.

THE OWNER SHALL CAUSE TO HAVE PERIODIC REMOVAL OF DEBRIS AND SEDIMENT BUILD-UP FROM EROSION CONTROL MEASURES DURING CONSTRUCTION.

ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTORS OPERATION SHALL BE REPLACED THE SAME WORKING DAY.

THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL PERMIT FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENT AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.

UNTIL ALL DISTURBED AREAS HAVE BEEN RE-ESTABLISHED WITH VEGETATION, THE DEVELOPER IS RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL SOIL EROSION CONTROL MEASURES AFTER EACH STORM EVENT.

UPON COMPLETION OF EACH STORM STRUCTURE, THE CONTRACTORS SHALL INSTALL THE REQUIRED SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN.

SOIL EROSION SEQUENCE OF CONSTRUCTION

INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE (IF REQUIRED) AS INDICATED ON THE PLANS.

INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.

EXCAVATE A SHALLOW SWALE/DITCH AROUND PERIMETER OF SITE IF WARRANTED, THEN GRADE THE TEMPORARY SWALE TO AN EXISTING DRAINAGE FACILITY. PLACE OUTLET FILTER IN EXISTING UPSTREAM STORM SEWER FACILITIES.

IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.

STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.

EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES.

COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.

SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.

REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.

REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.

STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

GENERAL SOIL EROSION CONTROL NOTES

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES, WETLANDS, OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERM MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.

**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

PROJECT
Primary St. Parking Lot
Auburn Hills, MI 48326

CLIENT
Auburn Hills Tax Increment
Financing Authority
1827 Squirrel Rd.
Auburn Hills, MI 48326

Contact: Andrew Hagge
Phone: 248-634-6900
Email:
ahagge@auburnhills.org

PROJECT LOCATION
Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

DATE 07-21-2026 ISSUED/REVISED
ISSUED FOR ENGINEERING REVIEW

DRAWN BY:
A. Wiseman

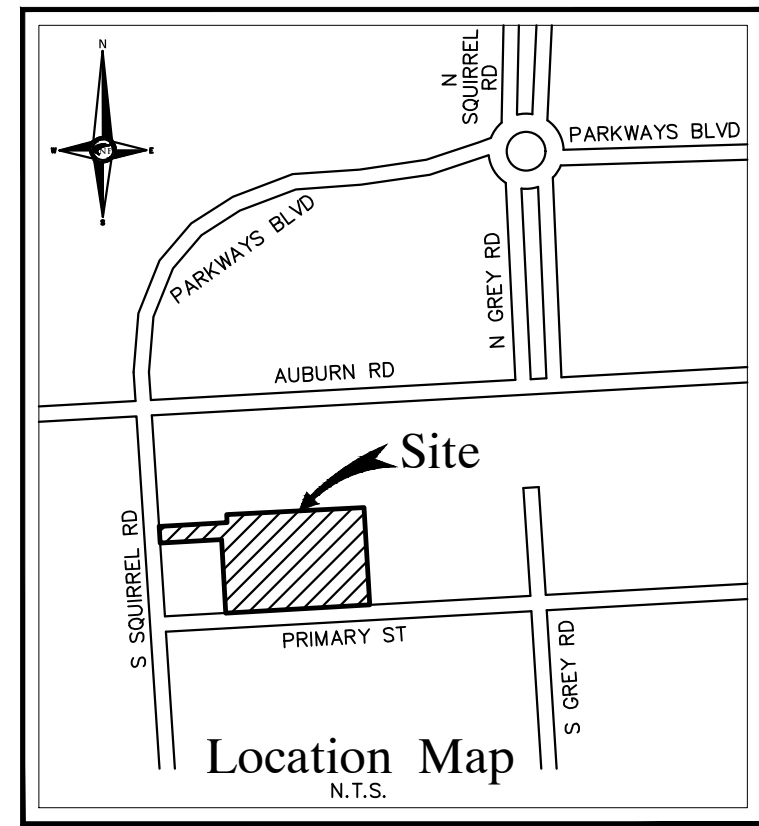
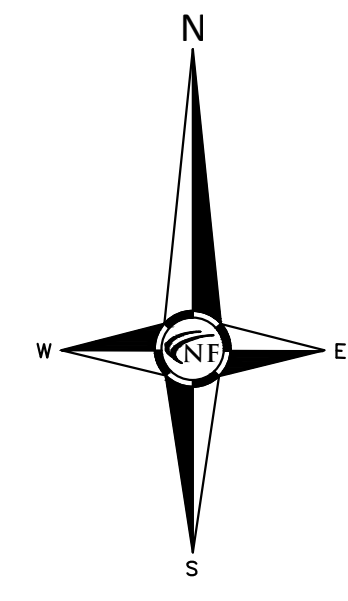
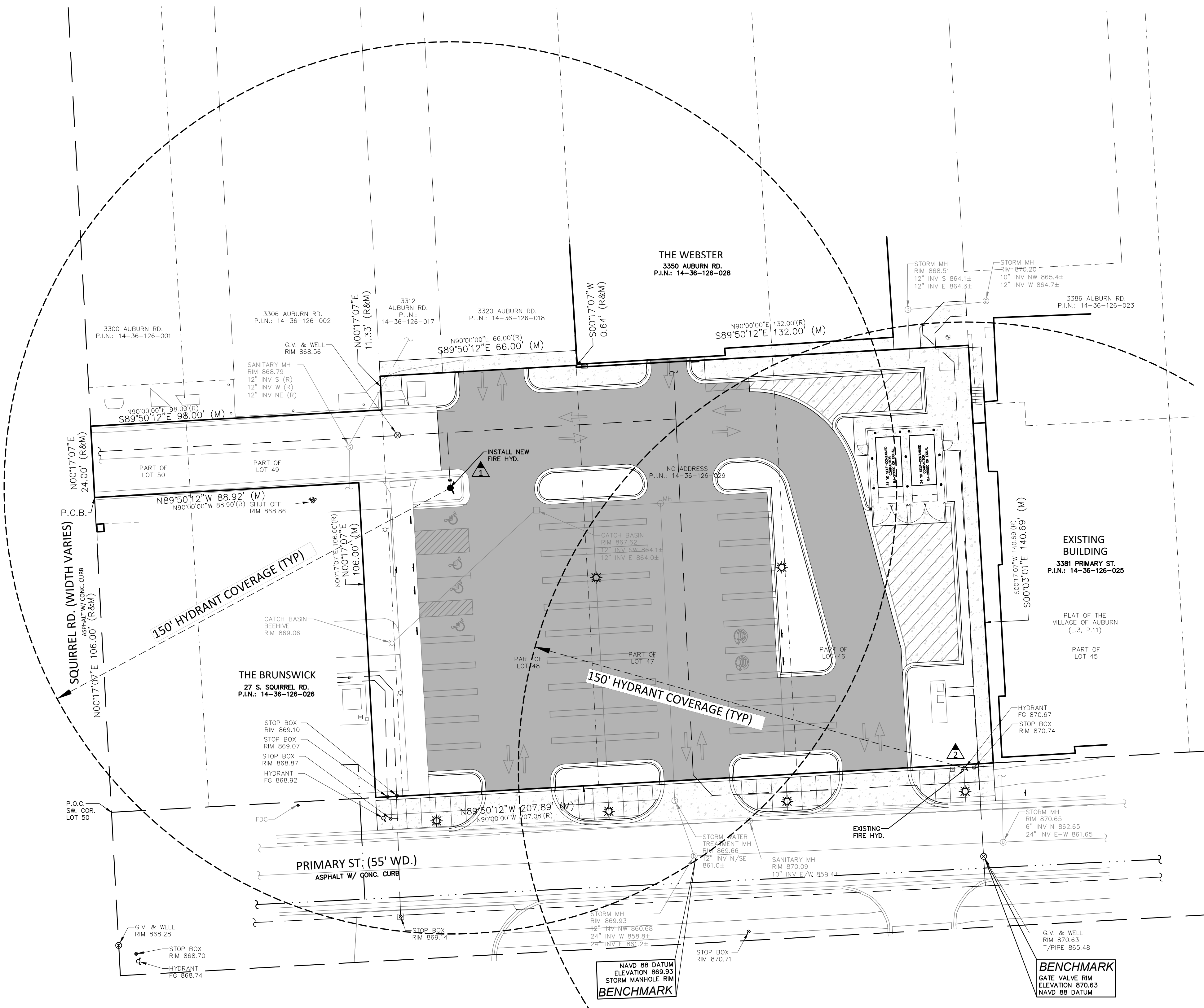
DESIGNED BY:
A. Wiseman

APPROVED BY:
P. Williams

DATE:
April 23, 2026

SCALE: 1" = 20'

NFE JOB NO. P262 SHEET NO. C-07



LEGAL DESCRIPTION - PER TAX RECORD

A PORTION OF LAND IN PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 03 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN BEING PART OF LOTS 46-50 OF THE "PLAT OF THE VILLAGE OF AUBURN" AS RECORDED IN LIBER 3, P.11 (OCR) DESCRIBED AS:

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CONTAINING 31,269.3 SQUARE FEET OR 0.718 ACRES.

P.I.N.: 14-36-126-029

FIRE DEPARTMENT NOTES

THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:
WHITE - ON 4-INCH MAINS
RED - ON 6-INCH MAINS
ORANGE - ON 8-INCH MAINS
GREEN - ON 12-INCH MAINS
BLUE - ON 16-INCH OR LARGER MAINS

NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.

THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE PAVED DRIVEWAY OR STREET.

GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICE, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.

ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT TO EXCEED ONE HUNDRED (100) FEET.

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

A WHITE HIGH VISIBILITY STRIP SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.



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SEAL



PROJECT

Primary St. Parking Lot
Auburn Hills, MI 48326

CLIENT

Auburn Hills Tax Increment
Financing Authority
1827 Squirrel Rd.
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Contact: Andrew Hagge
Phone: 248-634-6900

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ahagge@auburnhills.org

PROJECT LOCATION

Part of the NW 1/4
of Section 36
T. 3 N., R. 10 E.,
City of Auburn Hills,
Oakland County, Michigan

SHEET

Fire Protection Plan



DATE ISSUED/REVISED
07-21-2026 ISSUED FOR ENGINEERING REVIEW

DRAWN BY:
A. Wiseman

DESIGNED BY:
A. Wiseman

APPROVED BY:
P. Williams

DATE:
April 23, 2026

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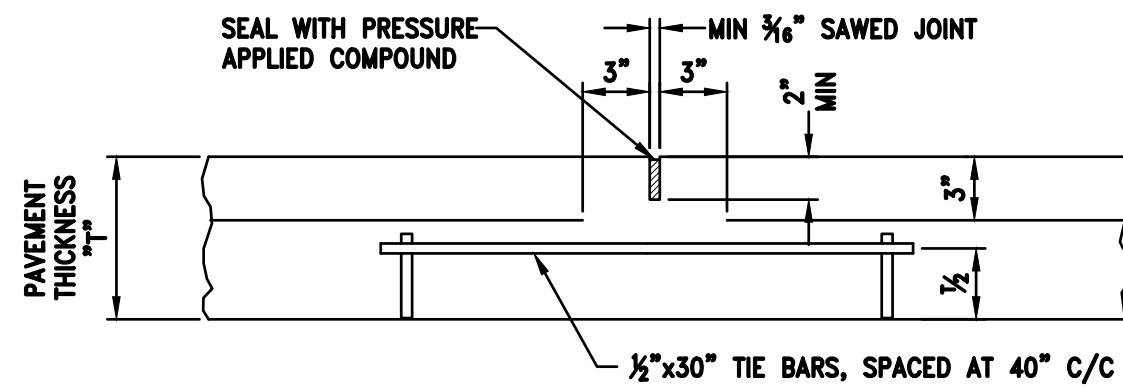
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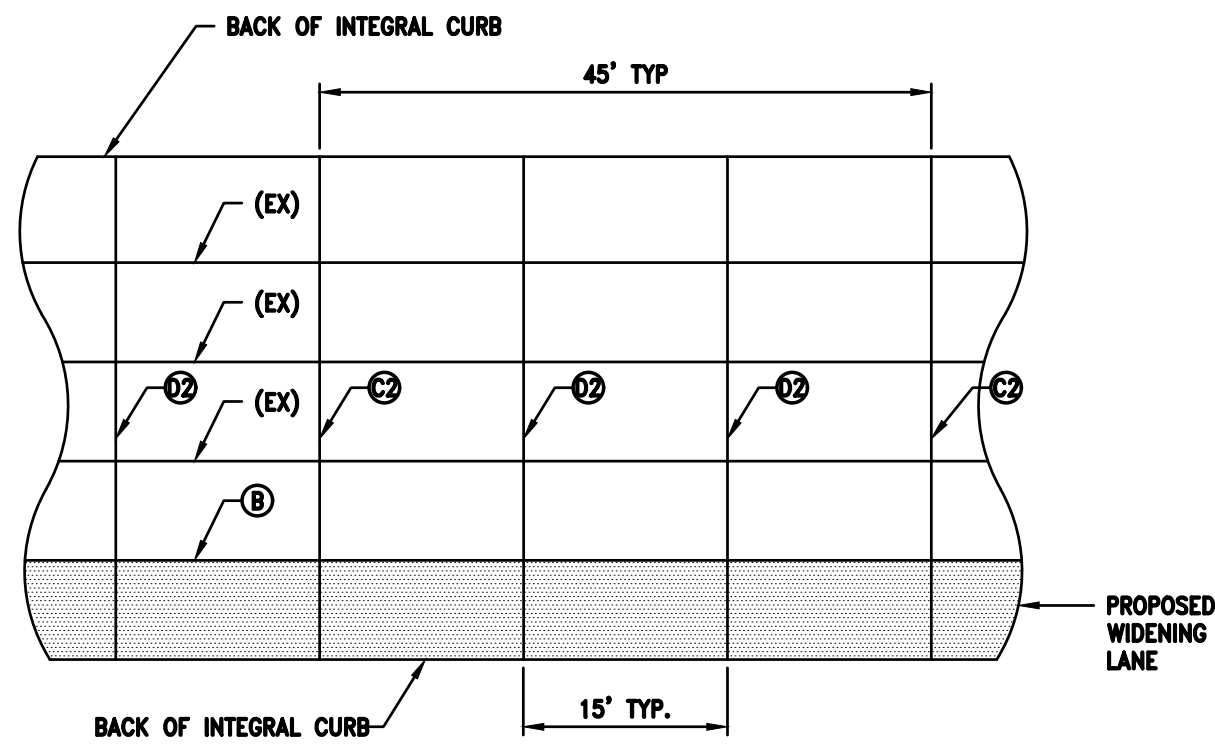
P262 C-08

LEGEND	
	MANHOLE
	HYDRANT
	MANHOLE
	UTILITY POLE
	C.O.
	HYDRANT
	INLET
	MANHOLE
	GATE VALVE
	C.B.
	MANHOLE
	PROPOSED LIGHT POLE
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	SAND BACKFILL (95% DENSITY)
	PROPOSED LIGHT POLE

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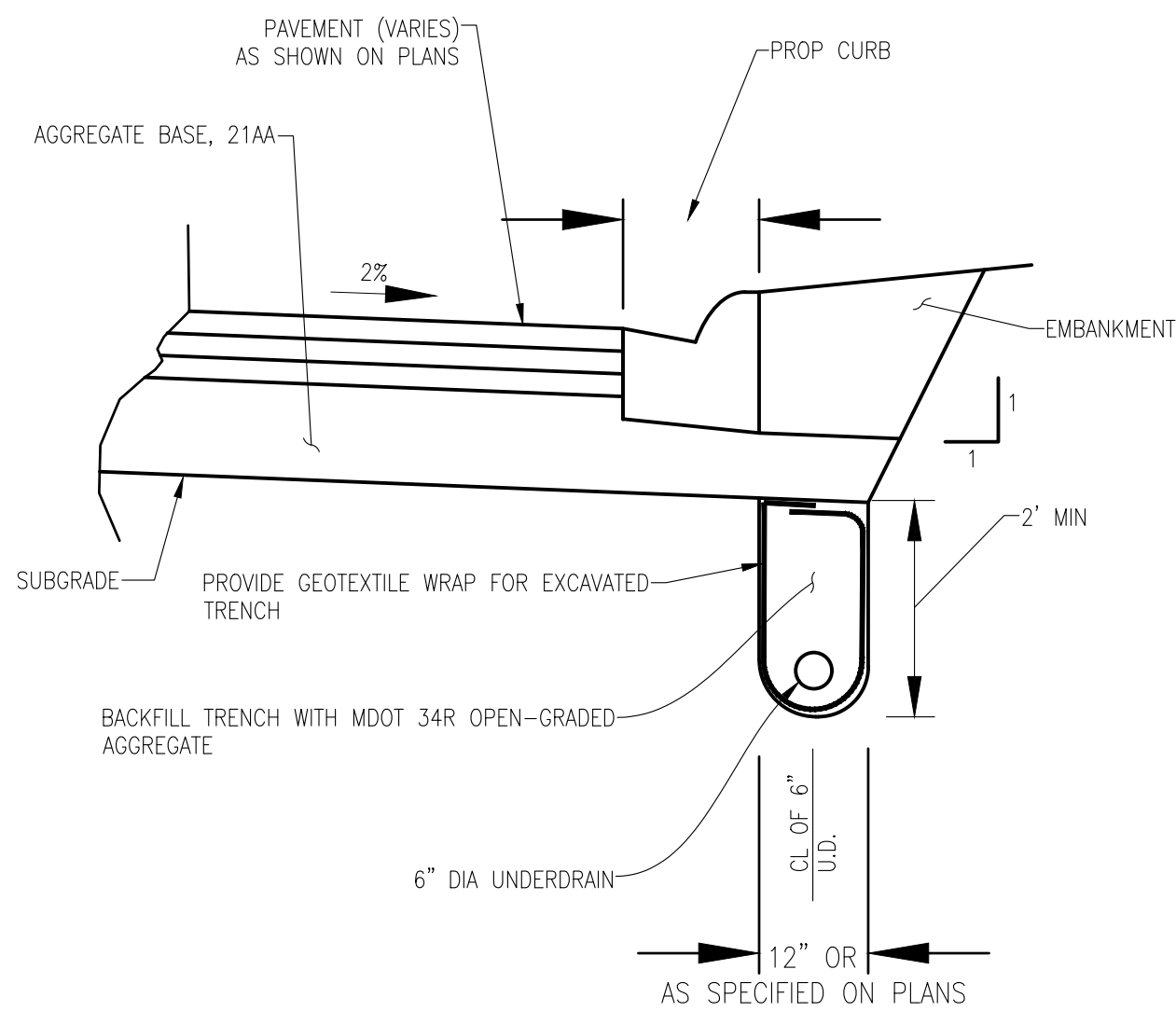


LONGITUDINAL LANE TIE JOINT "D"
NOT TO SCALE



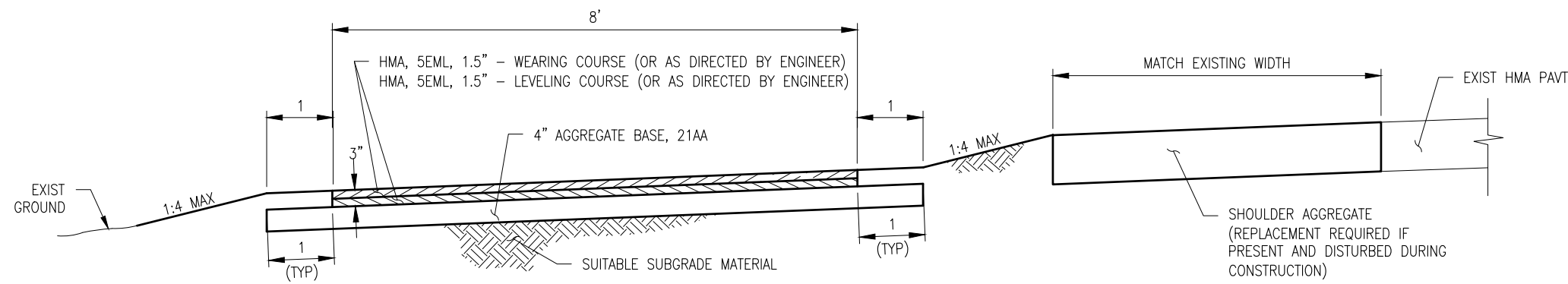
- | | |
|--|---|
| JOINTS | JOINTS TO BE PAID FOR SEPARATELY |
| C2 (MOD.) | TRANSVERSE CONTRACTION JOINT |
| E2 | EXPANSION JOINT |
| D2 (MOD.) | PLANE OF WEAKNESS JOINT |
| JOINTS INCLUDED IN THE COST OF CONCRETE | |
| B (MOD.) | LONGITUDINAL BULKHEAD JOINT |
| D (MOD.) | LONGITUDINAL LANE TIE JOINT |
| (EX) | EXISTING |

TYPICAL JOINT LAYOUT
NOT TO SCALE

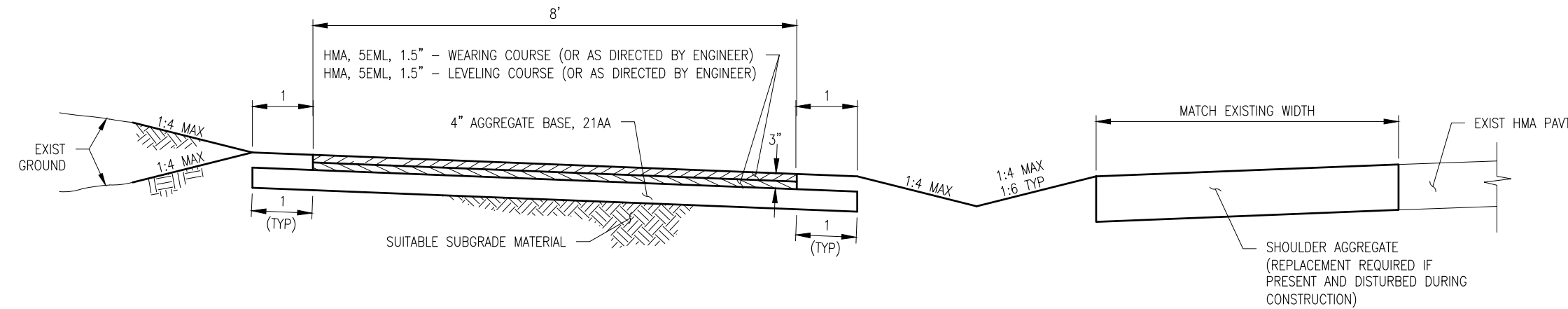


TYPICAL UNDERDRAIN ALONG ROADWAY CURB AND GUTTER SECTION

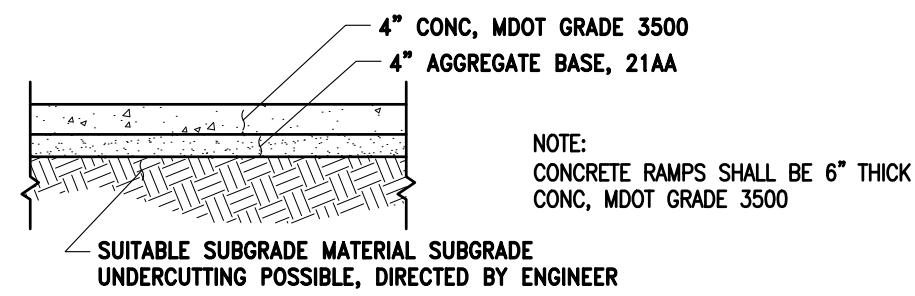
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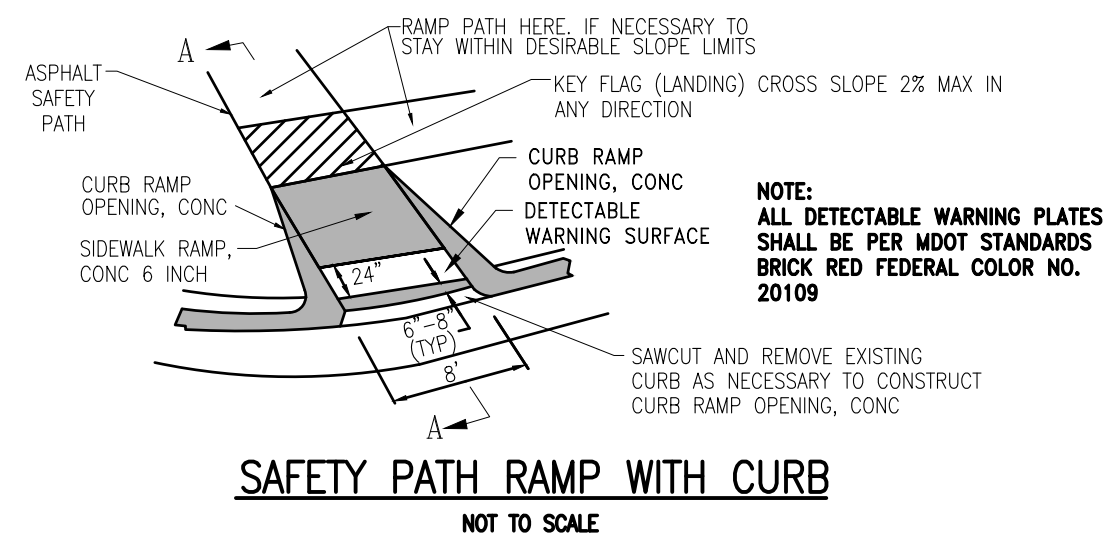
TYPICAL PATHWAY CROSS SECTION
NOT TO SCALE
REVERSE DETAIL FOR GRADE RIGHT



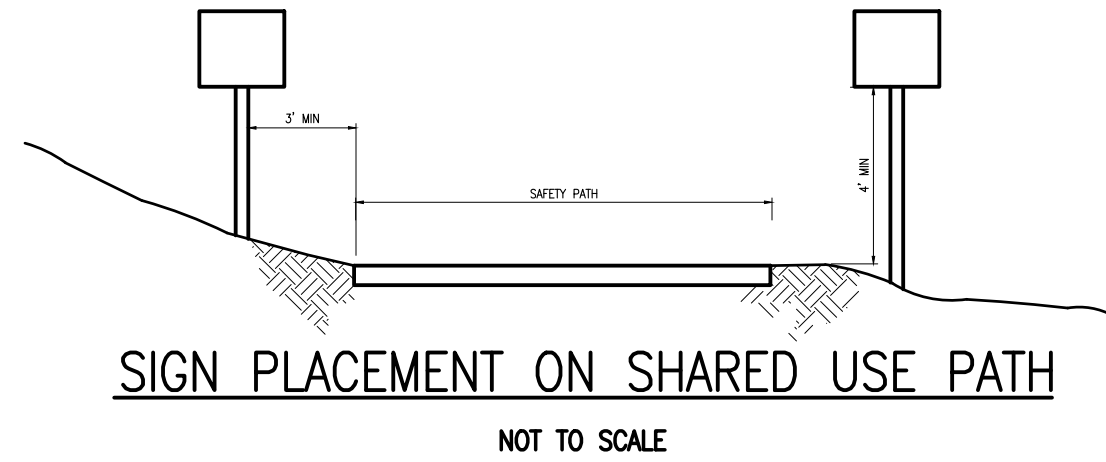
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REVERSE DETAIL FOR GRADE LEFT



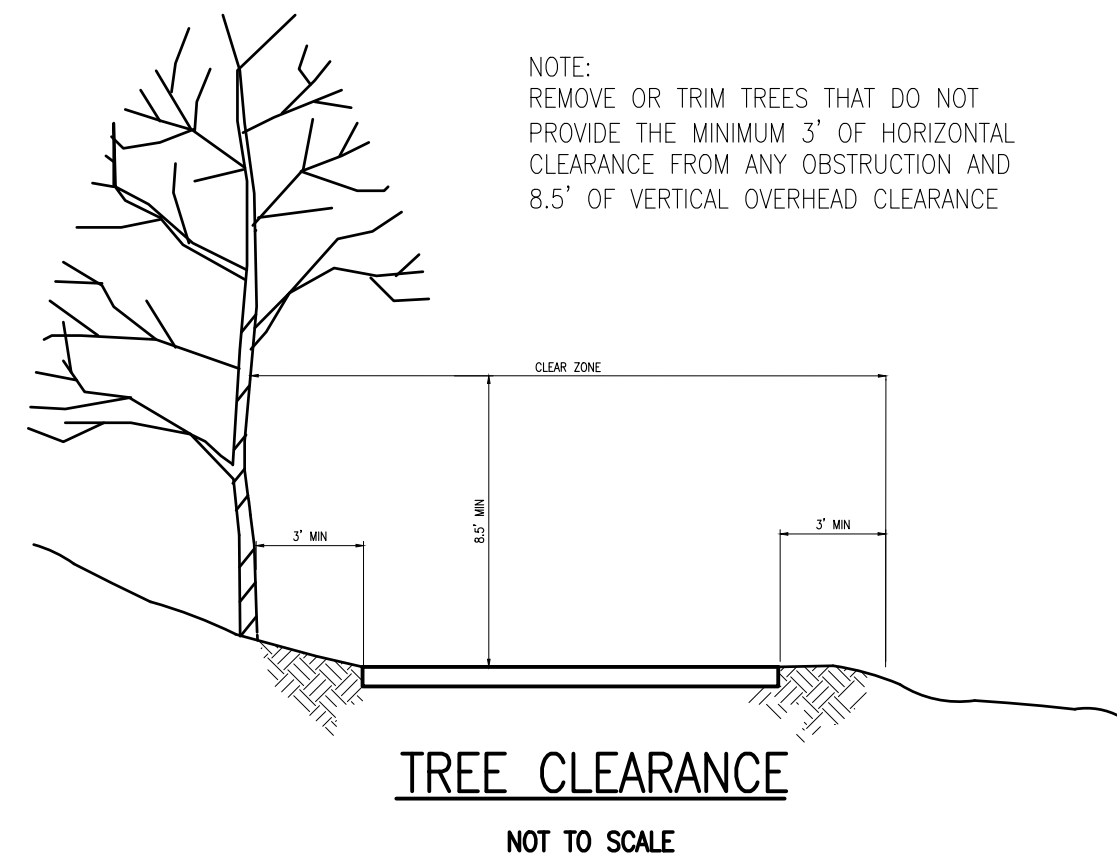
TYPICAL CONCRETE SIDEWALK CROSS-SECTION
NOT TO SCALE



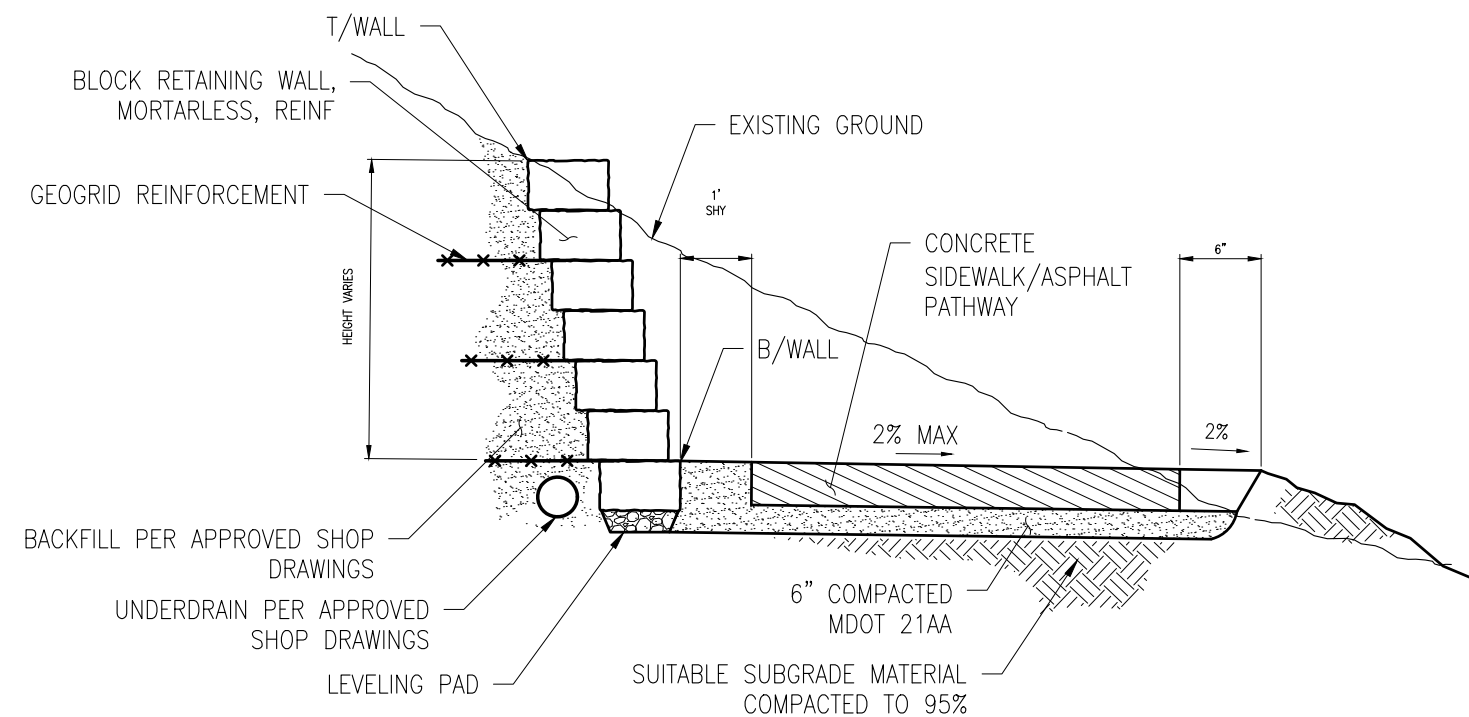
SAFETY PATH RAMP WITH CURB
NOT TO SCALE



SIGN PLACEMENT ON SHARED USE PATH
NOT TO SCALE



TREE CLEARANCE
NOT TO SCALE



TYPICAL WALL SECTION
NTS

DETAIL FOR
INFORMATION ONLY.
WALL MANUFACTURER
RESPONSIBLE FOR
SITE SPECIFIC
DETAILS.

- NON-MOTORIZED PATHWAY AND SIDEWALK NOTES**
1. All pathway shall be constructed per the current version of MDOT standard plan R-28 series and shall follow all current ADA guidelines.
 2. All pathway shall be constructed to the City of Auburn Hills Standard Details.
 3. Maximum pathway cross slope is 2%. Design cross slope shall be 1.25% to 1.5%.
 4. ADA ramps shall be provided at all intersections and street crossings. Detectable warning surfaces shall be provided for all ADA ramps and shall extend the full width of the curb ramp.
 5. A clean saw cut joint shall be provided wherever new pavement matches existing pavement.
 6. Utility structures in the pathway pavement shall be adjusted to proposed plan grade. Where possible, utility structures shall be outside of the pathway alignment.
 7. Pathway and sidewalk shall be free of standing water prior to final acceptance.

REVISIONS

DATE

PROJ NUMBER

SCALE

H: NTS

CITY/VILLAGETOWNSHIP

AUBURN HILLS

COUNTY

OAKLAND

CADD

PROJ MGR

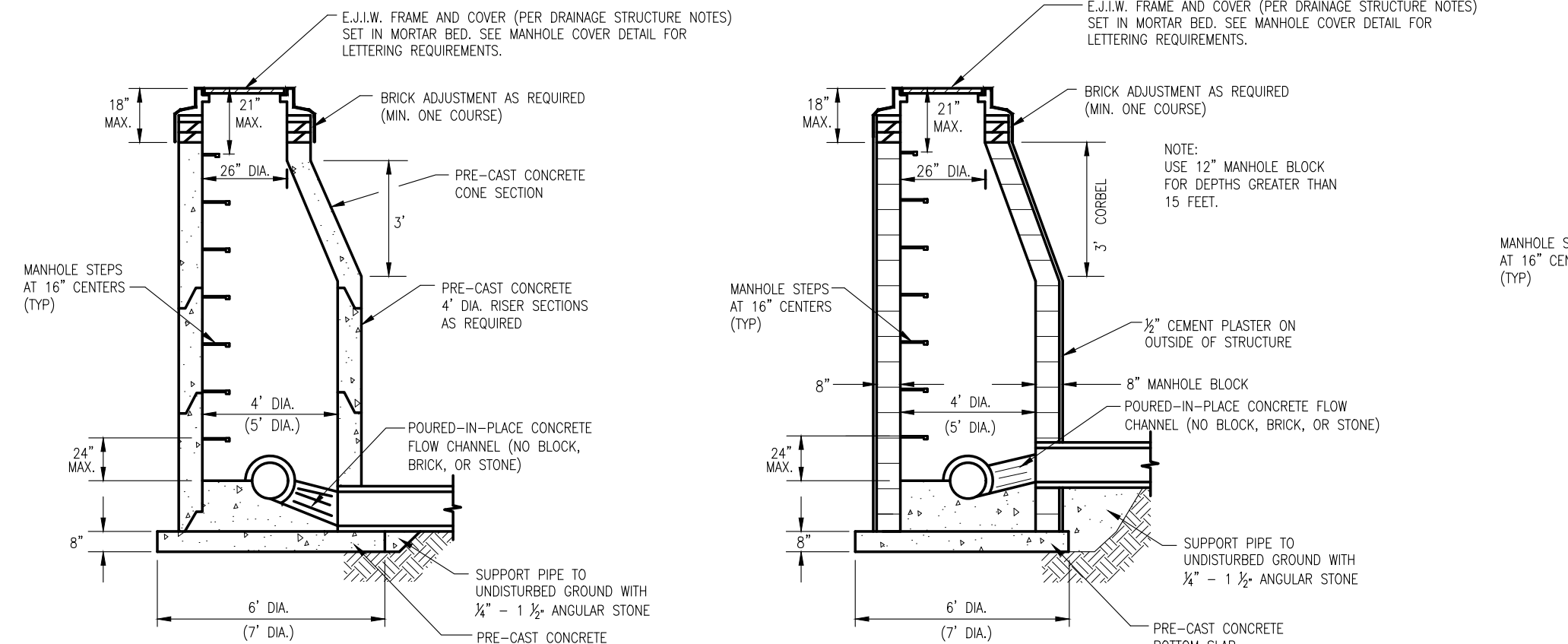
APC

ENG

AKS

6/2/2021

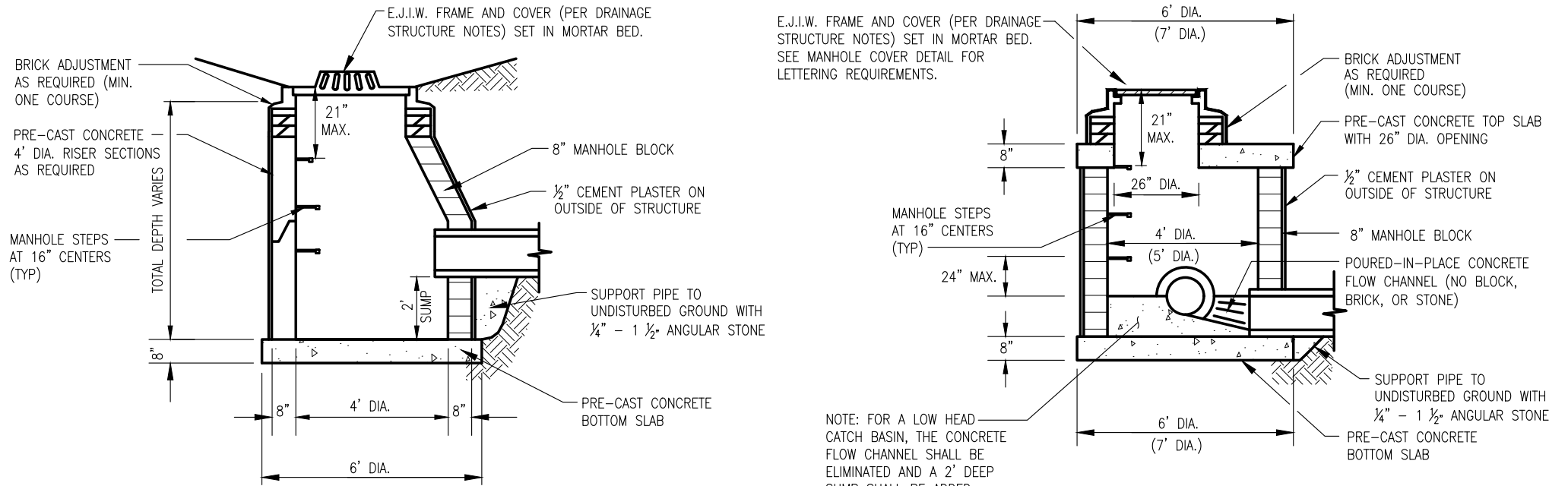
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PRE-CAST MANHOLE

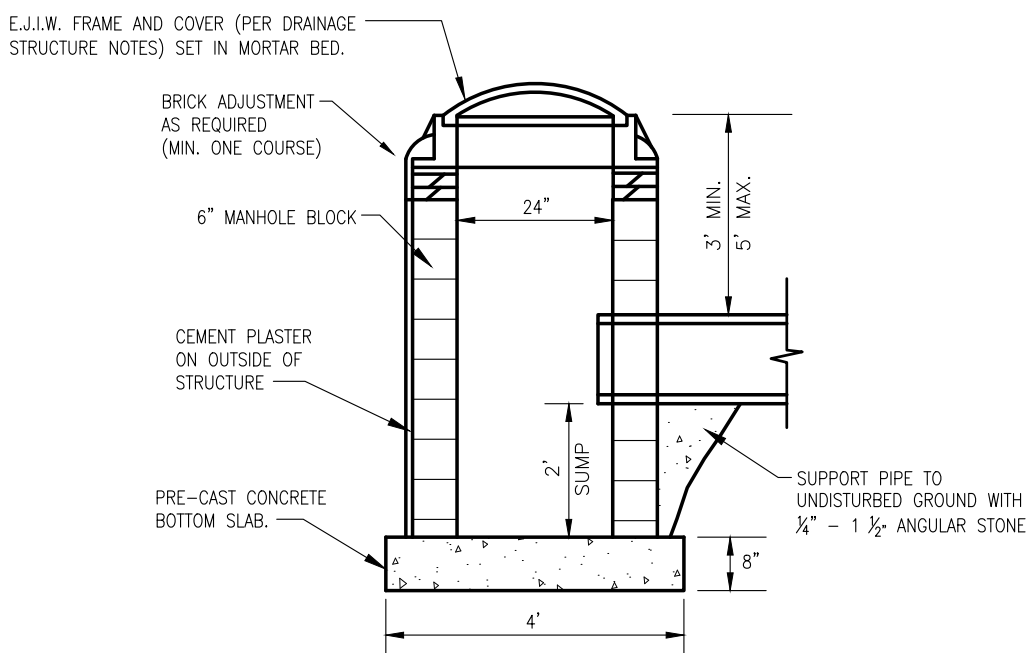
BLOCK MANHOLE

STANDARD MANHOLE DETAILS



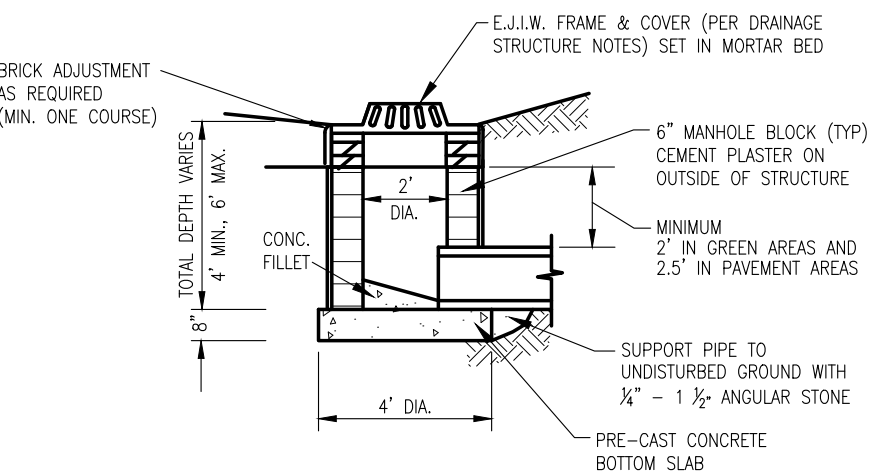
CATCH BASIN DETAIL

LOW HEAD MANHOLE AND CATCH BASIN DETAIL

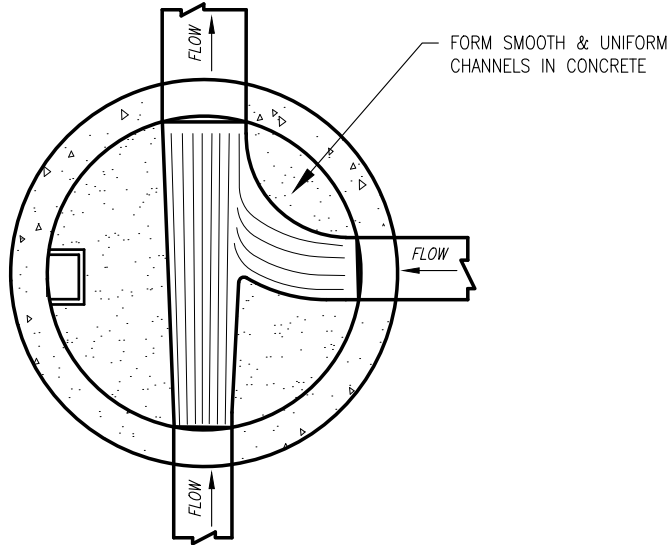


2' DIA. CATCH BASIN DETAIL

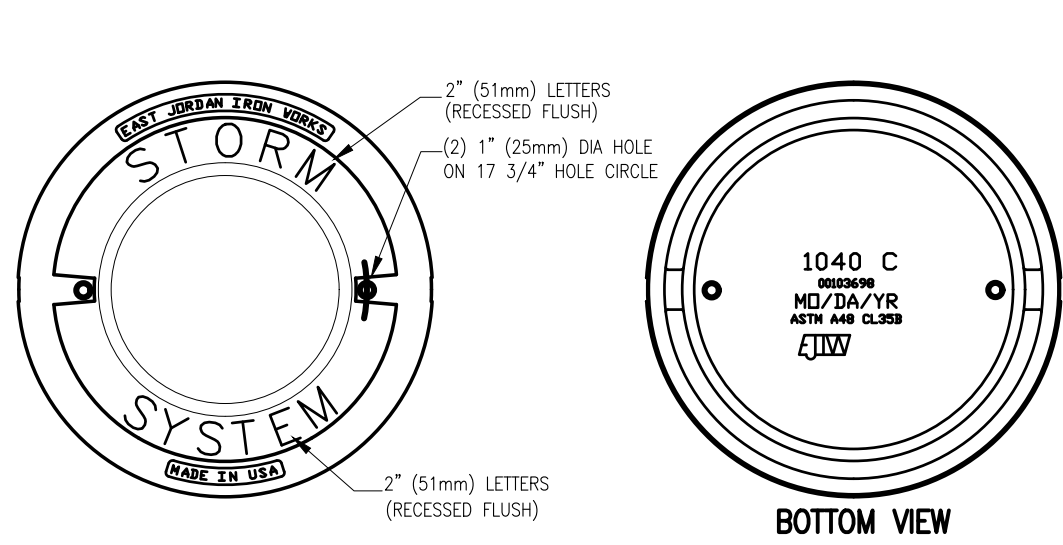
- NOTE:
- 2' DIA. CATCH BASIN SHALL NOT BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM CITY ENGINEER.



2' DIA. INLET DETAIL

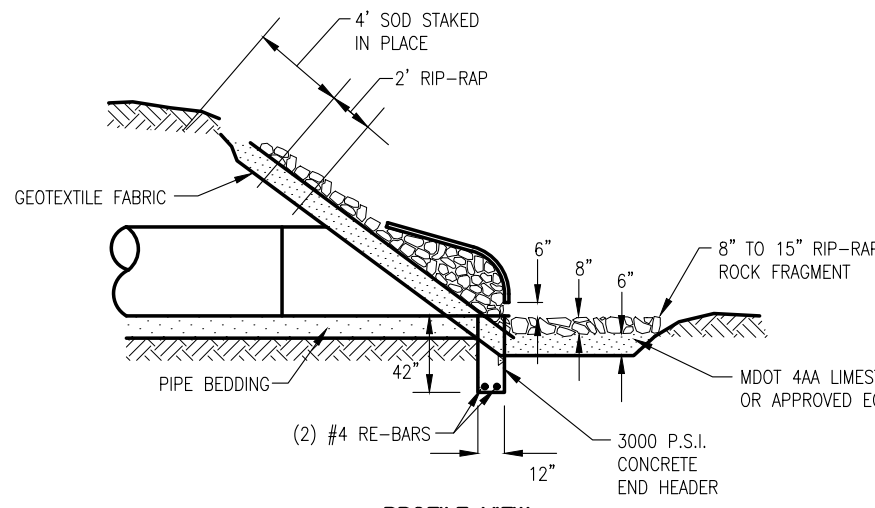


CHANNEL DETAIL

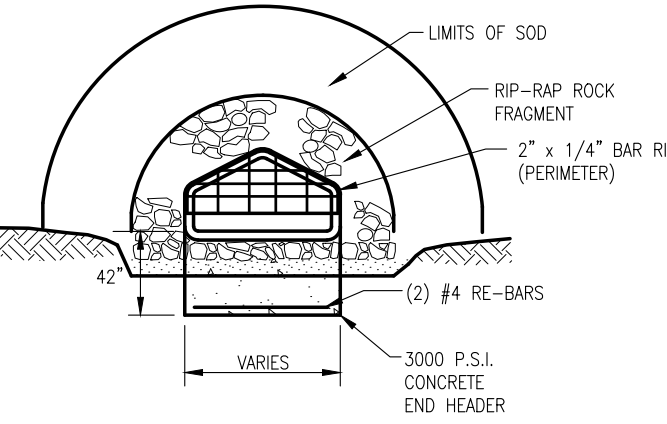


CAST IRON MANHOLE COVER
E.J.I.W. 1040

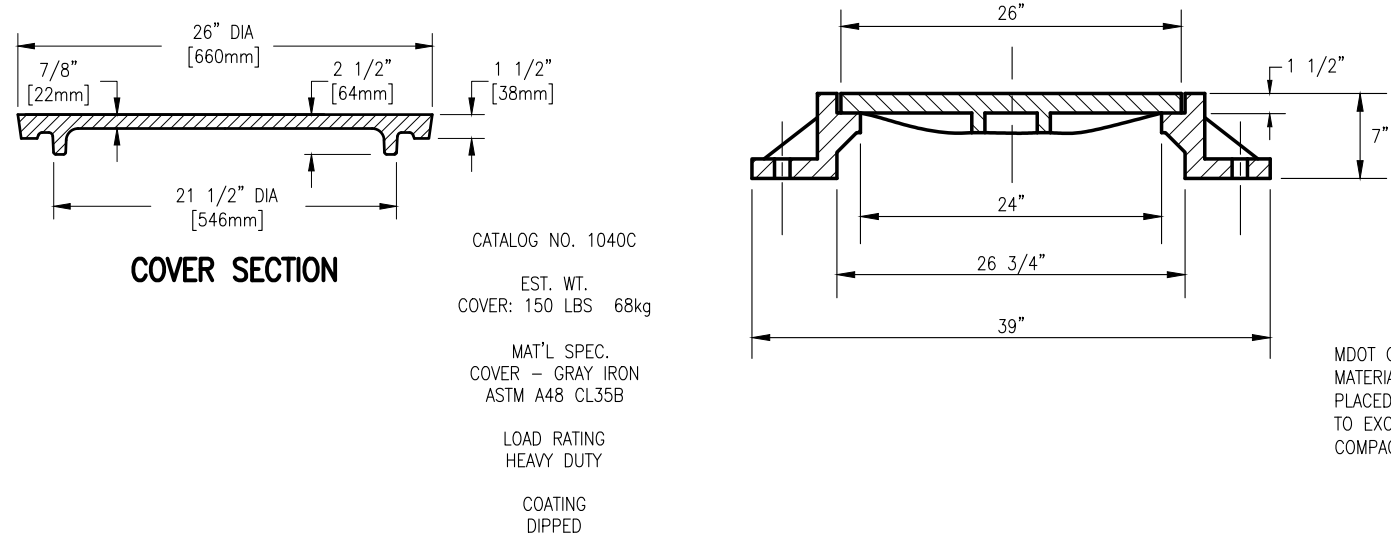
- NOTE:
- LETTERING SHALL BE USED ONLY FOR PUBLIC STORM SYSTEM. ALL OTHERS SHALL HAVE NO LETTERING.



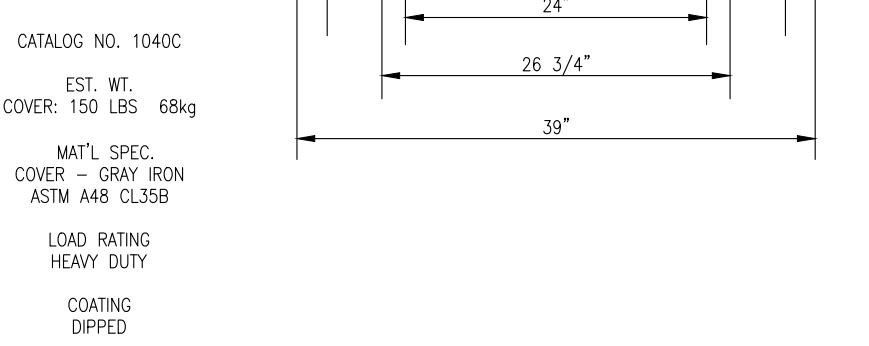
END SECTION AND BAR SCREEN DETAIL



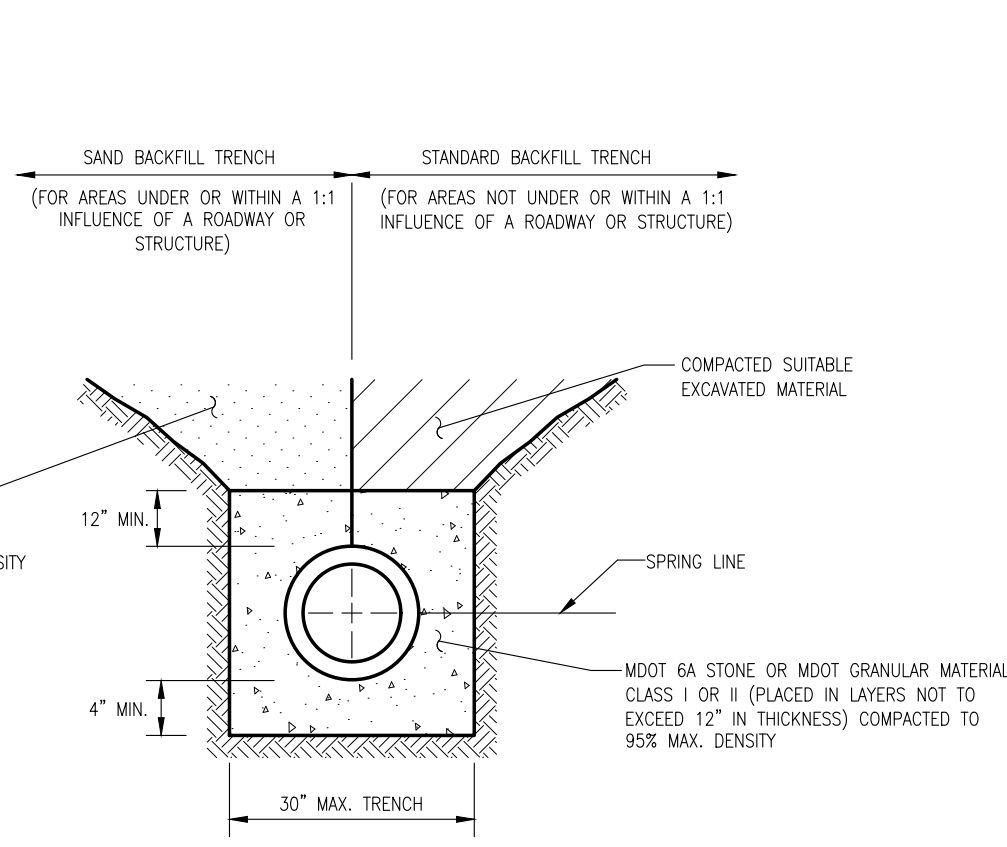
END VIEW



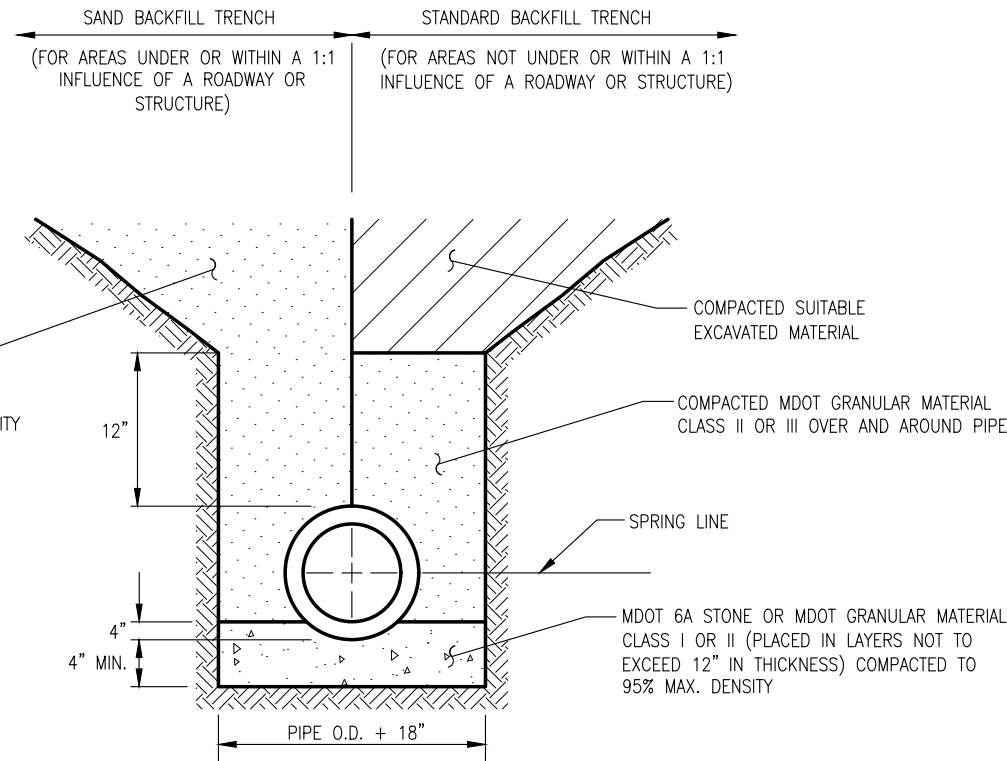
COVER SECTION



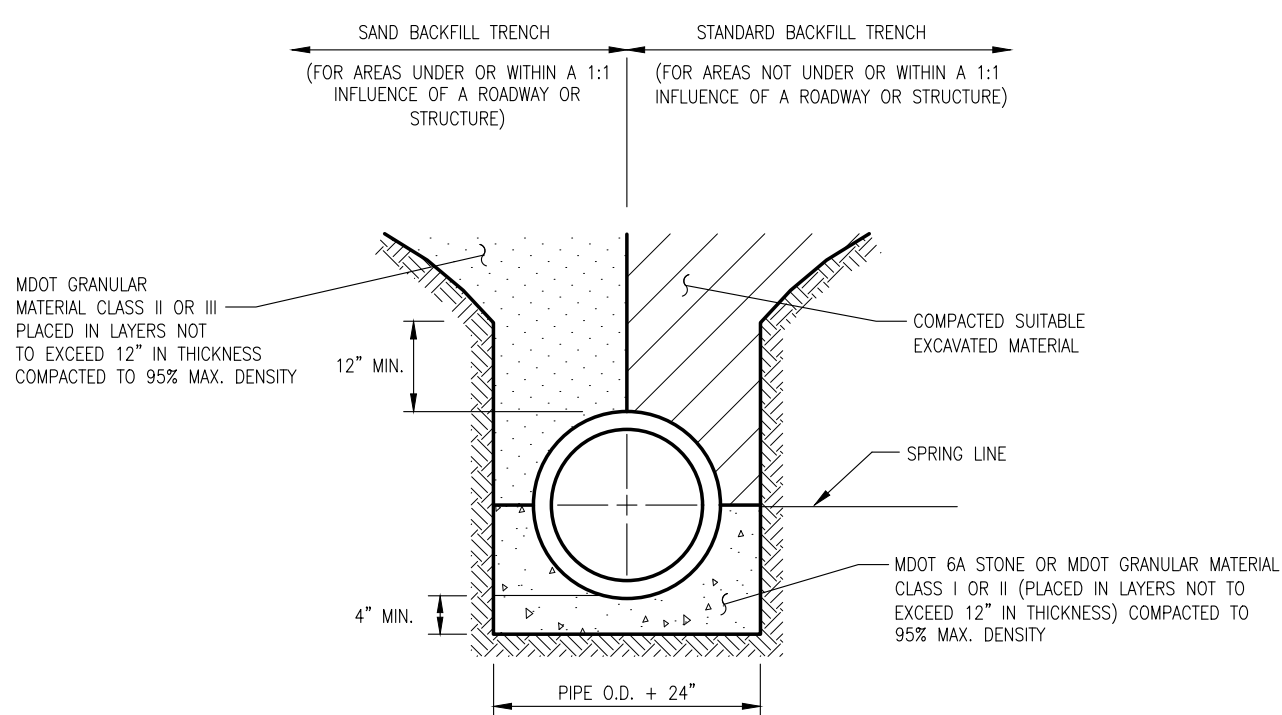
END VIEW



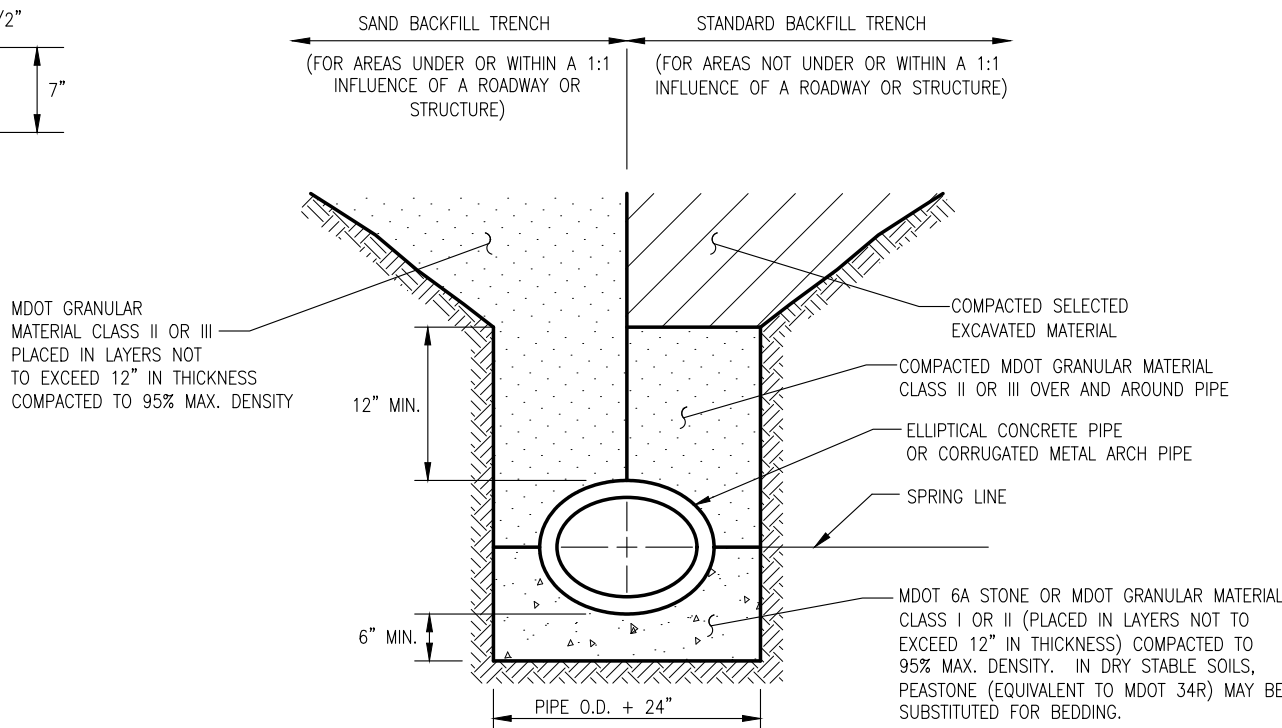
BEDDING AND TRENCH BACKFILL DETAIL
FOR 18" DIAMETER AND SMALLER PIPE
(PVC AND HDPE PIPE)



BEDDING AND TRENCH BACKFILL DETAIL
FOR 24" DIAMETER AND SMALLER PIPE
(CONCRETE AND METAL PIPE)



BEDDING AND TRENCH BACKFILL DETAIL
FOR 27" DIAMETER AND LARGER PIPE
(CONCRETE AND METAL PIPE)



BEDDING AND TRENCH BACKFILL DETAIL
FOR ELLIPTICAL CONCRETE PIPE OR CORRUGATED METAL ARCH PIPE

STORM SEWER CONSTRUCTION NOTES

GENERAL NOTES:

1. All materials and workmanship shall be in accordance with the standards and specifications of the City of Auburn Hills.
2. No storm sewer is to be installed without the City's inspector present.
3. Notify MISS DGC (1-800-482-7171) at least three working days prior to the start of construction.
4. Trenches that are to be left open overnight shall be enclosed with suitable fencing and lighted barricades, unless otherwise approved by the city.
5. All end sections 18" and larger shall be provided with a galvanized bar screen.
6. Hinged bar grates will be required for headwalls per O.C.W.R.C. or MDOT standards, whichever is stricter.
7. All vertical and horizontal bars shall be tack-welded to the angle frame.
8. The bar grate screen shall be hot-dipped galvanized after fabrication is complete.
9. The design engineer shall furnish The City of Auburn Hills with PDF "Record Drawings" of the water main plans as well as a GIS file or AutoCAD file, upon job completion. Plans shall locate all storm sewer and structures.
10. The materials specified below may be substituted with an approved equal as determined by the City. It is at the sole discretion of the City to determine if a material is acceptable and can be utilized. Written authorization must be obtained prior to ordering or installing the approved equal.
11. Tracing wire shall be provided for all storm sewer, regardless of pipe material. Wire shall be copper, 12-gauge stranded, green insulated per City requirements. Wire shall be brought through each structure and connected to the top step. All wire exposed above ground surface shall be encased in 1/2" metal conduit. The conduit should extend 6" below the ground surface. Conductivity shall be tested by the City prior to acceptance of the sewer. All splices shall be made using a gel-cap product which provides a water proof seal, such as 3M's Direct Bury Splice Kit #P054007/09964 or approved equal.

STORM SEWER NOTES:

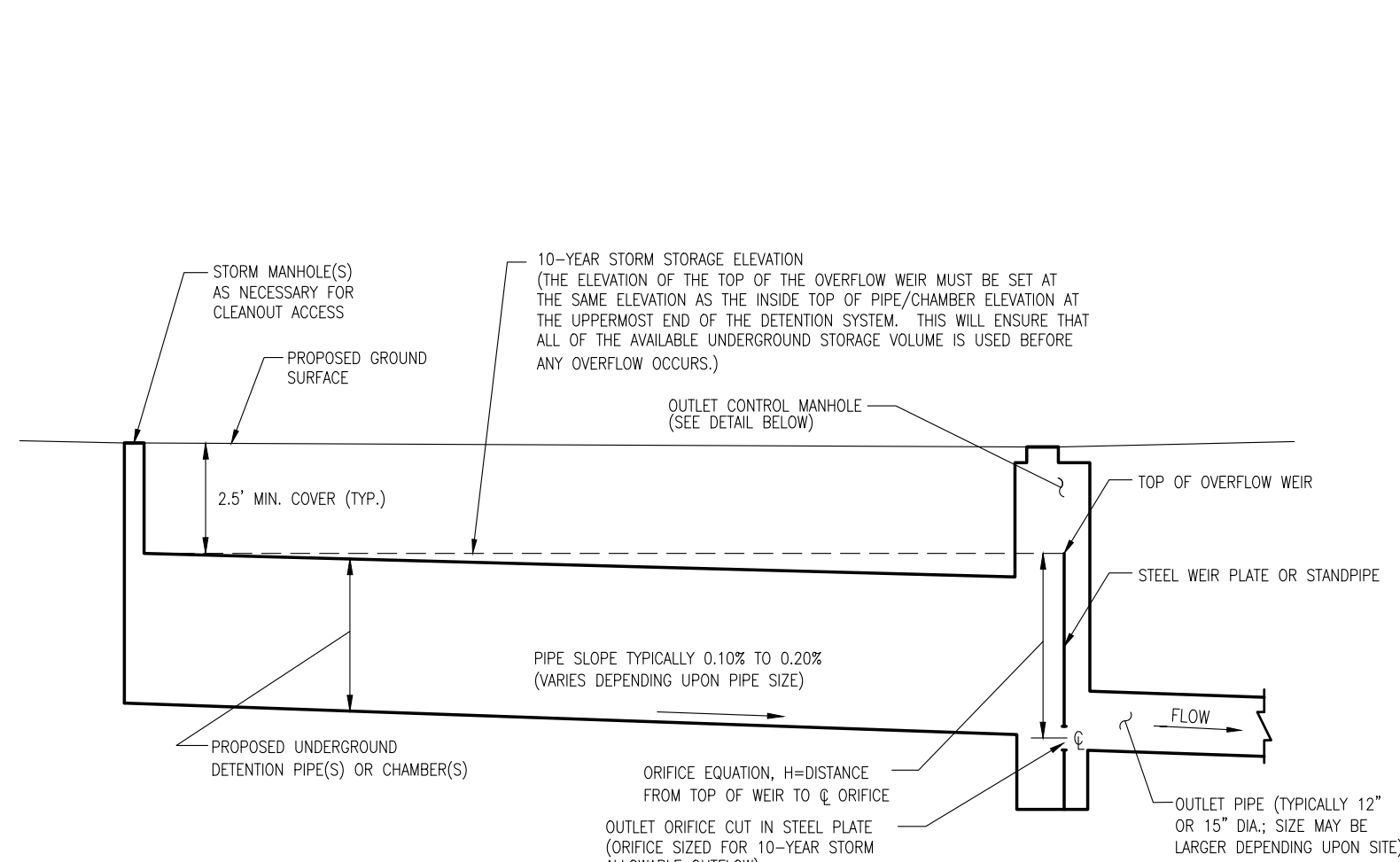
1. Type and class of pipe shall be as specified on plans.
2. Concrete Pipe Requirements:
 - 2.1. The contractor shall provide reinforced concrete pipe as specified on the plans.
 - 2.2. All round reinforced concrete pipe shall meet the requirements of ASTM C76, Standard Specifications for Reinforced Concrete Culvert, Storm Drain and Sewer Pipe, with modified grooved tongue and rubber gasket meeting the requirements of ASTM C443, Standard Specifications for Joints for Circular Concrete Sewer and Culvert Pipe, Using Rubber Gaskets.
 - 2.3. All elliptical reinforced concrete pipe shall meet the requirements of ASTM C507, Standard Specifications for Reinforced Concrete Elliptical Culvert Storm Drain and Sewer Pipe, with tongue and grooved joints with bituminous (DeWitt #10) joint material meeting the requirements of C443. Elliptical concrete pipe joints shall also be wrapped per ASTM C877, Standard Specification for External Sealing Bands for Concrete Pipe, Manholes and Precast Box Sections. In addition, elliptical concrete pipe of 42" equivalent size and larger shall require inside concrete pointing.
 - 2.4. The inside joint of pipe over 27" diameter shall be pointed with mortar upon completion of backfilling operations.
3. Plastic Pipe Requirements:
 - 3.1. Per City standards, the maximum allowable pipe size for plastic storm sewer is 12" diameter. Larger diameter plastic storm sewer may be approved by the City, depending on site conditions.
 - 3.2. All plastic storm sewer pipe shall have a smooth interior.
 - 3.3. PVC pipe shall meet the requirements of ASTM F949, Standard Specification for Poly (Vinyl Chloride) (PVC) Corrugated Sewer Pipe with a Smooth Interior and Fittings, with push-on type joints meeting the requirements of ASTM D3212, Standard Specification for Joints for Drain and Sewer Plastic Pipes Using Flexible Elastomeric Seals, and F477, Standard Specification for Elastomeric Seals (Gaskets) for Joining Plastic Pipe.
 - 3.4. HDPE pipe shall meet the requirements of AASHTO M294 and ASTM D3350, Standard Specification for Polyethylene Plastics Pipe and Fittings Materials, with push-on type joints meeting the requirements of ASTM D3212 and F477.
4. Bedding Requirements:
 - 4.1. Bedding shall be used as called for on the details.
 - 4.2. Where unstable ground conditions are encountered, stone bedding shall be used as directed by the Engineer in order to provide a stable foundation for pipe and manholes.
 - 4.3. All pipes entering or leaving a manhole shall be adequately supported with 1/4"-1 1/2" angular stone fill from undisturbed earth to springline.
 - 4.4. Bedding shall extend a minimum of 4" below pipe, unless otherwise noted on construction plans. Bedding shall be uniform in grade. However, if the existing native soils meet the requirements for MDOT granular material class II (minimum 4" thick), then the storm sewer may be laid directly on the compacted native subgrade soils.
5. Backfill Requirements:
 - 5.1. Backfill as indicated on construction drawings. Trench backfill shall be of a suitable material and shall be free of any organic materials and rocks larger than 3" in size. Backfill shall be ramped into trench and compacted with a small dozer or other approved methods.
 - 5.2. Where trench is within a 1:1 influence of streets, alleys, sidewalks, driveways and parking areas, sand backfill shall be used which shall consist of MDOT granular material Class II or III compacted in layers not to exceed 12" in thickness to a density of 95%.
 - 5.3. All backfill placed within a 1:1 influence of structures shall be approved sand, placed in 12" layers and compacted.
 - 5.4. No frozen material shall be buried more than 4' below the final elevation of the ground.

DRAINAGE STRUCTURE REQUIREMENTS:

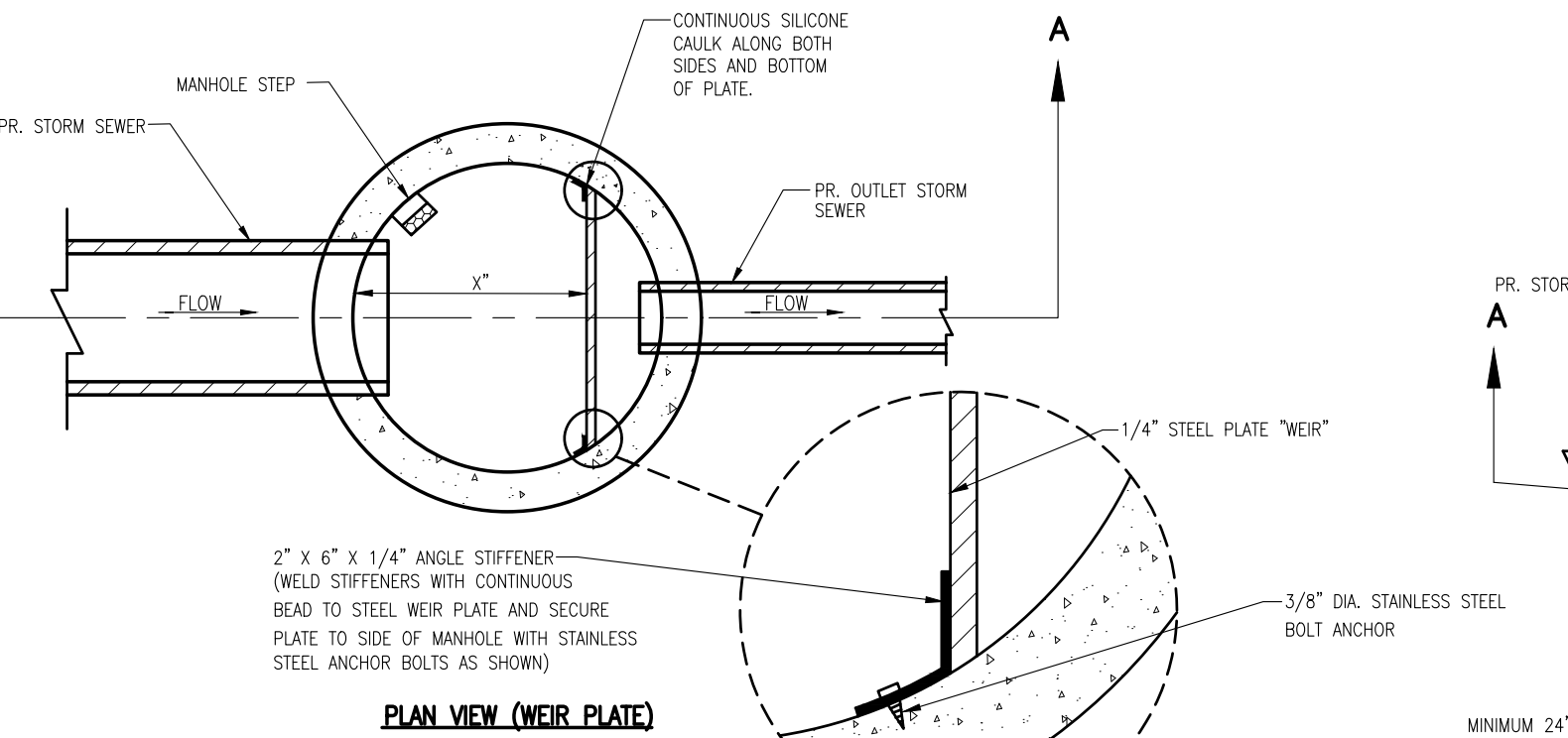
- Contractor shall construct manholes with precast reinforced concrete in lieu of concrete, brick and block manholes in accordance with the following conditions:
1. Precast reinforced concrete section with modified groove tongue joint shall conform to ASTM C-478, Standard Specification for Precast Reinforced Concrete Manhole Sections, with rubber gasket.
 2. No openings shall be made in precast units which would leave less than 12" of undisturbed precast structure wall between pipes (as measured between outside pipe walls) or would remove more than 40% of the circumference along any horizontal plane.
 3. Precast riser placed on the concrete base shall be set in a full bed of mortar. All joints & liftholes shall be pointed up with mortar on the outside and inside.
 4. Structures for sewers larger than 18", or those not meeting the opening requirements, may be built of block or brick up to a minimum of 8" above the top of sewer, with precast units being used above this point. Where precast units rest on the block or brick, the groove in the precast unit shall be filled with mortar.
 5. Block used for standard catch basins and manholes shall be 8" (for 0'-15' deep) and 12" (for 15'-25' deep). Block used for 2' diameter inlets and catch basins shall be 6".
 6. All vertical openings in concrete block structure walls shall be completely filled with mortar. All vertical wall joints shall be cement pointed.
 7. Plaster all outside masonry surfaces with 1:2 1/2 masonry cement (type II) 1/2" thick.
 8. All manholes and catch basins shall be 4' or 5' in diameter unless otherwise indicated on construction drawings. Larger diameter drainage structures (6', 7', 8', 10', 12' diameter) may be needed for large storm sewer pipe or for situations where the angles between entering pipes require a larger diameter structure in order to maintain at least 1' of structure wall between the pipes. 2' diameter catch basins and inlets may be used where approved by the City Engineer.
 9. Manhole steps shall be steel, encased with polypropylene plastic or approved equivalent to M.A. Industries, Inc., PS-1 for brick, or PS-18 for block, East Jordan Iron Works 8503 (or approved equal). Manhole steps shall be placed at 16" centers.
 10. Catch basin steps shall be East Jordan Iron Works 8503 plastic coated (or approved equal) or as per construction drawings.
 11. Manhole frame and cover shall be East Jordan Iron Works 1040, type "C" solid cover or as per construction drawings.
 12. Catch Basin and inlet frame and cover shall be:
 - 12.1. East Jordan Iron Works 5105, type "M1" cover (with trout logo) with straight face curb and gutter (or approved equal).
 - 12.2. East Jordan Iron Works 5105, type "M1" cover (with trout logo) with mountable curb and gutter and integral curb and gutter (or approved equal).
 - 12.3. East Jordan Iron Works 1040, type "O2" cover (beehive) to be used on open ditches and swales, rear yard catch basin (or approved equal). If within 8' of road, type "N" cover (low beehive) shall be used. East Jordan Iron Works 1040, type "A" cover to be used on all 2' cleanouts and structures not located at storm water collection points (or approved equal).
 13. Frames shall be set in full bed of mortar and the side shall be overlapped to prevent leakage.
 14. A minimum of one course of brick must be used and a maximum of 5 courses of brick can be used to adjust a structure. All bricks and blocks used for adjustment shall be concrete.
 15. A proper channel shall be constructed within the existing manhole or other structure at which the connection is to be made to direct the flow to the existing outlet in a manner that will tend to create the least amount of turbulence. The channel shall be constructed to the same size as the inside diameter of the existing pipes, and shall be built to height of 1/3 the existing pipe diameter with a minimum of 2% slope on the benches.
 16. Concrete base for manhole, catch basin, and inlet shall be MDOT grade 30P (Min.), 8" thick, 3000 psi.
 17. When tapping into an existing structure a brick collar shall be placed 12" thick around the pipe and extended 12" beyond the opening. If pre-cast section is tapped, bend mesh and use as reinforcement with brick collar.

SUMP PUMP LEAD REQUIREMENTS:

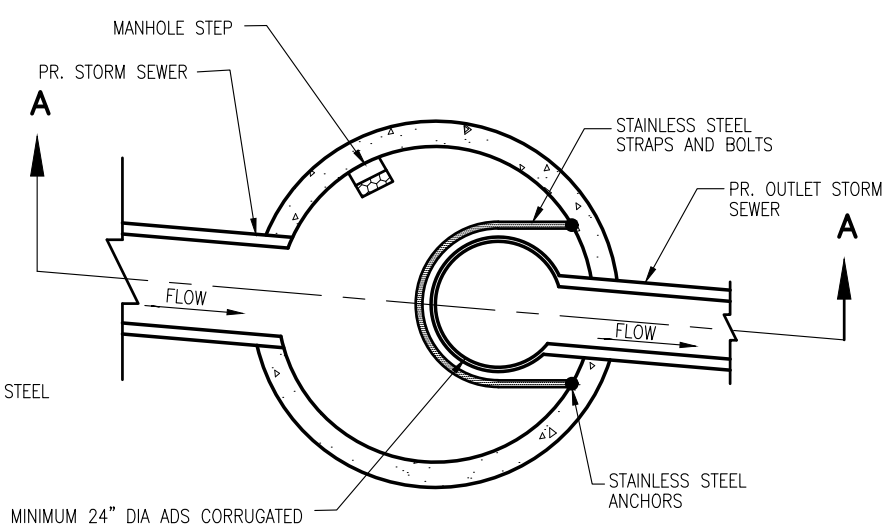
1. All sump pump leads connected to a drain shall be pre-manufactured.
2. Sump pump leads shall be (1) SDR 35, non-perforated, solid wall PVC, (2) ARMOCO Truss Pipe, or (3) approved equal, with premium joints.
3. Sump collection system pipes shall be connected at drainage structures. However, if approved by the engineer, taps to 12" storm sewer may be made with a Fernco EZ Tap or approved equal. Taps to other size storm sewer may be made with a Romac saddle, KOR-N-TEE lateral connector for concrete pipe, or approved equal.
4. Ends of all 4" sump pump leads shall be temporarily capped and their location staked, witnessed and recorded.
5. All sump pump leads are to be taken to the property line or as indicated on the plans.
6. Sump pump cleanouts shall be a minimum inside diameter of 24" and be constructed at changes of alignment ends of sump pump mains or as indicated on the plan.



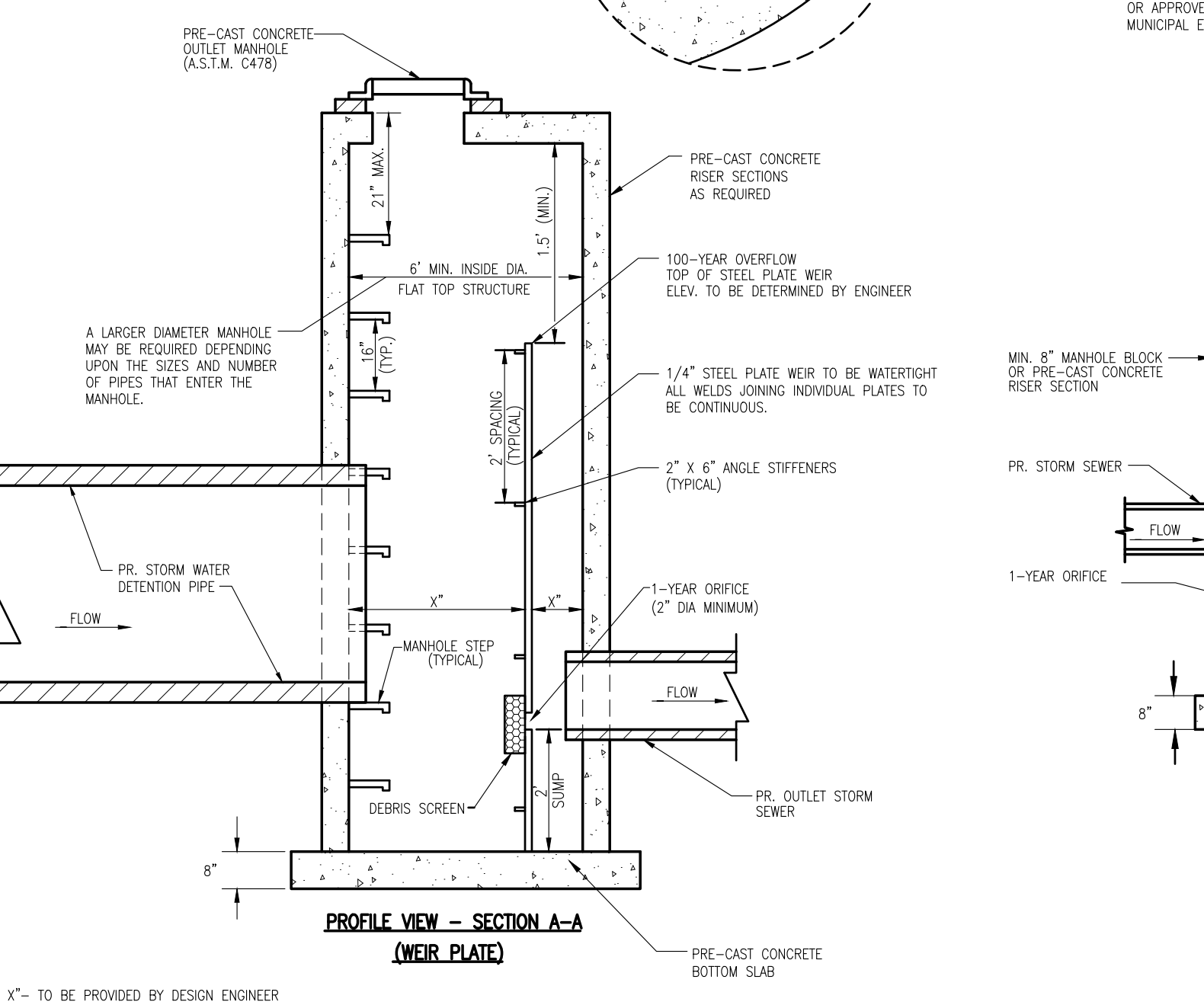
DETENTION SYSTEM PROFILE



PLAN VIEW (WEIR PLATE)

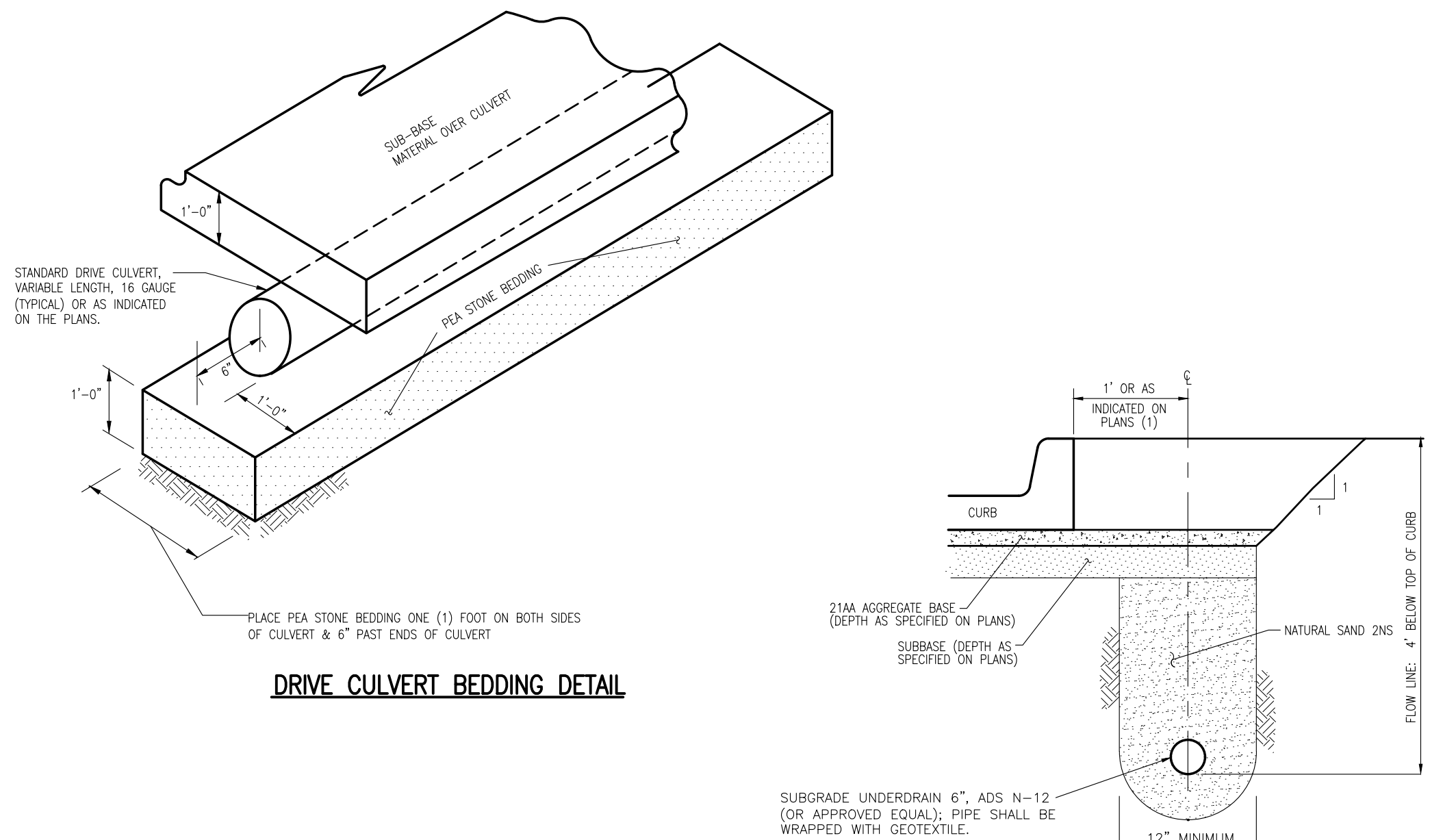


PLAN VIEW (STANDPIPE OUTLET)



TYPICAL UNDERGROUND DETENTION AND OUTLET MANHOLE DETAILS

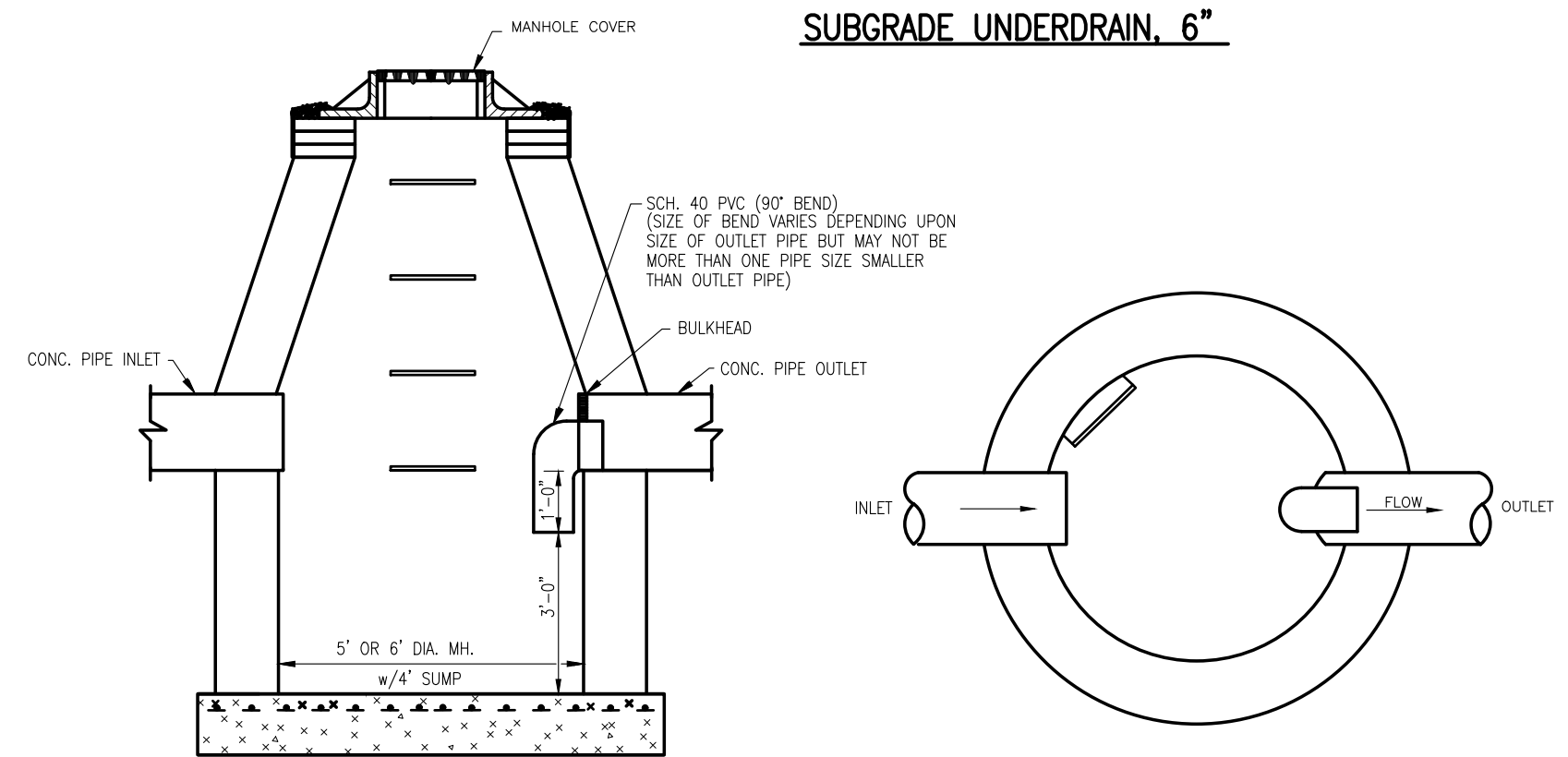
X"= TO BE PROVIDED BY DESIGN ENGINEER



DRIVE CULVERT BEDDING DETAIL

- NOTES:
1. LOCATION MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
 2. ALL UNDERDRAIN SHALL BE APPROVED PLASTIC PIPE PER MDOT SECTION 909.07. METAL PIPE SHALL NOT BE USED.
 3. ALL UNDERDRAIN SHALL OUTLET TO DRAINAGE STRUCTURE.
 4. UNDERDRAIN CONNECTIONS (AT LOW POINTS) SHALL BE MADE AS CLOSE TO THE STRUCTURE INVERT AS PRACTICAL, WITH A SPIRAL WRAP OF THE STRUCTURE USED TO MAKE THE TRANSITION FROM THE REQUIRED FLOW LINE DEPTH TO STRUCTURE INVERT.

SUBGRADE UNDERDRAIN, 6"



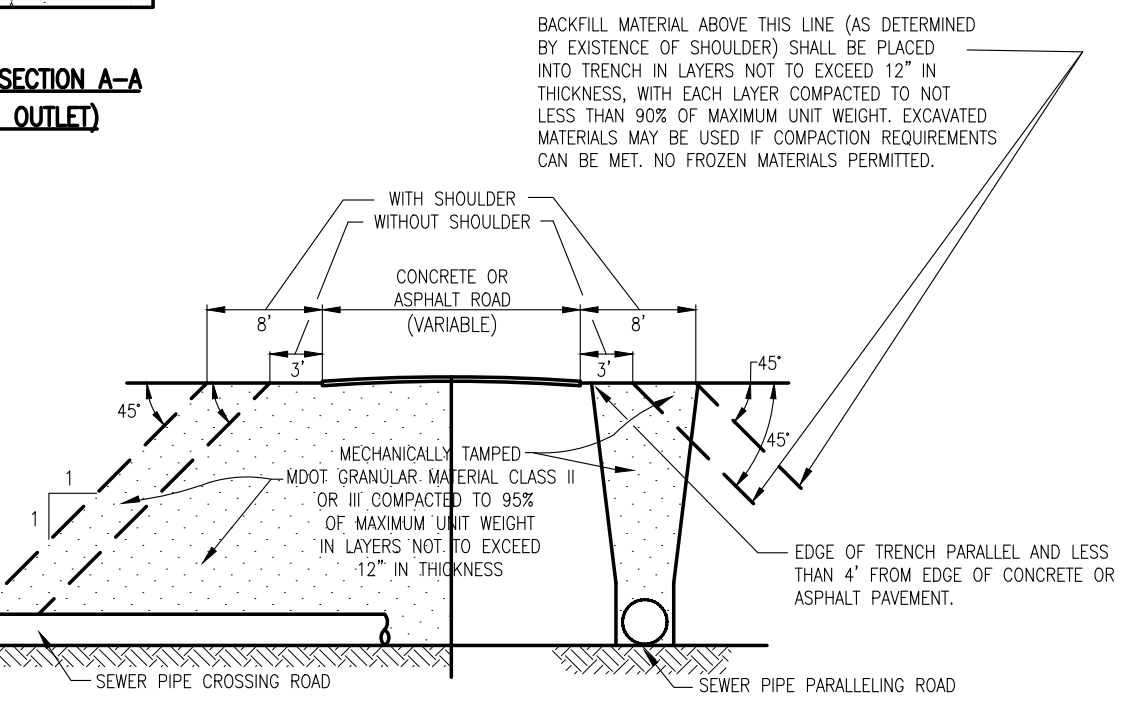
OIL/GAS SEPARATOR PLACEMENT DETAIL FOR 18" DIAMETER AND SMALLER OUTLET PIPE

(FOR OUTLET PIPES LARGER THAN 18" IN DIAMETER AN ALTERNATE DESIGN MUST BE APPROVED BY THE CITY ENGINEER)

RESTORATION REQUIREMENTS:

1. All disturbed areas within the right-of-way shall be restored as follows, unless otherwise noted on construction drawings: Finish Grade. Place 3" thickness of "quality" topsoil acceptable to the engineer. Apply sod or seed and fertilizer as follows:

LOCATION	SODDING/ SEEDING REQUIREMENTS	FERTILIZER REQUIREMENT
Slopes & ditch banks, etc.	MDOT "Roadside" mix (20% Perennial Rye, 10% Kentucky Blue, 40% Red Fescue, 30% Hard Fescue) applied at 220 lbs/acre	240 lbs/acre of chemical fertilizer nutrients in equal proportions of Nitrogen, Phosphoric Acid and Potash. (Must be a slow-release fertilizer)
Other areas	MDOT "Class A" mix (20% Perennial Rye, 30% Kentucky Blue, 50% Red Fescue) applied at 220 lbs/acre	240 lbs/acre of chemical fertilizer nutrients in equal proportions of Nitrogen, Phosphoric Acid and Potash. (Must be a slow-release fertilizer)
Ditch bottoms, slopes exceeding 3:1, and at structures	3" Topsoil with Class A Sod	



SAND OR GRAVEL BACKFILL DETAILS FOR SEWERS UNDER CONCRETE OR ASPHALT PAVEMENTS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS



ARCHITECTS ENGINEERS PLANNERS

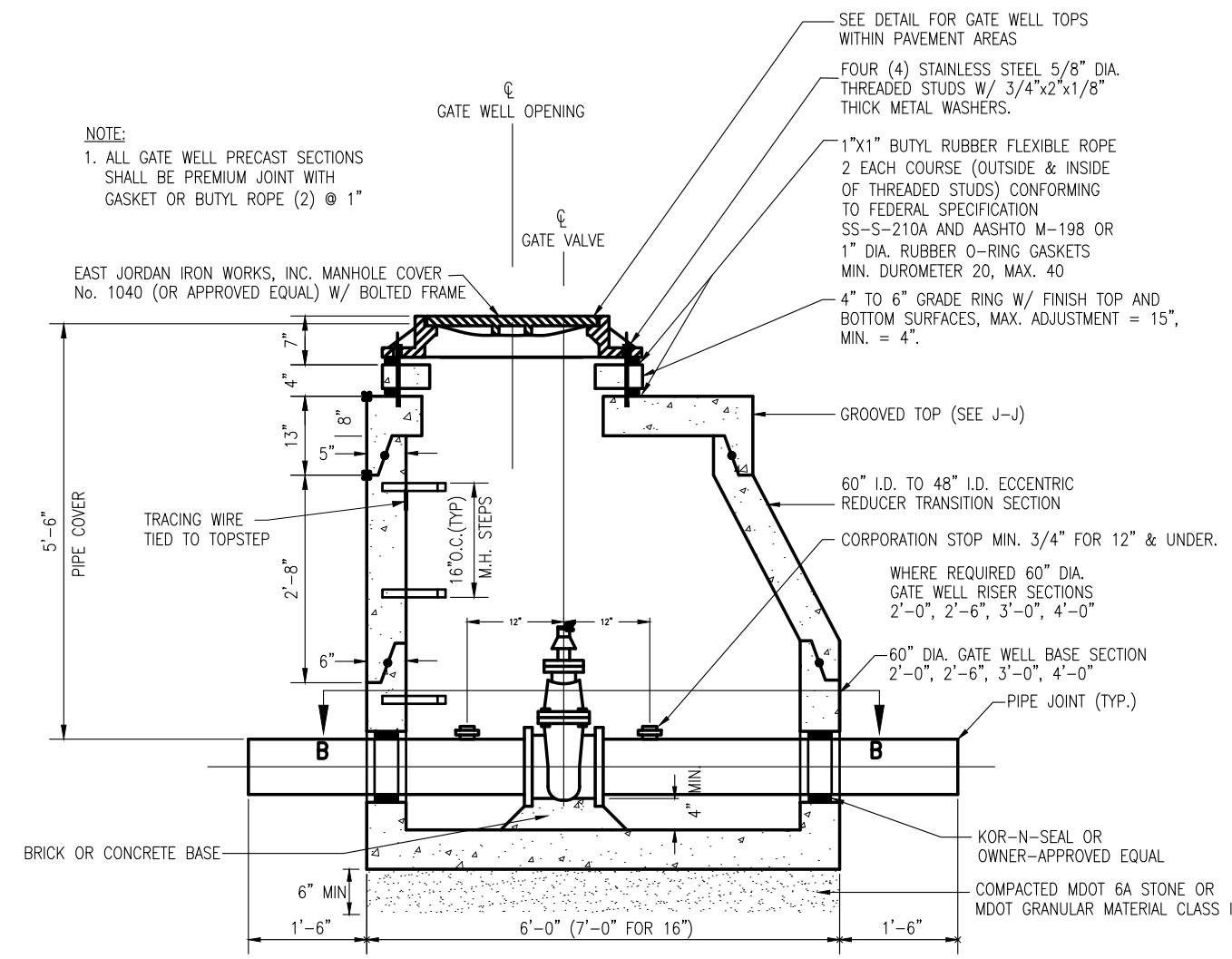
34000 PLYMOUTH RD
LIVONIA, MI 48150
P: (734) 522-6711

OHM-ADVISORS.COM

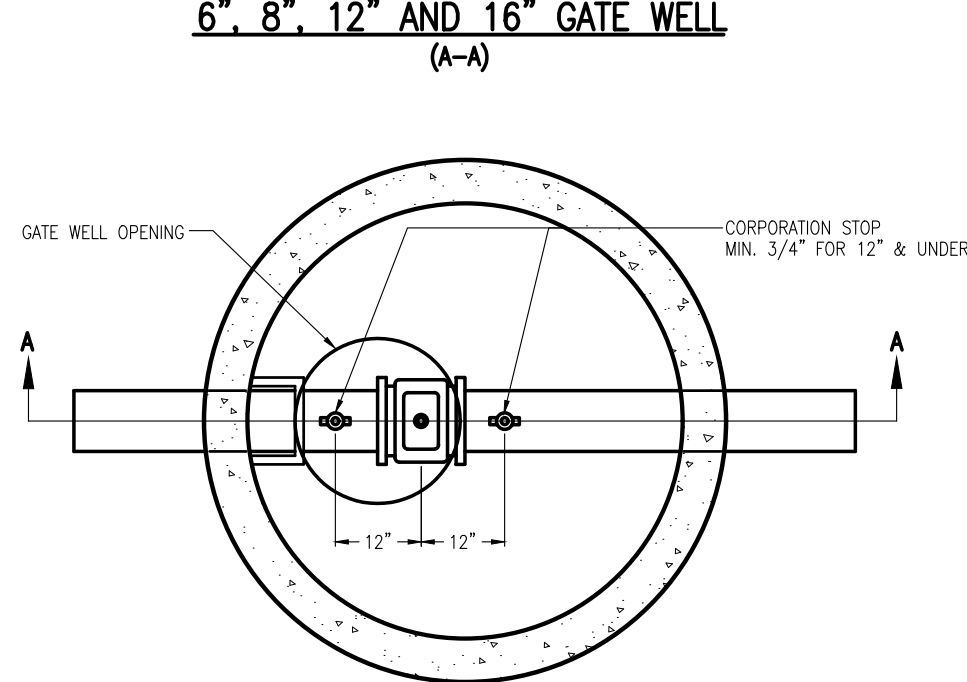
REVISED STANDARDS UPDATE 6/2/2021

CITY OF AUBURN HILLS
STORM SEWER STANDARD DETAILS

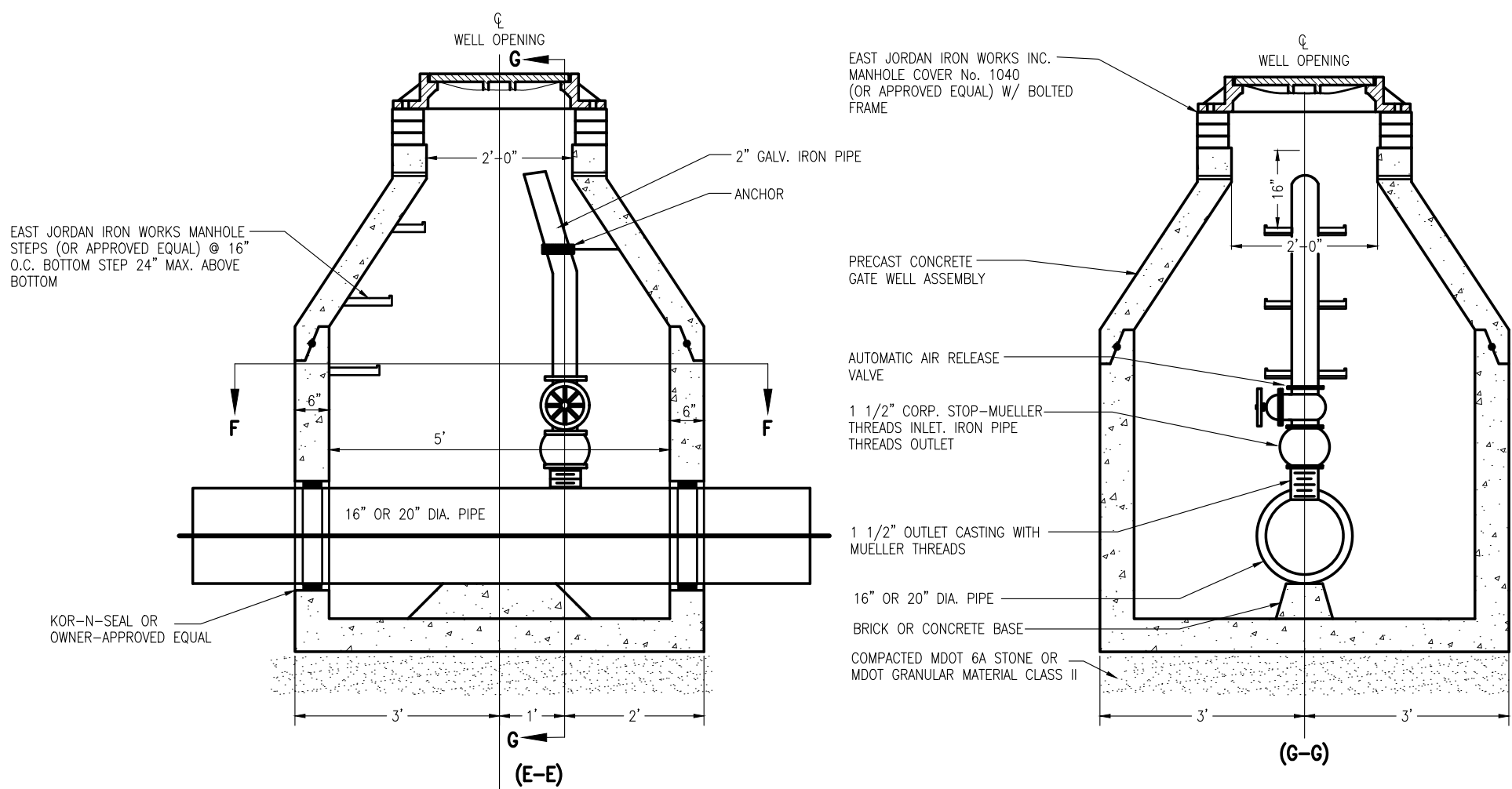
DRAWING PATH: P:\0101_01250120200330_Auburn_Hills_Standards_Update\Drawings\CityDetails\AH-WM DET.dwg Jul 13, 2022 - 3:22pm



6", 8", 12" AND 16" GATE WELL
(A-A)

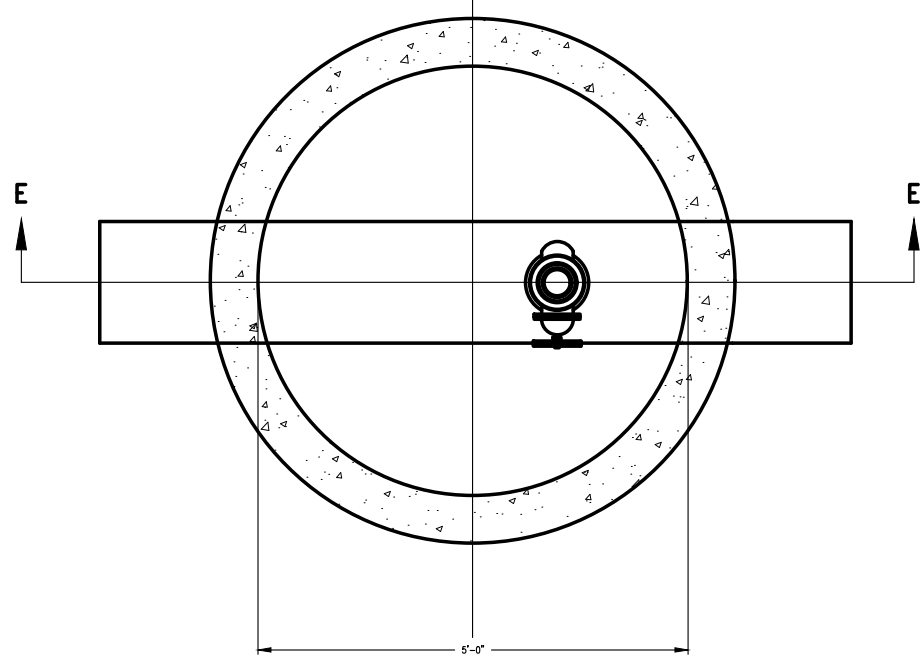


6", 8", 12" AND 16" GATE WELL TYPICAL
(PLAN VIEW, B-B)

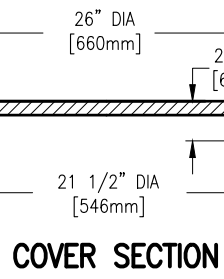
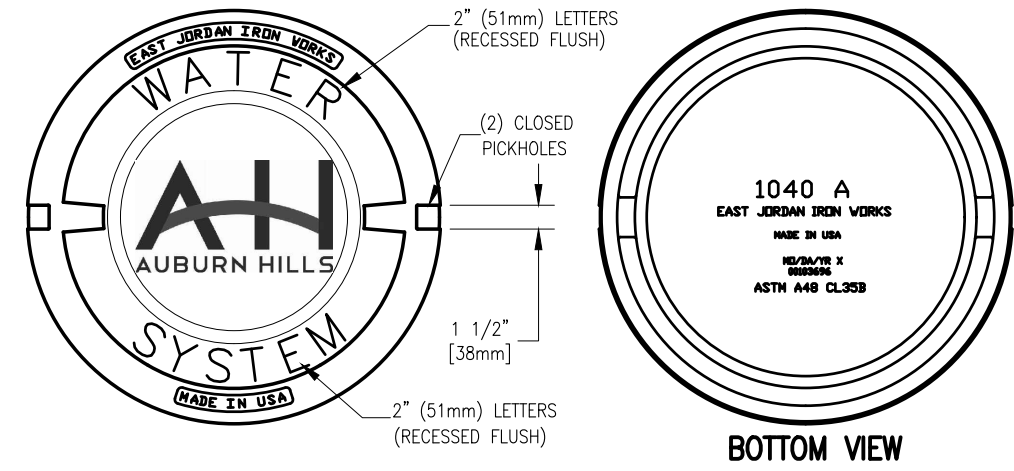


- NOTES:
1. ALL AIR RELEASE WELLS SHALL BE PRECAST STRUCTURES.
 2. ALL AIR RELEASE VALVES SHALL BE AUTOMATIC PER AUBURN HILLS DPW REQUIREMENTS.

STANDARD AIR RELEASE VALVE & WELL
FOR 16" & 20" WATER MAIN

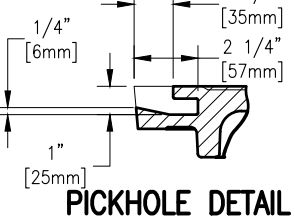


(PLAN VIEW, F-F)

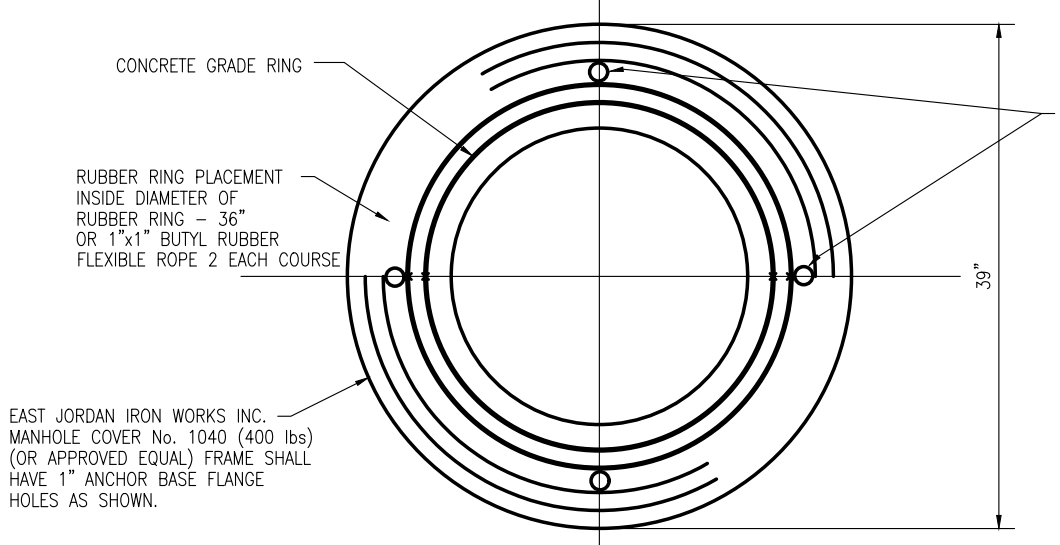


COVER SECTION

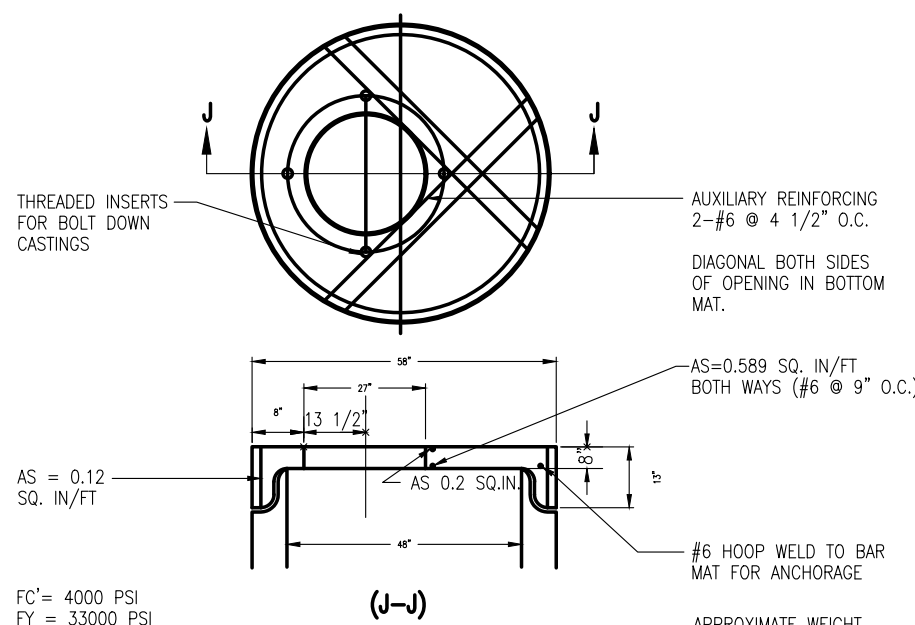
CATALOG NO. 1040A
EST. WT.
COVER: 150 LBS 68kg
MAT'L SPEC.
COVER - GRAY IRON
ASTM A48 CL35
LOAD RATING
HEAVY DUTY
COATING
DIPPED



PICKHOLE DETAIL

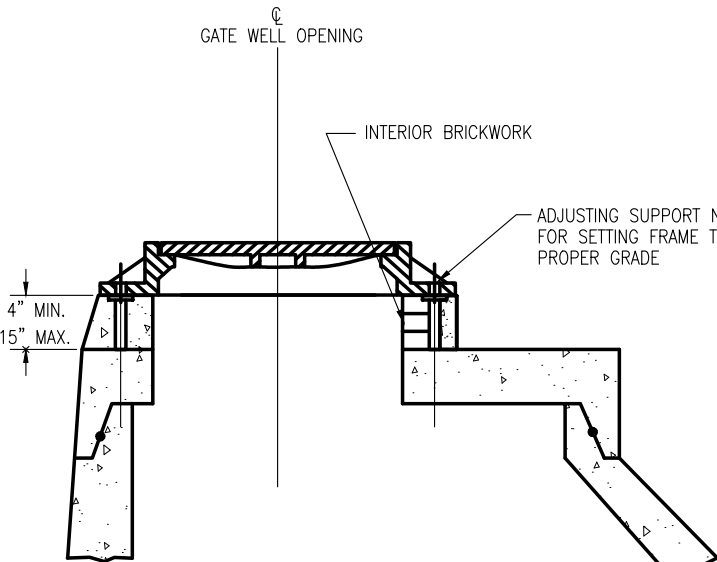


CAST IRON GATE WELL COVER AND
GRADE RING



GROOVED FLAT TOP DETAIL
(SEE A-A)

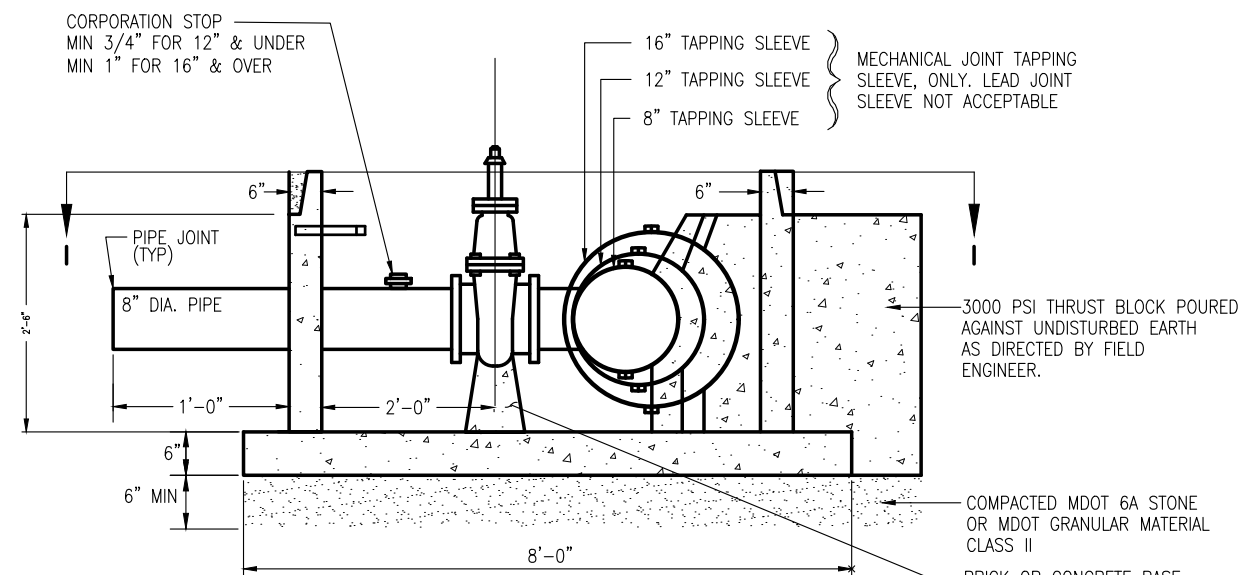
NOTE:
1. AS DENOTES CROSS-SECTION AREA OF REINFORCING STEEL,
IN SQUARE INCHES PER FOOT.



GATE WELL TOPS WITHIN
PAVEMENT AREAS

NOTE:
1. RUBBER O-RINGS SHALL NOT BE USED IN PAVEMENT.

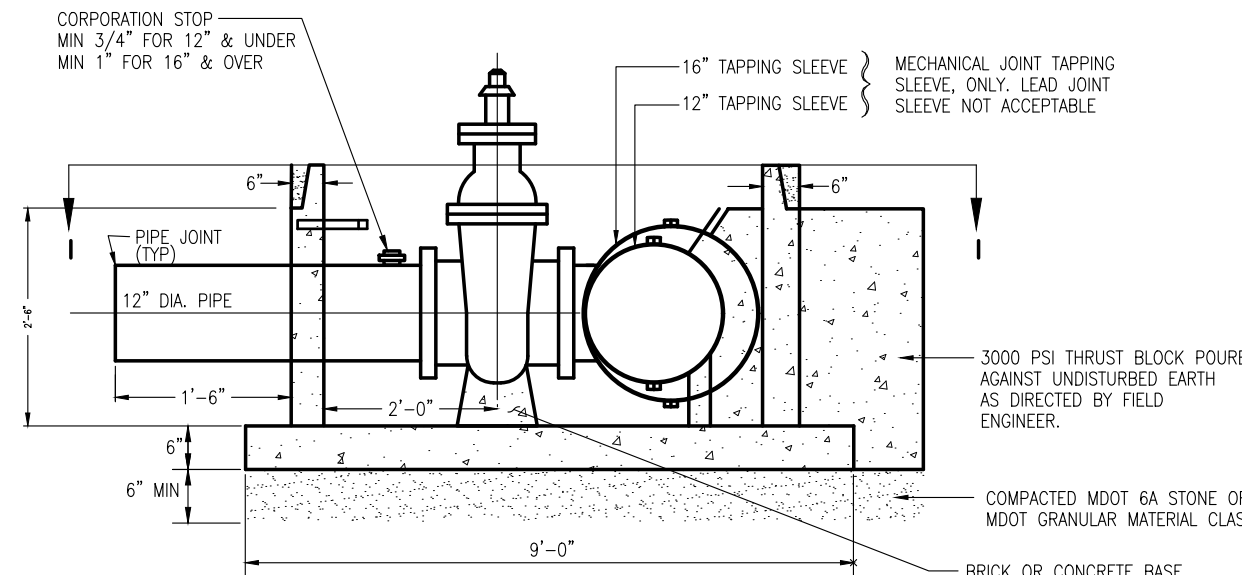
NOTE:
OPENING IN PRECAST BASE TO BE
FILLED WITH BRICK.



16" x 8", 12" x 8", 8" x 8" TAPPING SLEEVE, VALVE & WELL
(H-H)

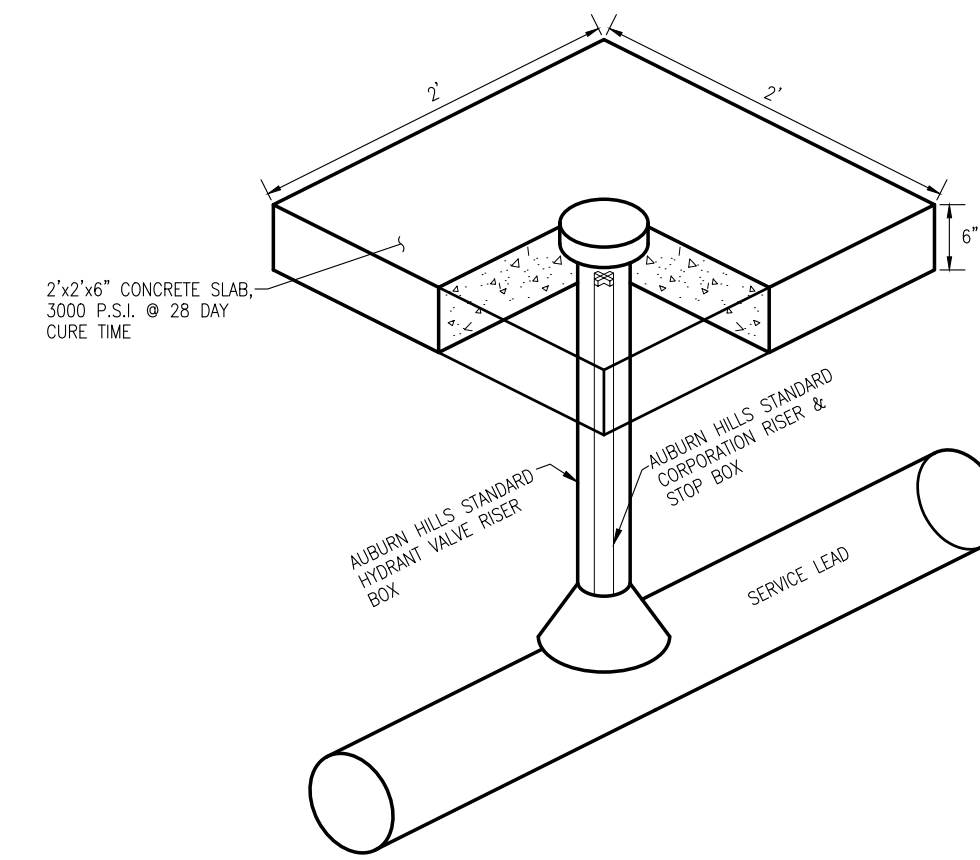
- USE OF 8" x 8" TAPPING SLEEVE VALVE & WELL MUST BE APPROVED BY AUBURN HILLS DPW.
- IF THRU MAIN IS DUCTILE IRON AND TAP IS NOT 8"x8", A STAINLESS STEEL TAPPING SLEEVE IS ALLOWABLE.

NOTE:
OPENING IN PRECAST BASE TO BE
FILLED WITH BRICK.



16"x12", 12"x12" TAPPING SLEEVE, VALVE & WELL
(H-H)

- USE OF 12" x 12" TAPPING SLEEVE VALVE & WELL MUST BE APPROVED BY AUBURN HILLS DPW.
- IF THRU MAIN IS DUCTILE IRON AND TAP IS NOT 12"x12", A STAINLESS STEEL TAPPING SLEEVE IS ALLOWABLE.



STOP BOX IN PAVEMENT DETAIL

- NOTES:
1. TWO HOLE ARCH PATTERN (ERIC PATTERN) TYPE WITH 1" UPPER AND 5" EXTENDED LENGTH WITH 42" (FORD) STOP BOX PART NO. 241-50-40-42R OR APPROVED EQUAL; SMALL BOX REQUIRED FOR 3/4" AND 1" SERVICE; LARGE BOX REQUIRED FOR 1-1/2" AND 2" SERVICE; HYDRANT VALVE BOX REQUIRED FOR 3" AND 4" SERVICE; GATE WELL REQUIRED FOR 6" AND LARGER SERVICE.
 2. WHERE WATER SERVICE CORPORATION BOX FALLS WITHIN A PAVED AREA (PARKING LOT, SERVICE DRIVE AREA, ETC.) THE STOP BOX SHALL BE PLACED IN A STANDARD HYDRANT VALVE BOX. THE VALVE BOX SHALL BE CENTERED IN A 2' x 2' x 6" CONCRETE SLAB.

NOTES:

1. TAPPING SLEEVE VALVE AND WELL FOR WATER MAIN LARGER THAN 16" DIAMETER SHALL BE PER OAKLAND COUNTY STANDARDS, AND MUST BE SHOWN ON THE PLANS.
2. OPENING IN PRECAST BASE TO BE FILLED WITH BRICK.

TAPPING SLEEVE
VALVE & WELL TYPICAL
(PLAN VIEW, I-I)

GENERAL WATER MAIN NOTES

GENERAL NOTES:

1. All construction procedures and materials used on all water main projects shall conform to American Water Works Association (AWWA), Great Lakes Water Authority (GLWA) and The City of Auburn Hills current Standards and Specifications.
2. No water main is to be installed without the City's inspector present.
3. Notify MISS DIG (1-800-482-7171) at least three (3) working days prior to start of construction.
4. Where work is to be performed in the vicinity of a GLWA water main, contractor shall notify the GLWA Field Office (833-4682) 3 working days prior to the start of construction and request job site inspection where necessary.
5. All pipe and all pipe fittings shall be made in the U.S.A. and shall comply with AWWA C111 and/or AWWA C115.
6. Unless otherwise specified on plans, top of all water mains shall be 5.5 ft. below existing or proposed road centerline, or 5.5 ft below existing or proposed ground, whichever results in lower elevation.
7. An 18" minimum vertical clearance between storm or sanitary shall be maintained.
8. All required cross connection devices shall be installed as required by the local plumbing inspector and in accordance with the standards of the Michigan Department of Public Health.
9. Tracing wire shall be provided for all water main, regardless of pipe material. When PVC is installed for a service line, tracing wire shall be run from the meter setup to the curb box. Wire shall be copper, 12-gauge stranded, blue insulated per City requirements. Connection is required at all service leads, hydrants, and gate wells. Wire shall be brought through each gate well and connected to the top step. All wire exposed above ground surface shall be encased in 1/2" metal conduit. The conduit should extend 6" below the ground surface. Conductivity shall be tested by the City prior to acceptance of the main. All splices shall be made using a gel-cap product which provides a water proof seal, such as 3M's Direct Bury Splice kit #P054007/09964 or approved equal. In addition, underground marking tape shall be placed 1" above the top of PVC or HDPE water main. Underground marking tape shall be Magtech 3" wide, foil-backed tape, #31-022 by Empire Level Manufacturing Corp., or approved equal.
10. Polywrap shall be placed as required by the City.
11. Connection to an existing water main shall be made only after pressure and bacteriological test have been successfully completed. The city engineer must be present for the test and review the results. Testing and disinfection procedures shall meet the requirements of AWWA-C600/C651.
12. When temporary water main jumpers are used during water main construction, a dual check valve backflow preventer (A.S.S.E. Std. # 1024) shall be placed on the jumper hose that is connected to the new water main. Contact the City of Auburn Hills (248-391-3777) before the water main jumper is installed for inspection.
13. Where water main is located under pavement, the City shall not be responsible for repairing pavement within the easement in the event that maintenance or repairs to the water main become necessary.
14. The design engineer shall furnish the City of Auburn Hills with PDF "Record Drawings" of the water main plans as well as a GIS file or AutoCAD file. Plans shall locate all water mains, hydrants, and gate valves and wells.
15. The materials specified below may be substituted with an approved equal as determined by the City. It is at the sole discretion of the City to determine if a material is acceptable and can be utilized. Written authorization must be obtained prior to ordering or installing the approved equal.

TESTING:

1. Pressure testing of water main including standard fire suppression leads and riser into the building will be conducted by OHM witnessing on behalf of the municipality. Water main testing shall be per AWWA. Notify OHM (site coordinator) of schedule (3 working days prior to test). Prior to any utility testing, the remaining escrow amount will be reviewed to verify that there is enough escrow to complete the project.
2. Pressure testing of remote FDC's and fire suppression lines extending between buildings will be conducted by Auburn Hills Fire Department. Water main testing shall be per NFPA 13 2016. Notify the Fire Department for the City of Auburn Hills at 248-370-9461 of schedule (3 working days prior to test).
3. Prior to chlorinating the water main, the main shall be filled with potable water to eliminate air pockets and flushed to remove particulates. The flushing velocity in the main shall not be less than 3.0 ft/sec per AWWA C600-17. The main shall be disinfected per AWWA C651-14 and then flushed following chlorination.
4. Bacteriological testing shall be conducted per AWWA C651-14. No bacterial tests will be performed until pressure tests have been passed. Two sets of bacteria samples (two consecutive days, at least 24 hours apart) will be obtained by a licensed testing agency, with the contractor and OHM inspector witnessing. Contractor shall contact Jerry Ashburn (734) 891-1450 for scheduling. Cost of the sampling/testing is the responsibility of the contractor/developer. Hard copy results must be on file at OHM prior to any tie-in. Contractor shall have the samples taken and analyzed at a Michigan Department of Environment, Great Lakes, and Energy (EGLE) approved lab. Two current local labs are:

AquaTest Laboratories
9165 Highland Road
White Lake, MI 48386
248-698-9500

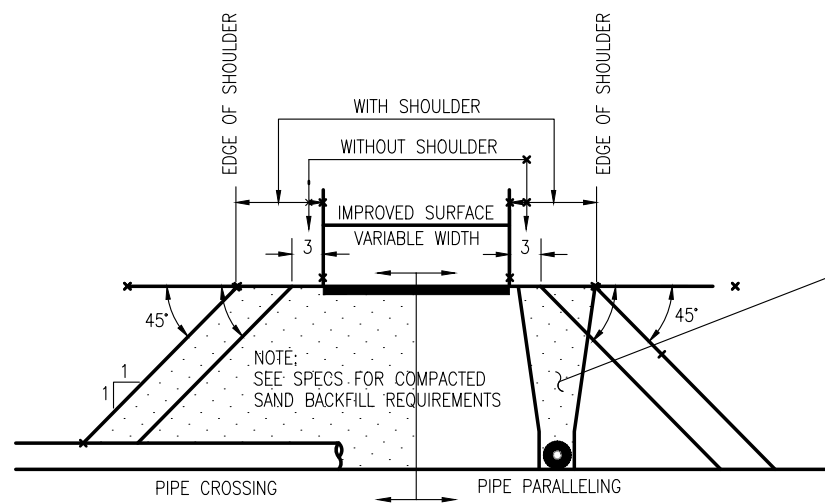
Brighton Analytical, LLC
2105 Pless Drive
Brighton, MI 48114
248-229-7575

OHM
ARCHITECTS ENGINEERS PLANNERS
34000 PLYMOUTH RD
LIVONIA, MI 48150
P: (734) 522-6711
OHM-ADVISORS.COM

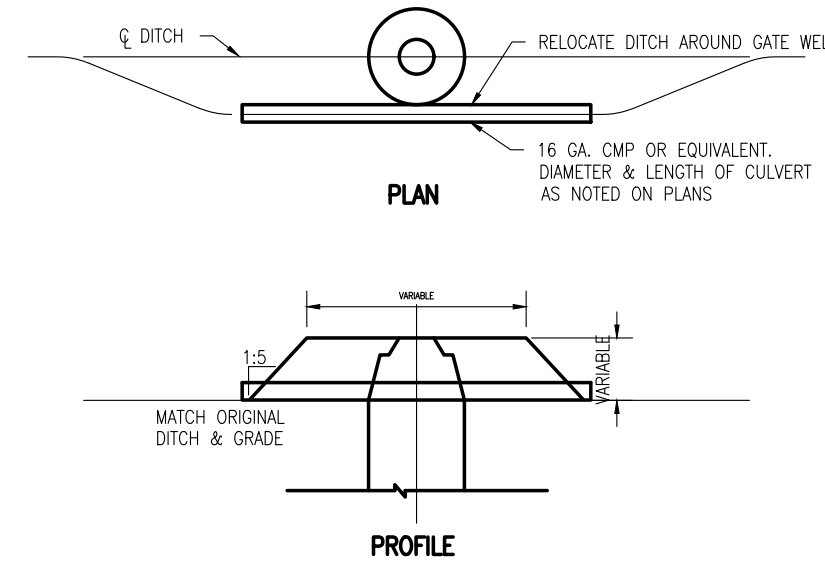
REVISIONS:
REVISED CASTING LOGO UPDATED 5/1/09
REVISED STANDARDS UPDATE 6/2/2021

DATE: DEC-2007
PROJECT NUMBER: J.L.K.
ENGINEER: J.L.K.
CADD: J.L.K.
COUNTY: OAKLAND
CITY/VILLAGE/TOWNSHIP: AUBURN HILLS
SCALE: H: NTS V: NTS
VERT DATUM: VERT DATUM
HORIZ DATUM: HORIZ DATUM

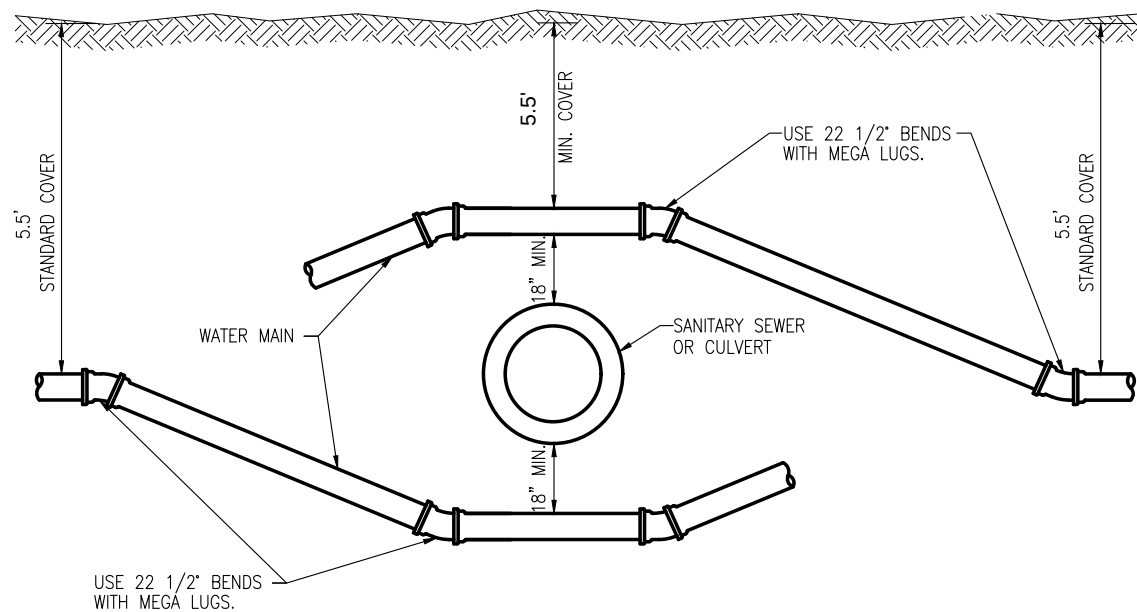
CITY OF AUBURN HILLS WATER MAIN STANDARD DETAILS



BACKFILL IN THE AREA OF STREETS, ALLEYS SIDEWALKS, DRIVES & PARKING LOTS

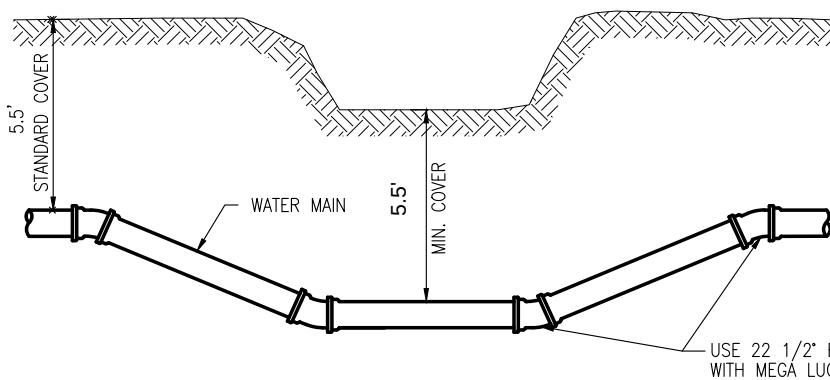


DITCH ENCLOSURE AT GATE WELL OR HYDRANT

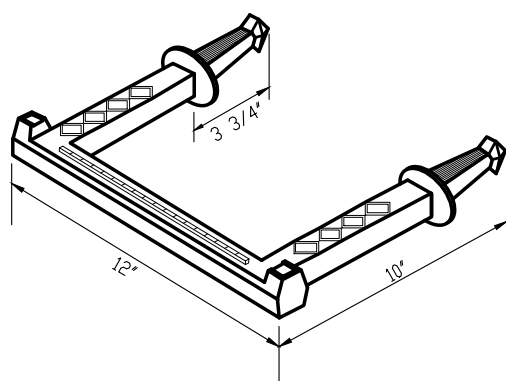


SEWER OR CULVERT CROSSING

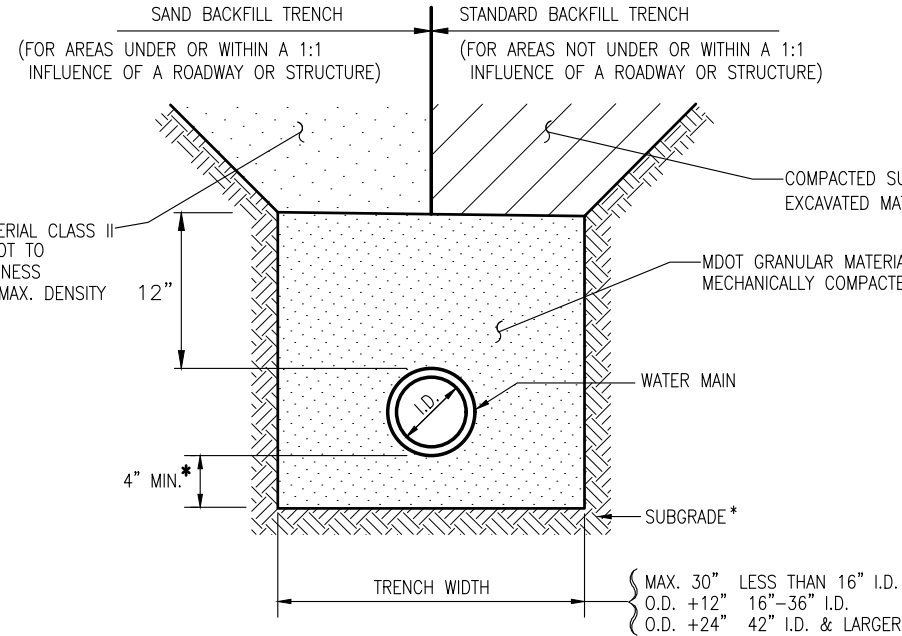
NOTE:
BENDS CAN BE ELIMINATED FOR MINOR VERTICAL DEFLECTIONS
IN DUCTILE IRON PIPE (1" OR LESS). IN THIS CASE, THE PIPE
MAY BE DEFLECTED UP TO 4" PER JOINT.



DITCH OR STREAM CROSSING

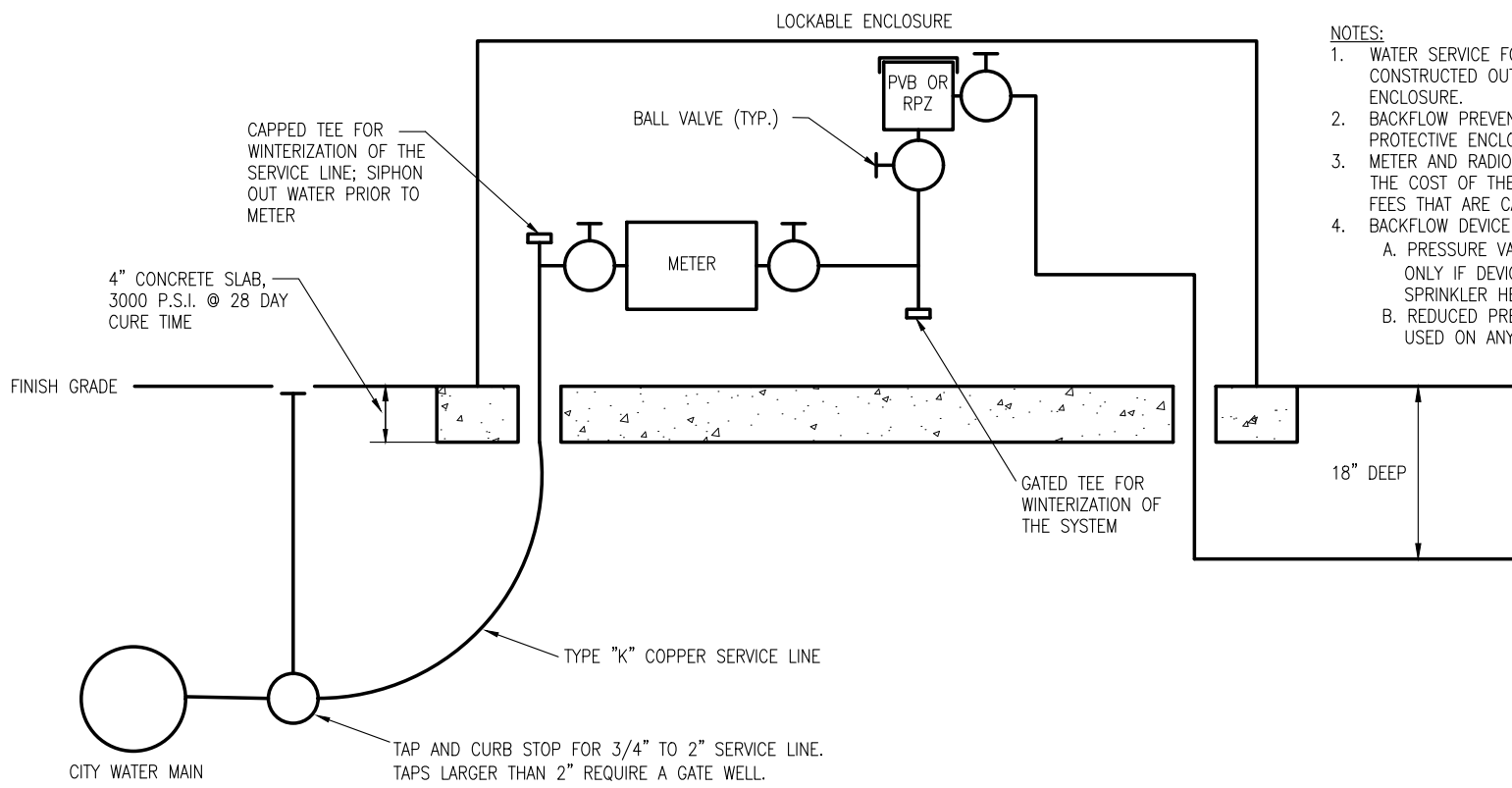


MANHOLE STEP M.A. PSI-375

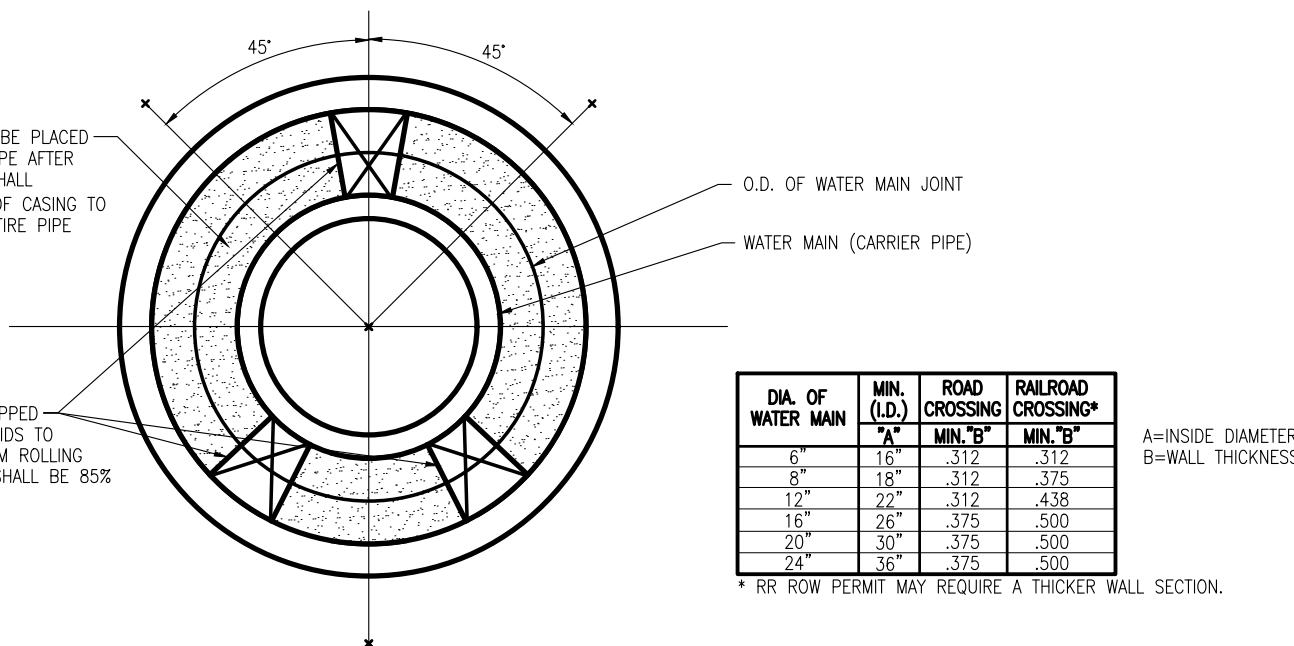


STANDARD BEDDING AND TRENCH BACKFILL DETAIL FOR WATER MAIN

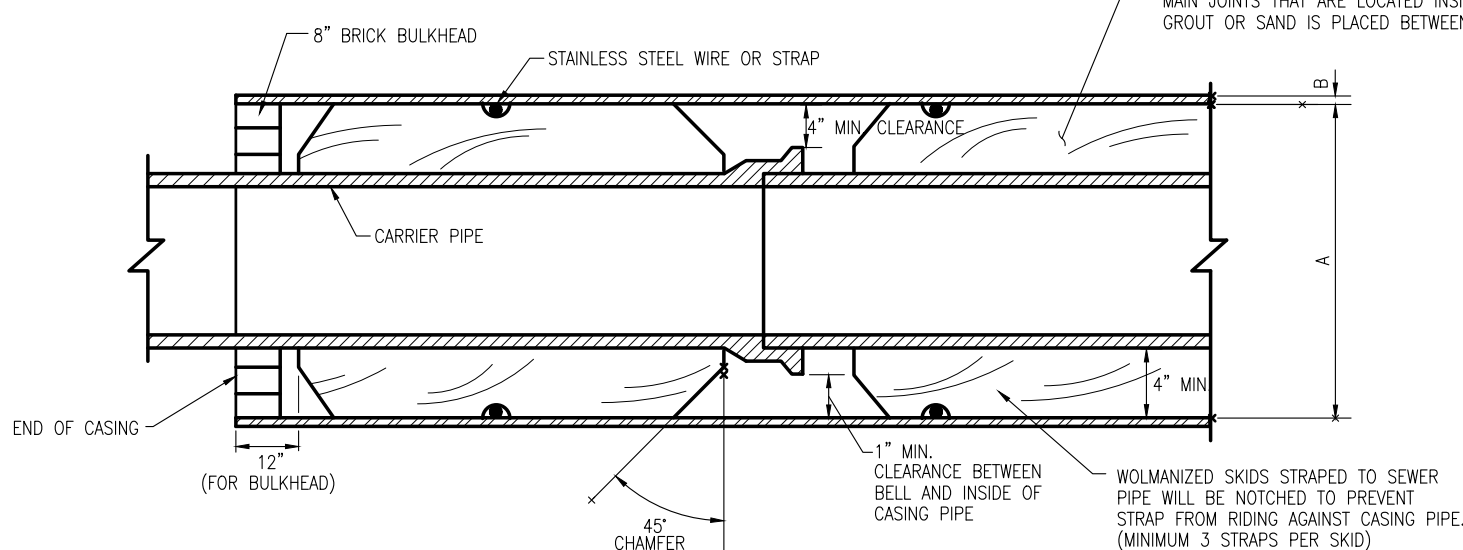
* NOTE: IF THE EXISTING SUBGRADE SOILS MEET THE
REQUIREMENTS FOR MDOT GRANULAR MATERIAL
CLASS II (MINIMUM 4" THICK), THEN THE
WATER MAIN MAY BE Laid DIRECTLY ON THE
COMPACTED NATIVE SUBGRADE SOILS.



SEPARATE OUTDOOR IRRIGATION METER (NON-RESIDENTIAL)



PIPE BARREL SUPPORT FOR WATER MAIN CONSTRUCTED IN CASING PIPE

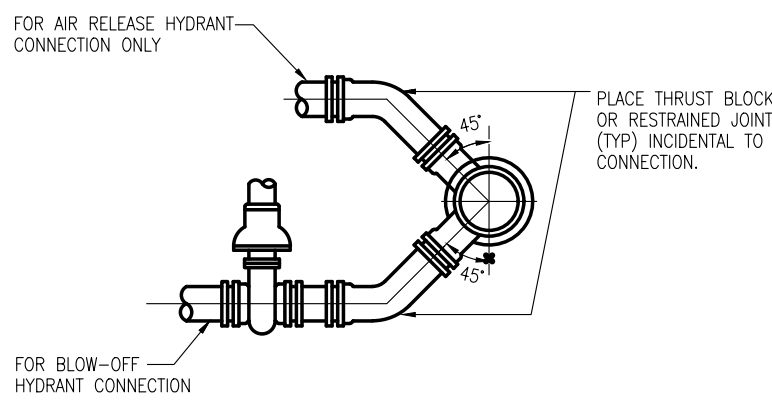


STANDARD CASING SECTION

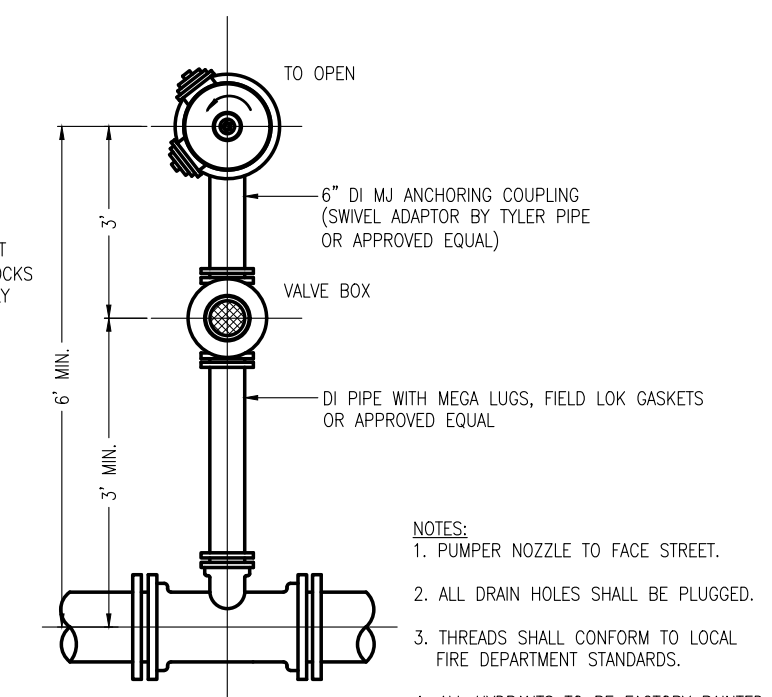
FOR PLUGS				
D	A	B	C	MIN.
20"	7"	5"	2.5"	
16"	4"-10"	4"-10"	2"	
12"	4"-4"	3"	1"-9"	
10"	3"	2"	1"-6"	
8"	2"-10"	2"-6"	1"-6"	
6"	1"-6"	1"-6"	3"	

FOR TEES AND TAPPING SLEEVES				
D	A	B	C	MIN.
20"	6.5"	4.5"	3.5"	3"
16"	4"-8"	4"-8"	2.5"	2.75"
12"	4"	3"	2.5"	2.5"
10"	3"	2"	2"	2.25"
8"	2"-6"	2"	2"	2.25"
6"	2"	2"	2"	2.25"

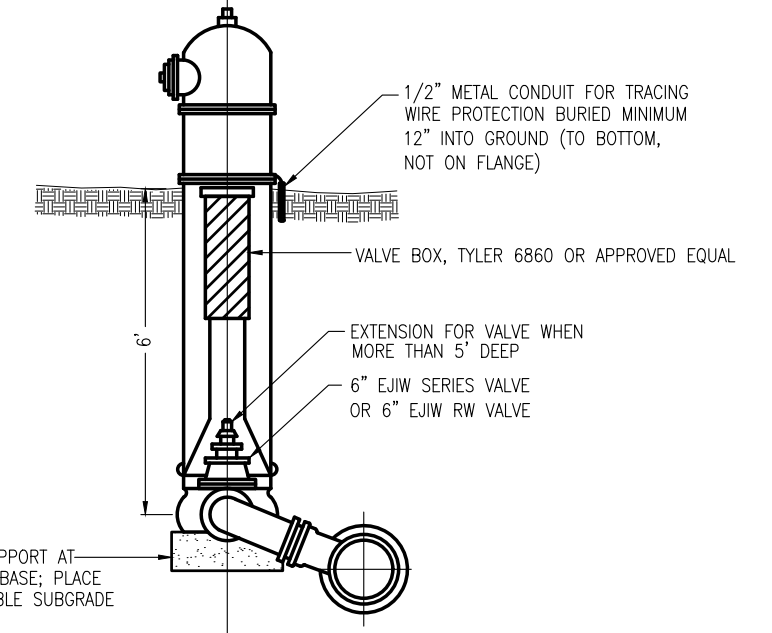
THRUST BLOCK DETAILS



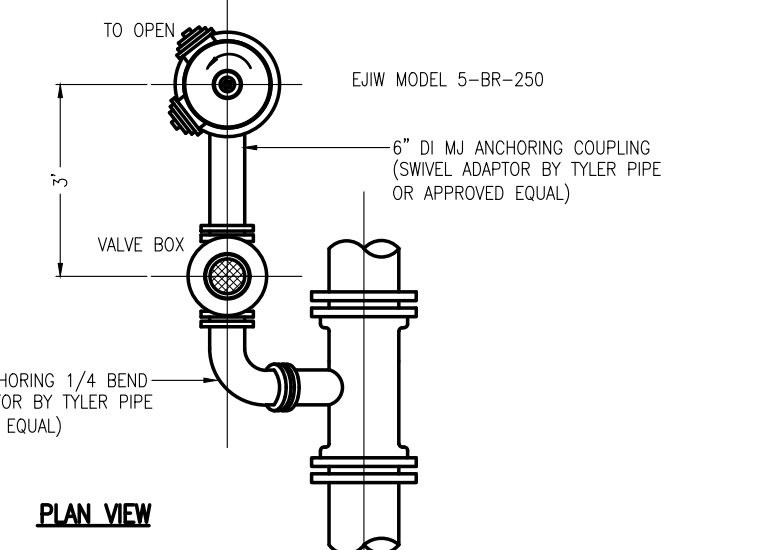
HYDRANT AIR RELEASE AND BLOW-OFF CONNECTION



PLAN VIEW



PROFILE VIEW



PLAN VIEW

DETAIL OF HYDRANT SETTINGS

WATER MAIN NOTES:

- All water main shall be ductile iron. Concrete, HDPE or PVC water main may be permitted upon city approval. Water main shall be per the following specification:
 - Ductile Iron pipe shall be ANSI 1-A21.51 (AWWA-C151) std. wall thickness, cement lined with bituminous seal coat Class 54 for sizes 3" through 16" and Class 55 for 20" through 24" pipe. All 6" pipe MUST be ductile iron.
 - Pre-stressed Concrete Cylinder pipe (P.C.C.P.) shall be AWWA C-301 specification for sizes larger than 24".
 - Polyvinyl Chloride (PVC) pipe shall meet the requirements of ANSI/AWWA C909-98 (including any appendices) as amended for the pressure class of 200 psi (SDR 14). PVC may only be used for 8" or 12" mains or 2" water services. All fittings for PVC shall be ductile iron, as specified in ANSI 1-A21.10 (AWWA-C110) as amended. PVC pipe shall only be used when approved by the City of Auburn Hills.
 - High Density Polyethylene (HDPE) pipe shall meet the requirements of AWWA C906 (SDR 11) with blue shell or blue stripe.
- Water services up to 2" shall be either Type K soft copper or PVC with tracing wire meeting the requirements of AWWA for a pressure class of 200 psi. If PVC is used, a tracing wire shall be run from the meter setup to the curb box (See General Notes, Item #9 for tracing wire requirements). All water services greater than 2" shall follow the standards listed in Water Main Note #1.
- The maximum allowable deflection at joints for ductile iron water main shall be per manufacturers standards (i.e. 4" - 36" water main - 5" per 20').
- Polywrap may be required by the city and shall be placed around the water main.
- Mega lugs shall be placed at all valves, bends, tees, plugs, hydrants and mechanical fittings. Surrounding joints shall be restrained using field lok gaskets or approved equal and shall be per the manufacturer's joint restraining schedule.
- All bolts on all flanged and mechanical joint fittings shall be domestic origin high strength, low alloy COR-BLUE steel bolts or approved equal. These bolts shall meet the current provisions of American National Standard ANSI/AWWA C111/A21.11-90 for rubber gasket joints for ductile iron pressure pipes and fittings. Bolt manufacturer's certificate of compliance must accompany each shipment.
- Backfill shall be compacted above pipe as indicated on construction drawings. Trench backfill shall be a suitable material and shall be free of any organic materials and rocks larger than 3" in size. Under road surfaces, pavement, sidewalks, curbs, driveways and areas where trench is within a 1:1 influence of the pavement, sand backfill shall be used which shall consist of MDOT granular material Class II or III and shall be compacted in layers not to exceed 12" in thickness to a density of 95% as determined by ASTM D1557. Where water main is to be placed on fill material, all fill material below the pipe must also be compacted to 95% maximum unit density. All backfill placed with a 1:1 influence of structures shall be approved sand, placed in 1' layers and compacted. Trenches that are to be left open overnight shall be enclosed with suitable fencing and lighted barricades, unless otherwise approved by the City.
- PVC Installation Specifications:
 - Where pipe must be cut, machine beveling should be provided as specified by the manufacturer, unless the cut end will be butted against a fitting with an approved ball-type joint. The factory beveled end of the spigot must be removed when the spigot will be butted against a fitting.
 - All PVC pipe deflections shall be made using mechanical fittings. PVC pipe shall not be placed or connected by "breaking" or "opening" joints (or deflection). Physically bending the pipe is not allowed either. Each individual length of PVC pipe shall be placed in a straight line.
 - PVC water main shall not be exposed to sunlight for more than one (1) week. The contractor shall provide an opaque covering to shield all parts of pipe. Such pipe that is not adequately protected will be rejected.
 - PVC water main shall not be installed when temperatures are below zero (0) degrees Fahrenheit.
 - Pipe shall be joined per the manufacturer's recommendation. Push-on type joints shall not be installed past the "home" mark on the pipe, or otherwise disrupt the required elastomeric gasket.
 - PVC water main shall not be used in areas where any petroleum products are found or suspected to exist in the soils or surrounding area.
 - Extreme care must be used when attaching fittings. Mechanical joints to PVC pipe must distribute the loading evenly to avoid damage and potential breaks or weak points in the pipe.
 - Extreme care must be used when bringing PVC pipe into and out of structures. A uniform annular space must be created to eliminate any potential point loading on the pipe. Point loading and pipe movement at the structure joint can cause the pipe to split.
 - Rubber "boots" or "sleeves" are required for pipes entering structures (similar to sanitary sewer "boots").
 - Taps shall not be made on PVC water main that is bent, or otherwise in tension.
 - A Ford or McDonald double-banded brass tapping saddle shall be provided for all taps to PVC water main.
 - All taps shall be made with a sharp bit and high speed tap, as recommended by the manufacturer.

VALVE & SLEEVE NOTES:

- Gate Valves shall be ductile iron body, fully bronze mounted, E.J.I.W. resilient wedge, non-rising stem, opening counterclockwise conforming to AWWA or C515, E.J. Flow Master or approved equal.
- All gate valves 6" or larger shall be placed in a well; curb stops and boxes are required for water main 2" or smaller. A valve shall be placed in a well for all water main larger than 2" and smaller than 6" when a tapping sleeve will be utilized; otherwise, a valve may be placed in a box for water main larger than 2" and smaller than 6".
- All gate valves with operating nuts at a distance greater than 5' below ground surface shall be provided with an extension stem. The length of the extension shall be such that it will be within 5' of ground surface when an extension stem is used. It shall be held in place by two extension stem guide assemblies. Each assembly shall be comprised of a "J" bracket and "L" bracket supplied by E.J.I.W. The stem guides shall be located opposite from each other, and shall be suitably fastened to the wall of the gate well. In addition, a "stop" shall be welded to the extension stem in a location that will prevent the extension stem from slipping off the operating nut. Details of extension stem and method of installation shall be approved by the engineer prior to installation.
- All pre cast concrete gate well sections shall be manufactured to conform with ASTM C478, standard specifications for precast reinforced concrete manhole sections, except wall thickness shall be as shown on these details. All joints for precast concrete gate well sections shall be "modified grooved tongue" with gasket manufactured to conform with ASTM C443, standard specification for joints for circular concrete sewer and culvert pipe using rubber gaskets.
- All gate well covers shall be E.J.I.W. #1040A with bolted frame and have the Auburn Hills Logo imprinted on it (see detail on sheet 1), or approved equal. All cover bolts shall be stainless steel.
- Tapping sleeves shall be mechanical joint with E.J. SERIES Mechanical Joint Tapping Gate Valve. Lead joint sleeves shall not be used. Like size tapping sleeves can only be used when the existing main is ductile iron and must be a mechanical tapping sleeve.
- All tongue and groove joints on wells shall be cement tuck-pointed inside and out.

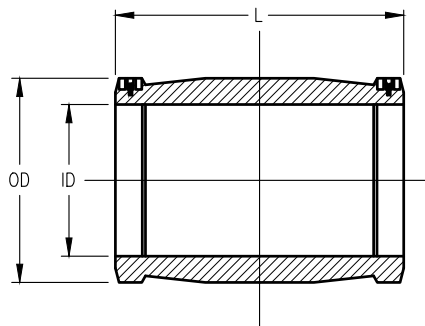
HYDRANT NOTES:

- All hydrants shall be E.J.I.W. #5BR-250-Traffic Model and shall conform to AWWA Spec. C-502 as amended, and shall have a minimum 5 1/4" valve opening that closes with the water pressure. Hydrants shall be traffic style with breakable flange and coupling.
- Hydrants shall have a swivel flange to allow bonnet to be turned 360 degrees without removing the bonnet, and barrel flanges shall be integrally cast with the barrel. Inlet shoe shall have a bronze valve seat, which can be removed without digging.
- Inlet connection shall be 6" mechanical joint, ASA-A21-11. Stem threads shall be sealed with double "O" rings and shall be permanently lubricated with all weather grease.
- Hose connections: Two (2) 4 1/2" pumper nozzles, one (1) with Harrington Integral Hydrant Storz nozzle (part# 946081/ELW# 54036D) and one (1) with City of Detroit Fire Department (DFD) threads. The Storz nozzle shall have a brass metal face seal and hard anodized aluminum Storz ramps and lugs. The aluminum's finish shall be hardcoat anodized to Mil-A-8625f, Type 3 dark gray. The adapter shall be made of forged or extruded 6061-T6 aluminum. The blind cap shall have hard anodized aluminum Storz ramps and lugs, made of forged or extruded 6061-T6 aluminum. The center cap shall be equipped with a suction seal. The cap shall be connected to the adapter or the hydrant with a 0.125" vinyl coated aircraft cable.
- Operating Nut: (1) 1 1/2" P-F pentagon, open left. 5.5' cover or specified on plans. A suitable nozzle lock shall be in place to prevent inadvertent nozzle removal. Wedge locks and/or ductile iron retainer rings to secure nozzles shall not be allowed.
- Hydrants shall be painted red above the ground and black below, with a finish coat of Glamortex 501 enamel, color 314 vermilion, or approved equal. Top flange shall be painted with JDL Industries (305) 599-2022, Bright White Reflective paint, color No.1460 or taped with 3M Scotchlite High Intensity Reflective Tape #3870. Nozzle cap shall be painted per Auburn Hills Fire Dept. requirements: White - 4" mains, Red - 6" mains (Paint #4431-01), Orange - 8" mains (Paint #4431-24), Green - 12" mains (Paint #4431-10), Blue - 16" or larger mains (Paint #4431-12). Paint can be obtain at Tractor Supply Company using the associated Paint Numbers. DO NOT paint Storz nozzle.

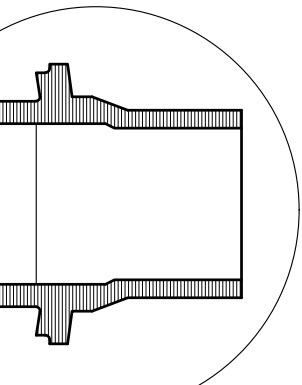
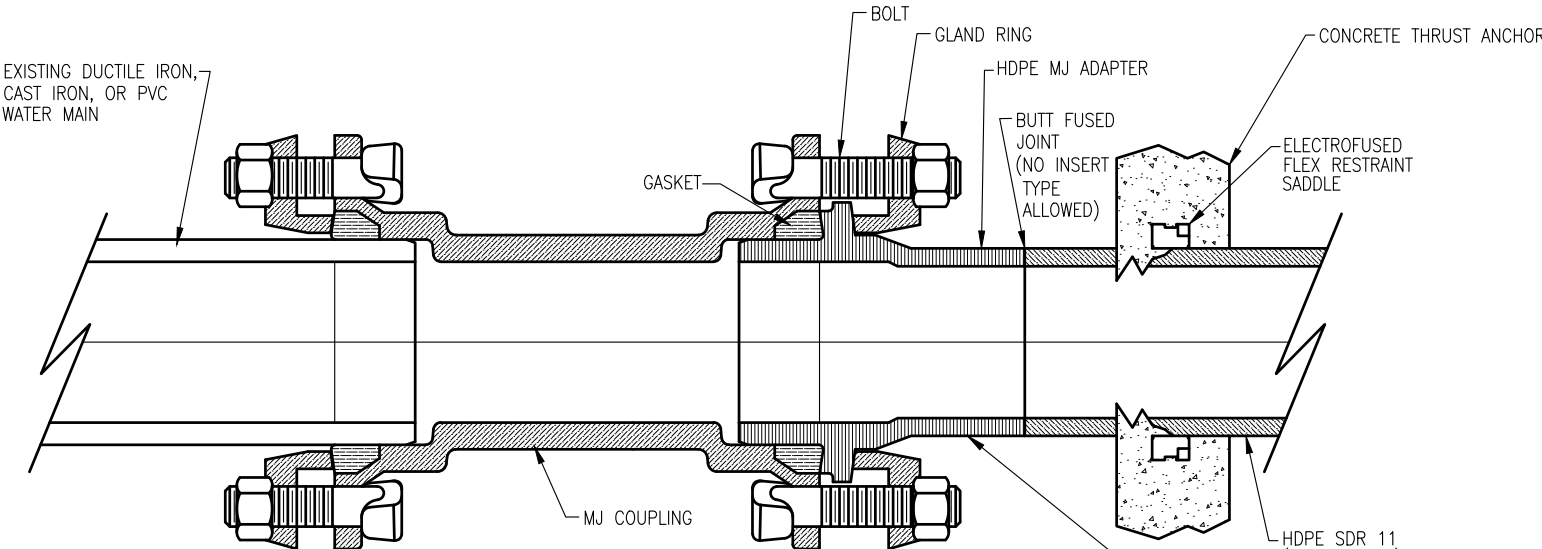
DRAWING PATH: P:\0101_01250120200330_Auburn_Hills_Standards_Update\Drawings\Civil\Details\AH-WM_DET.dwg Jul 13, 2022 - 3:22pm

NOMINAL SIZE	INSIDE DIA (MAX) ID	INSIDE DIA (MIN) ID	OUTSIDE DIA (NOMINAL) OD	OVERALL LENGTH (L)
4"	4.84	4.810	6.06	6.93
6"	6.96	6.910	8.74	8.19
8"	9.13	9.060	11.14	9.53
10"	11.15	11.14	13.66	11.02
12"	13.29	13.25	16.22	13.07

ELECTROFUSION DIPS COUPLINGS



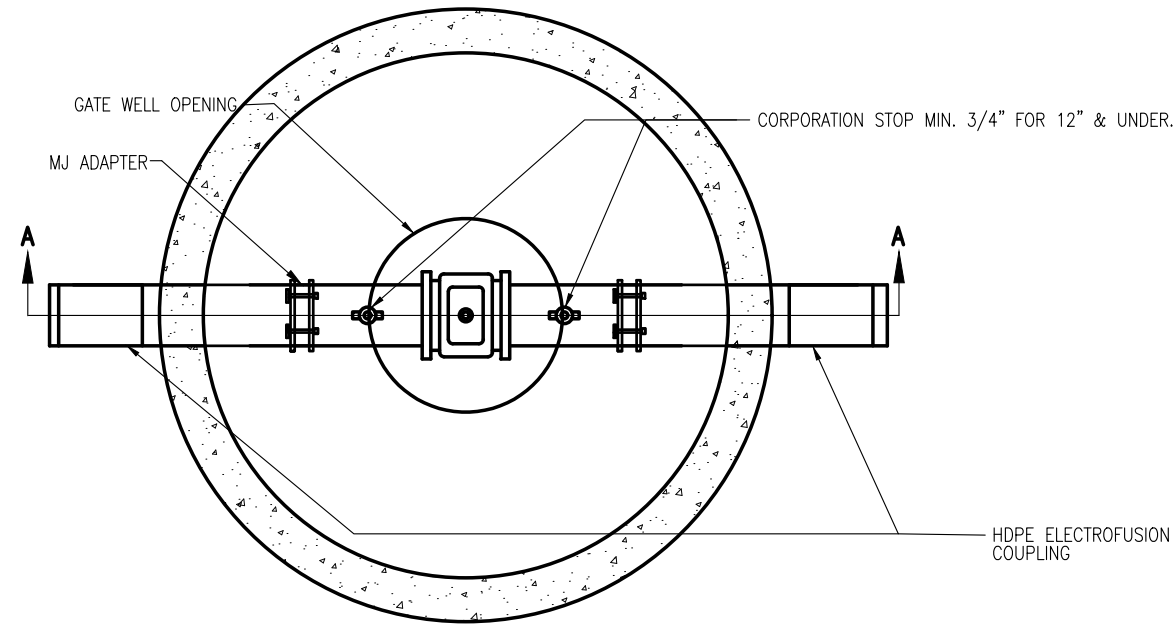
HDPE WATER MAIN JOINT RESTRAINT
(FOR CONNECTING HDPE PIPE TO DUCTILE IRON PIPE)



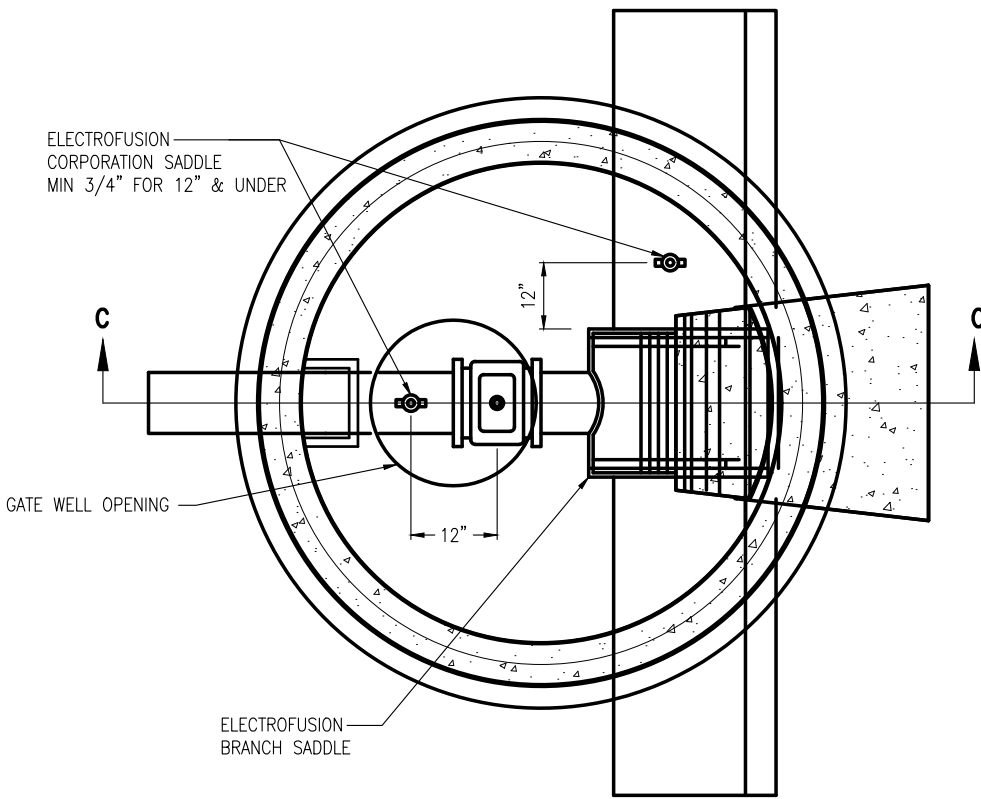
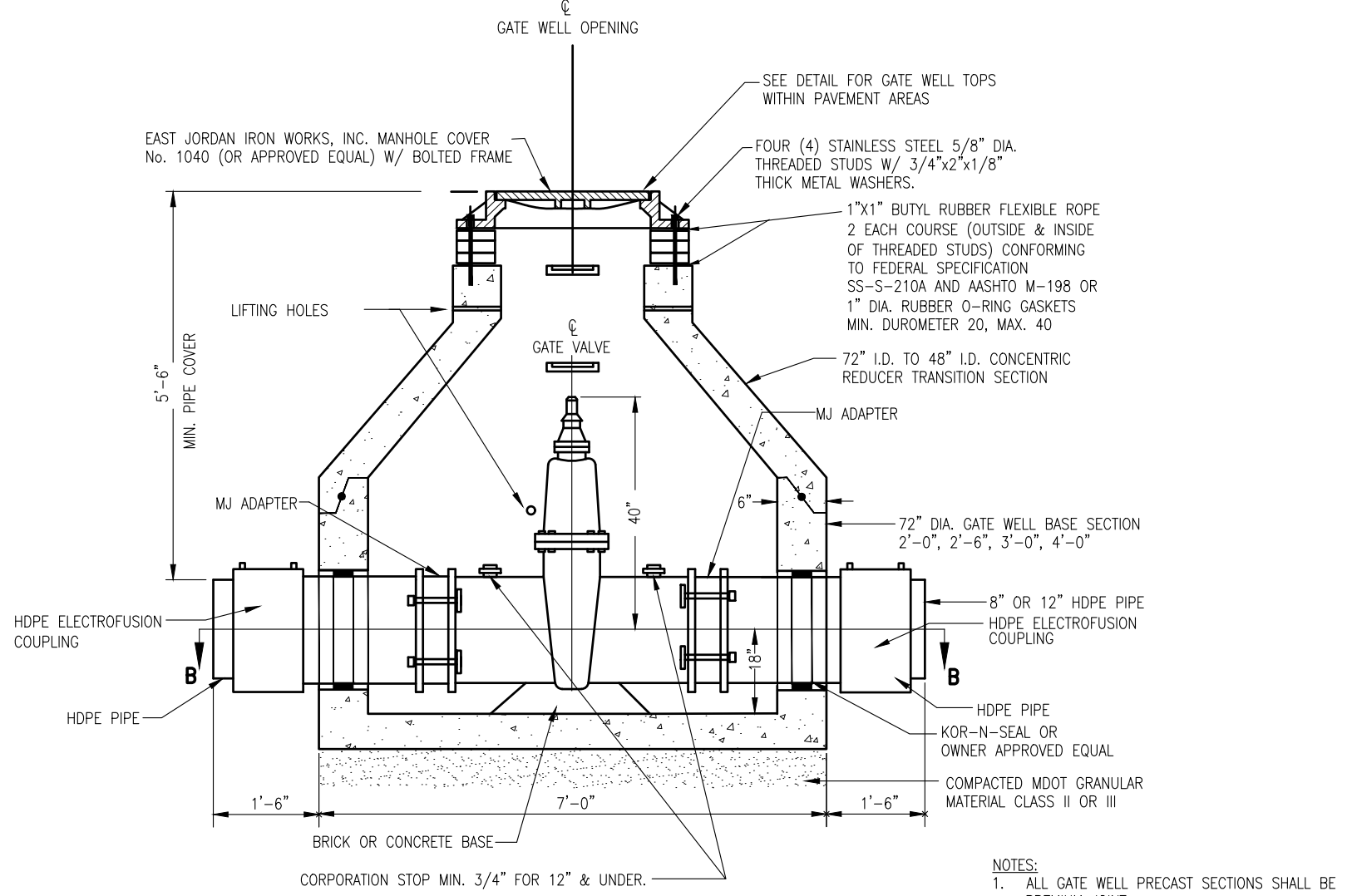
MJ ADAPTER

DIAMETER DIPS	DR	OVERALL LENGTH	BOLT LENGTH REQUIRED	WEIGHT
6"	11	8.25"	4 1/2"	4.4
8"	11	8.25"	5"	7.3
10"	11	8.75"	5"	11.3
12"	11	8.75"	5"	15.8
16"	11	9.97"	6"	33.0
20"	11	10.22"	6"	51.0
24"	11	10.22"	6 1/2"	71.7

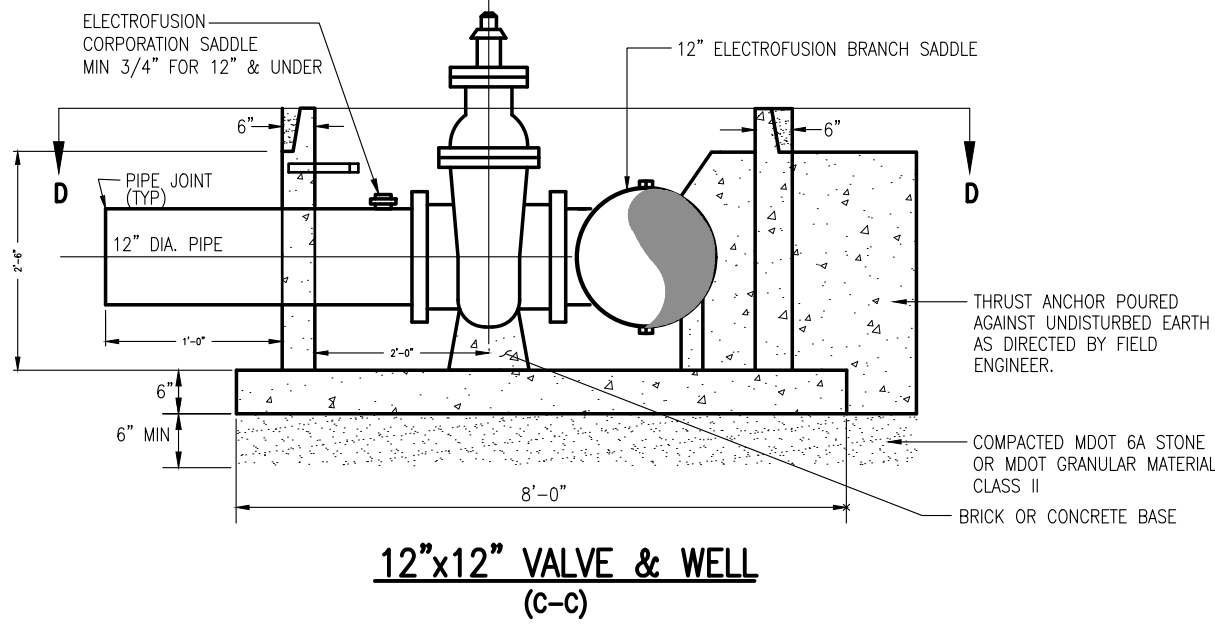
8" AND 12" GATE WELL TYPICAL FOR HDPE WATER MAIN
(PLAN VIEW, B-B)



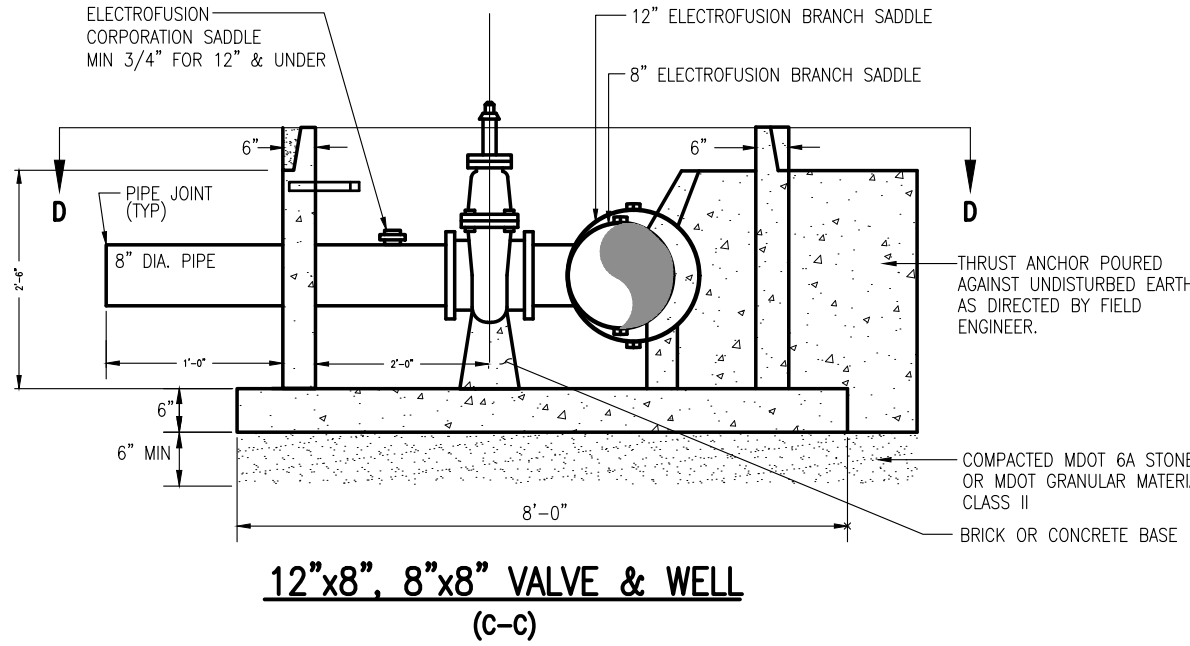
8" AND 12" GATE WELL FOR HDPE WATER MAIN
(A-A)



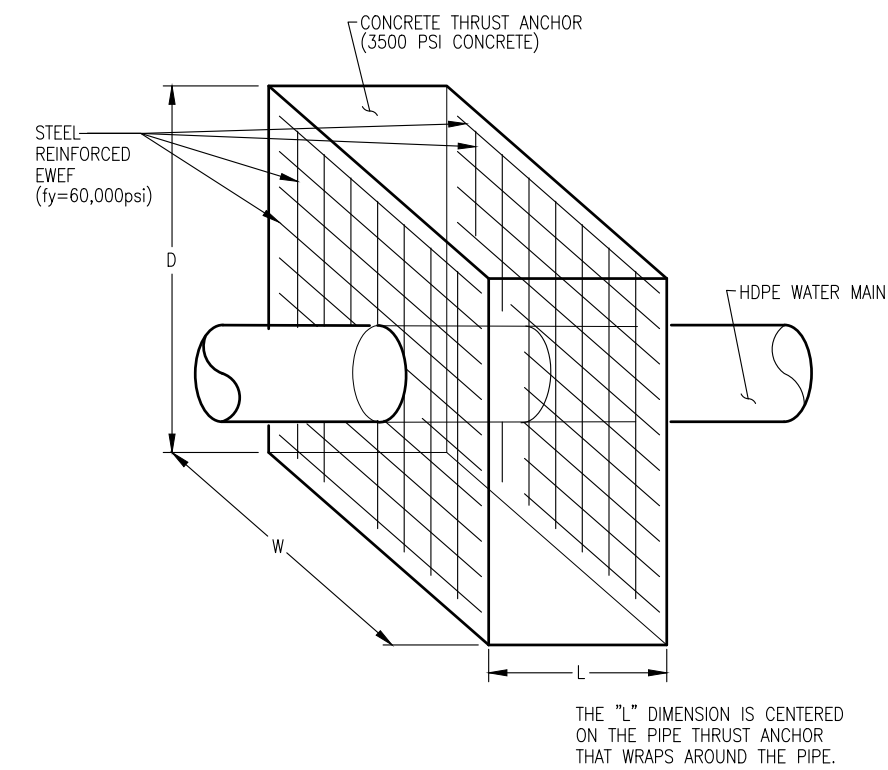
VALVE & WELL TYPICAL
(PLAN VIEW, D-D)



12"x12" VALVE & WELL
(C-C)



12"x8", 8"x8" VALVE & WELL
(C-C)

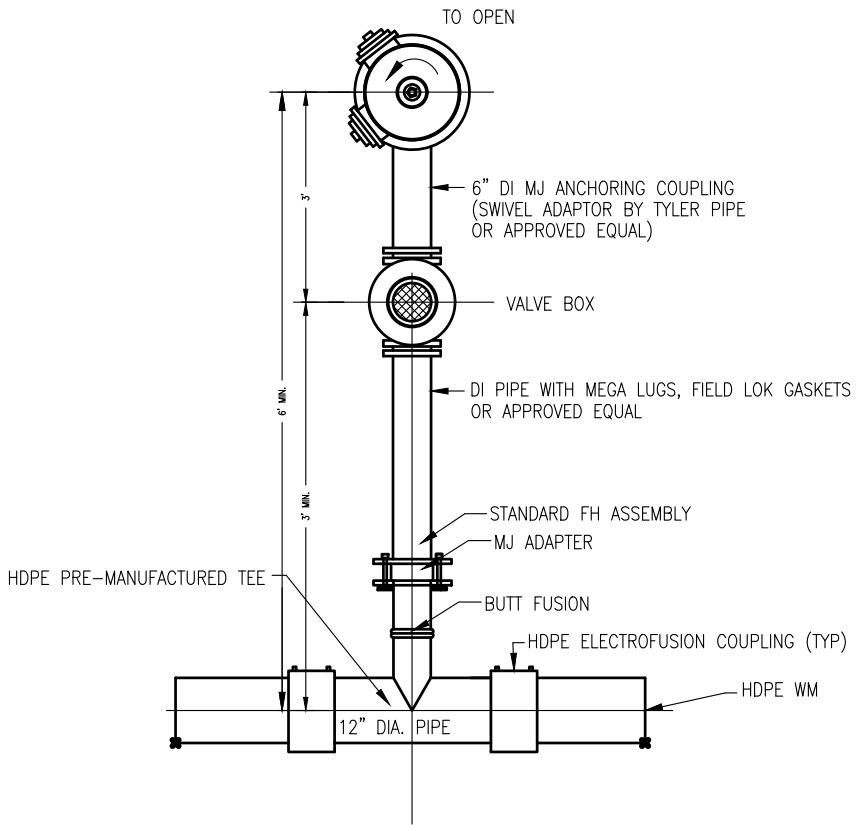


CONCRETE THRUST ANCHOR FOR HDPE PIPE

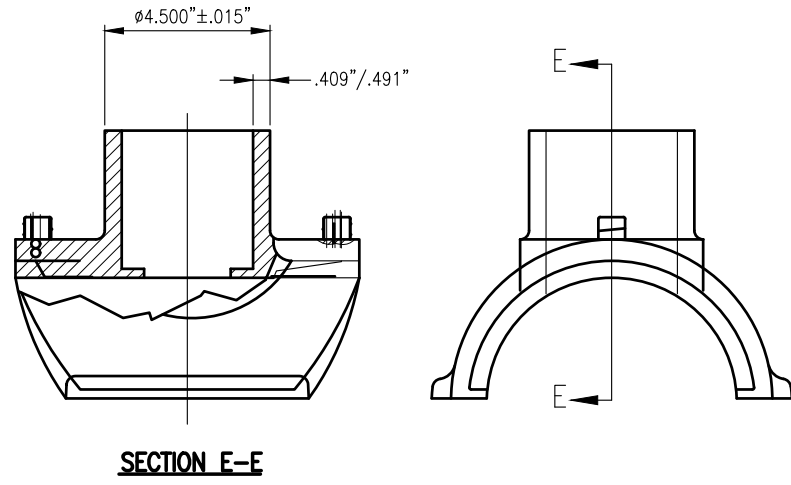
PIPE SIZE	THRUST BLOCK SIZE (W x D x L)	REINFORCEMENT
6"	2' x 2' x 12"	#5 @ 12" EWEF *
8"	2.5' x 2.5' x 12"	#5 @ 12" EWEF
12"	4' x 4' x 20"	#6 @ 12" EWEF
16"	5' x 5' x 26"	#6 @ 9" EWEF
20"	6.5' x 6.5' x 32"	#7 @ 12" EWEF
24"	8' x 8' x 36"	#8 @ 12" EWEF

* EWEF = EACH WAY, EACH FACE

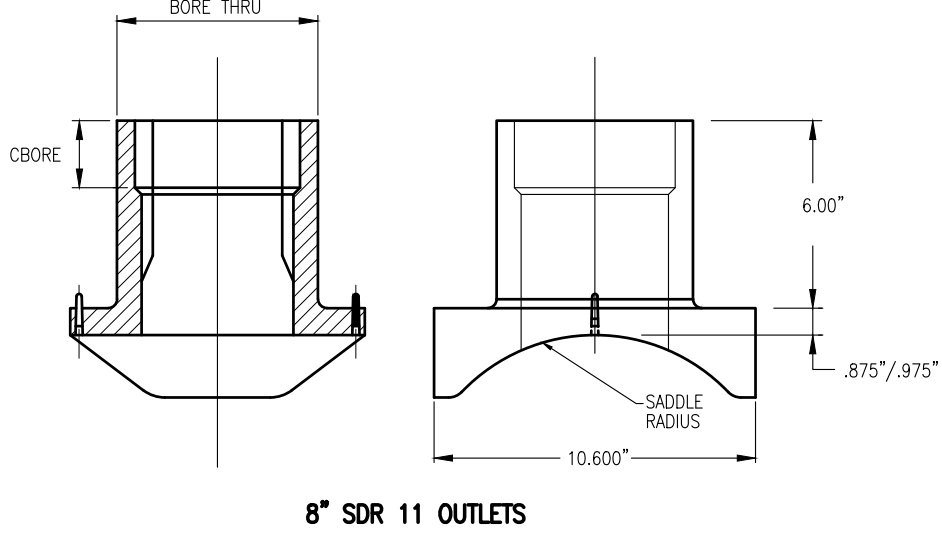
NOTE: VARIATIONS TO THE W AND D DIMENSIONS CAN BE MADE ON A CASE BY CASE BASIS DEPENDING ON THE DEPTH REQUIREMENTS FOR WATER MAIN FOR THAT PARTICULAR PROJECT. IF CHANGES ARE MADE TO THE SIZE, THE DESIGN ENGINEER WILL BE REQUIRED TO SUBMIT CALCULATIONS SUPPORTING THE REVISED SIZE, INCLUDING ANY CHANGES TO THE REINFORCING STEEL.



FIRE HYDRANT ASSEMBLY
WITH HDPE PRE-MANUFACTURED TEE



ELECTROFUSION BRANCH SADDLE DETAILS



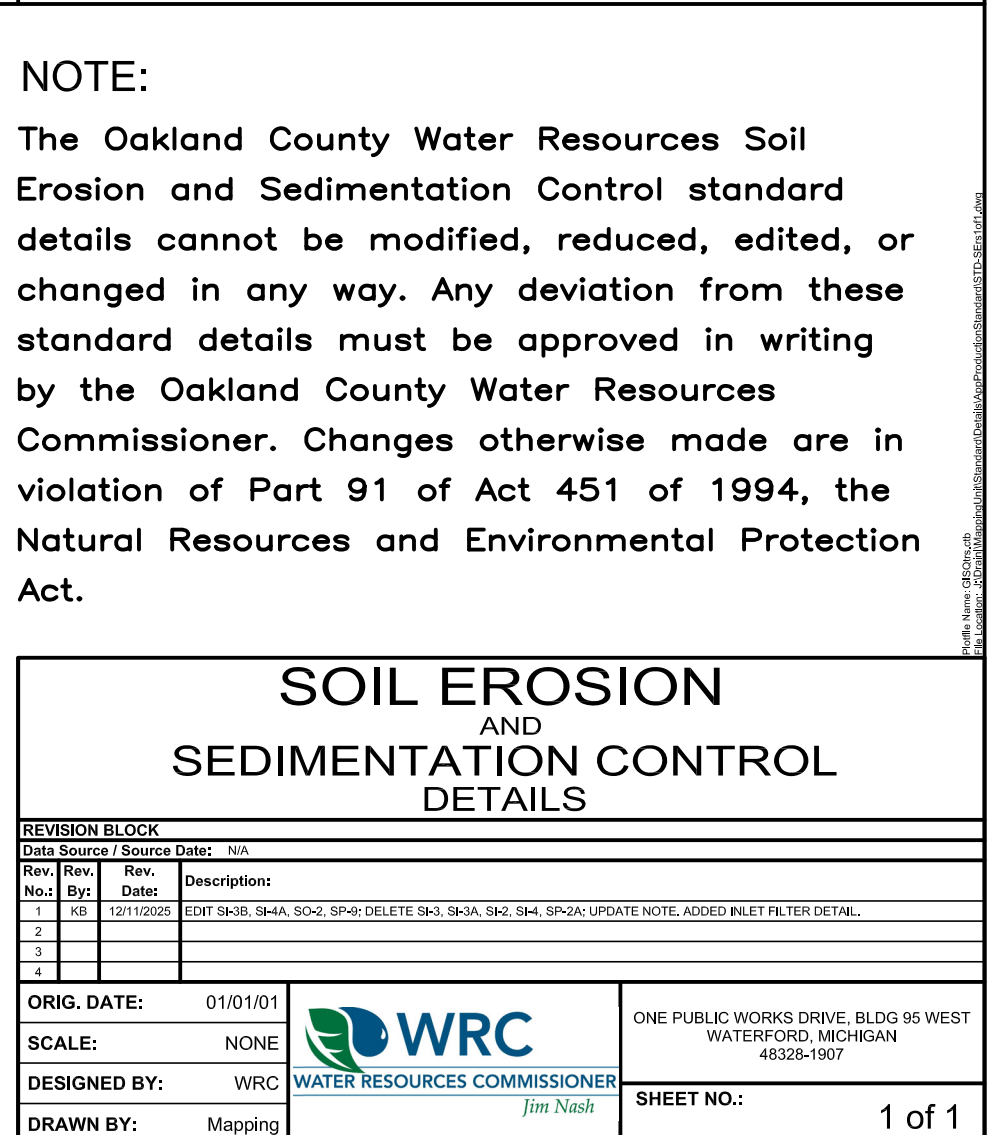
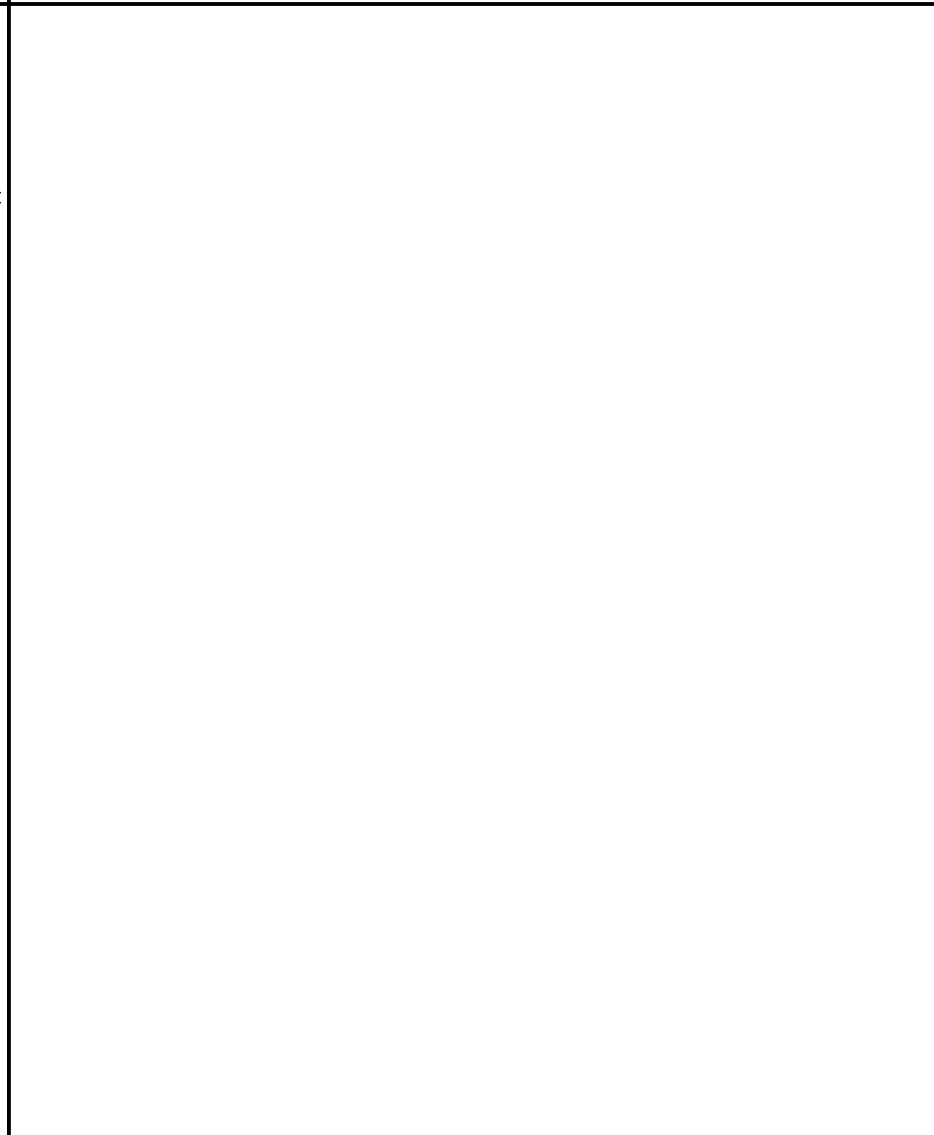
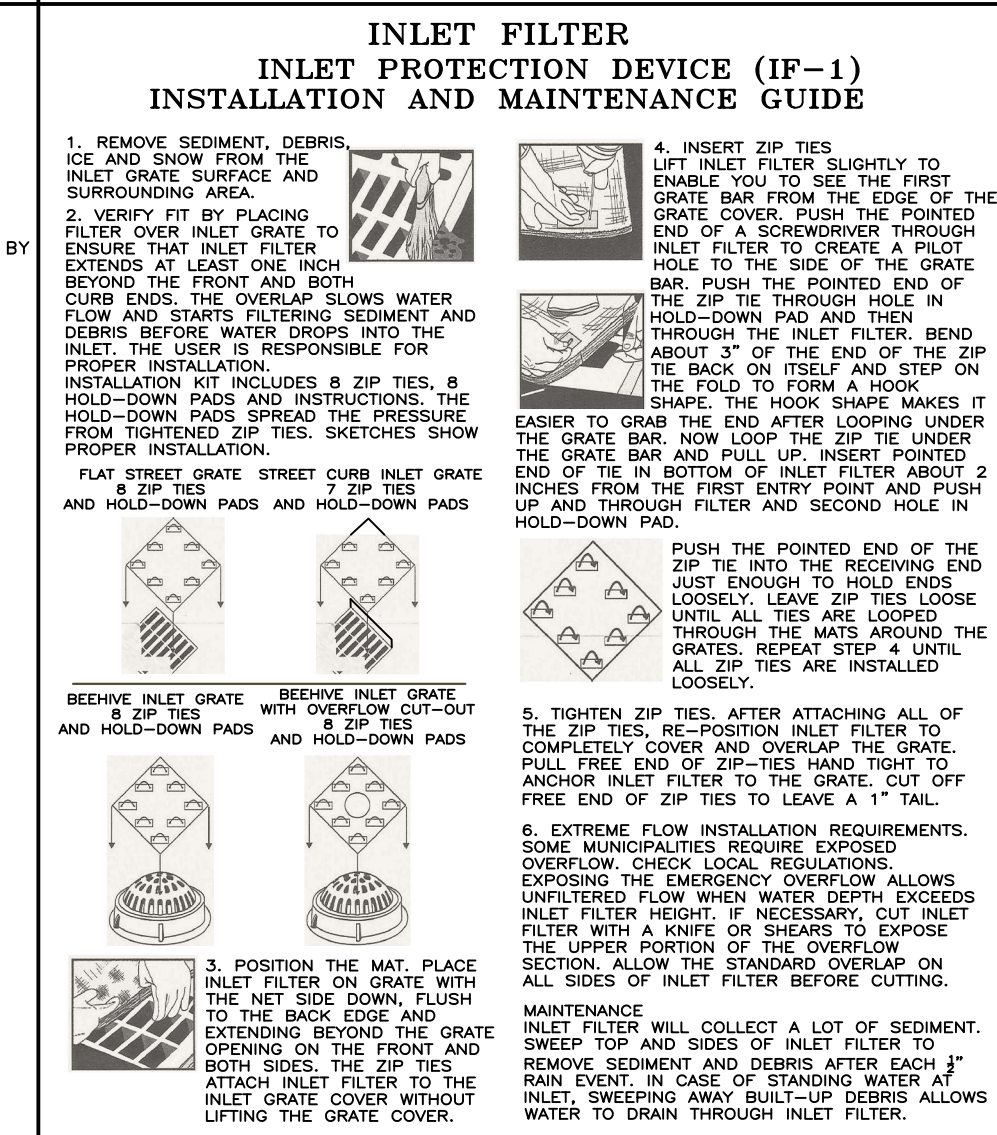
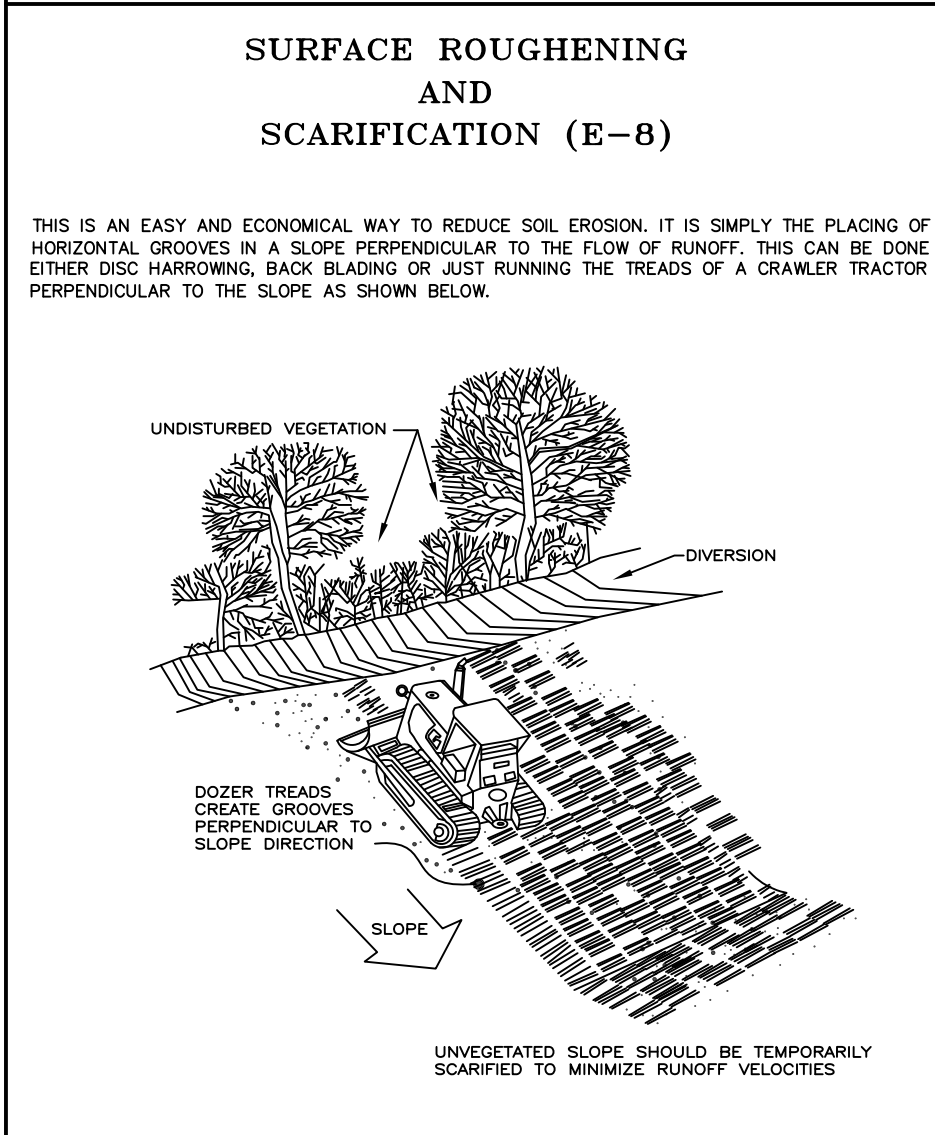
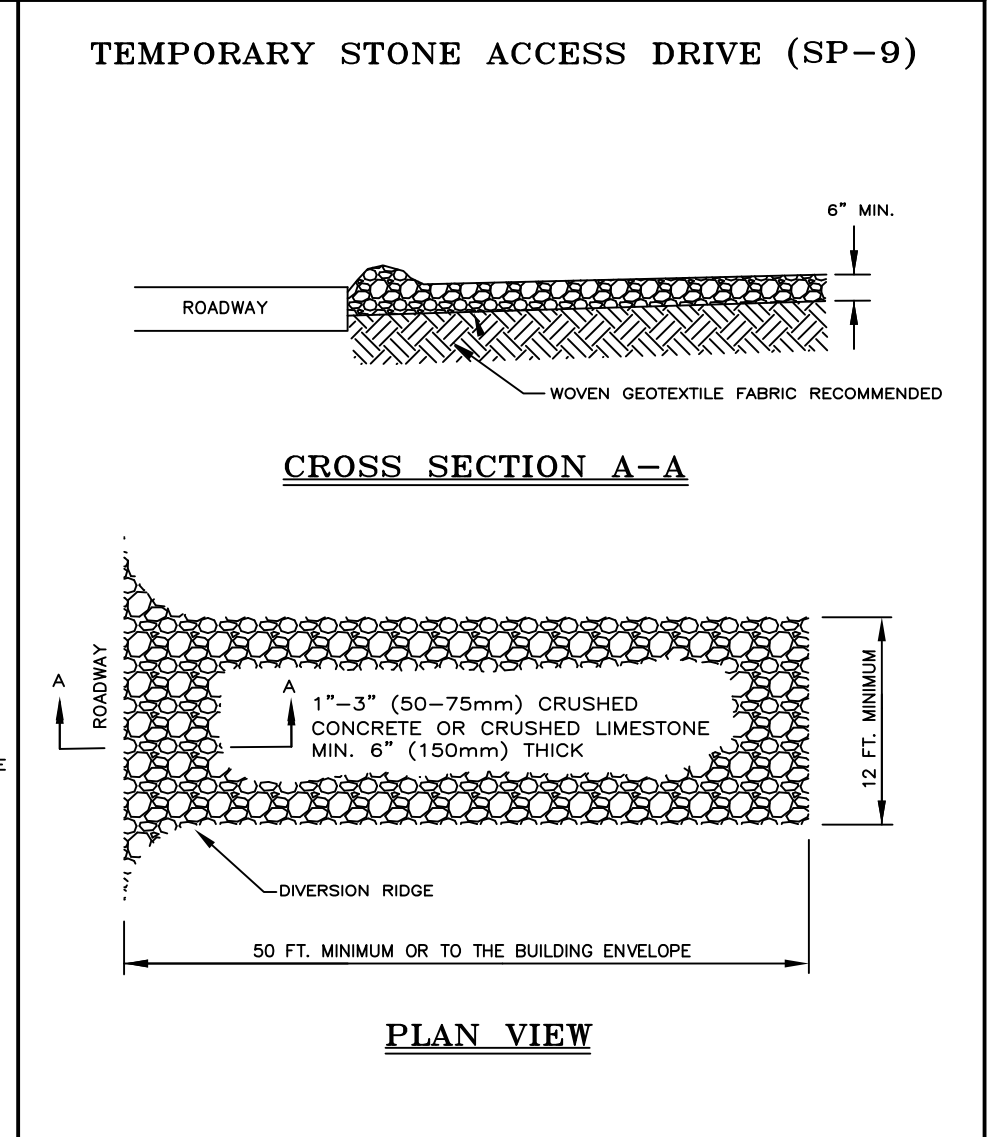
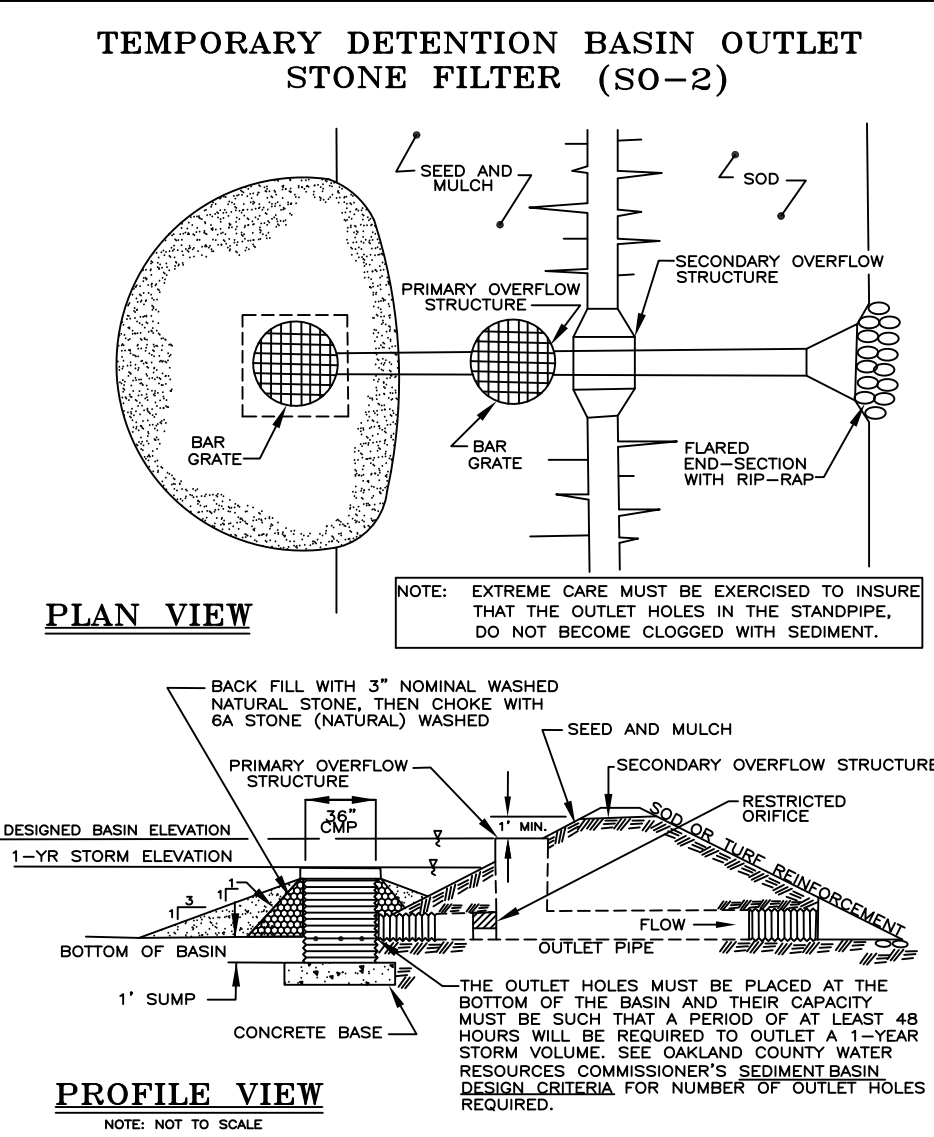
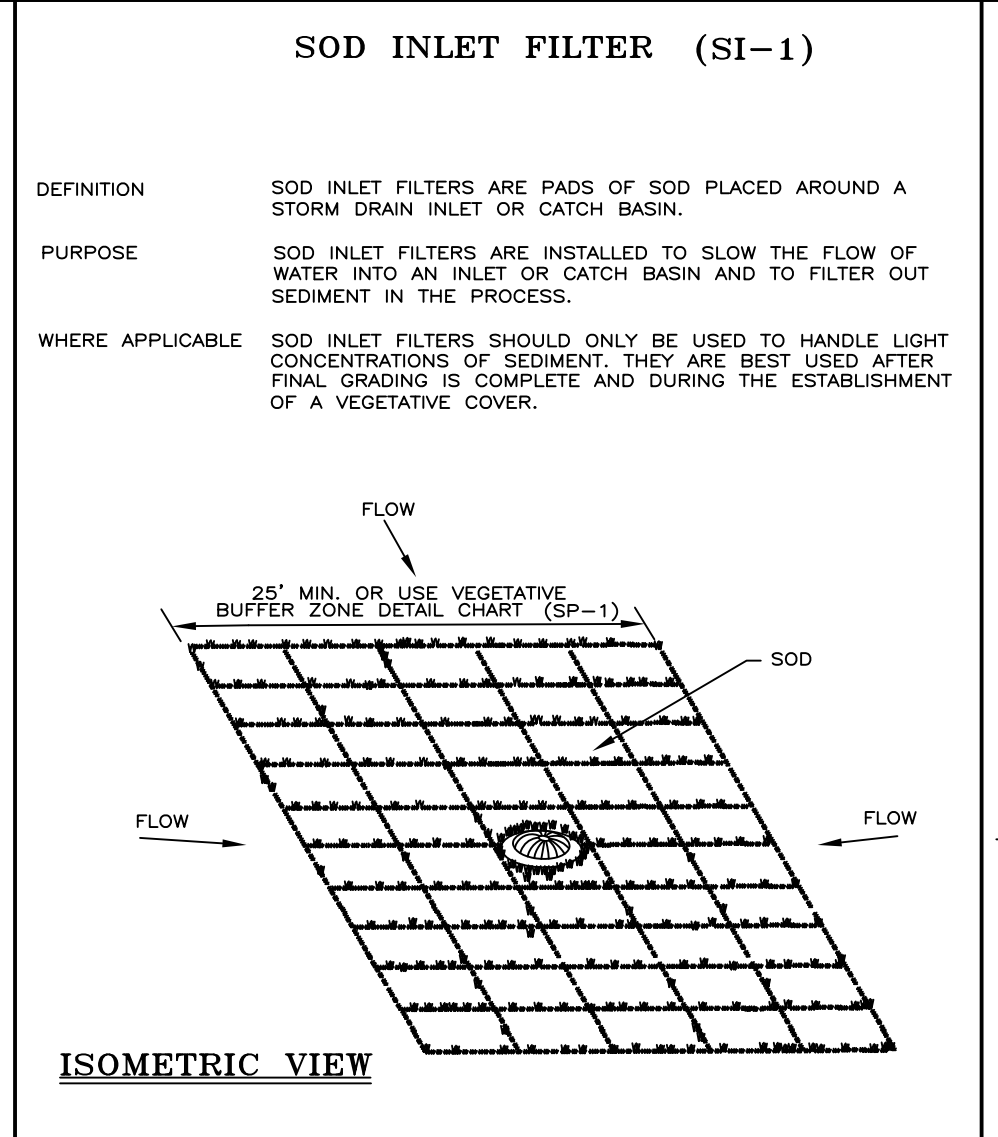
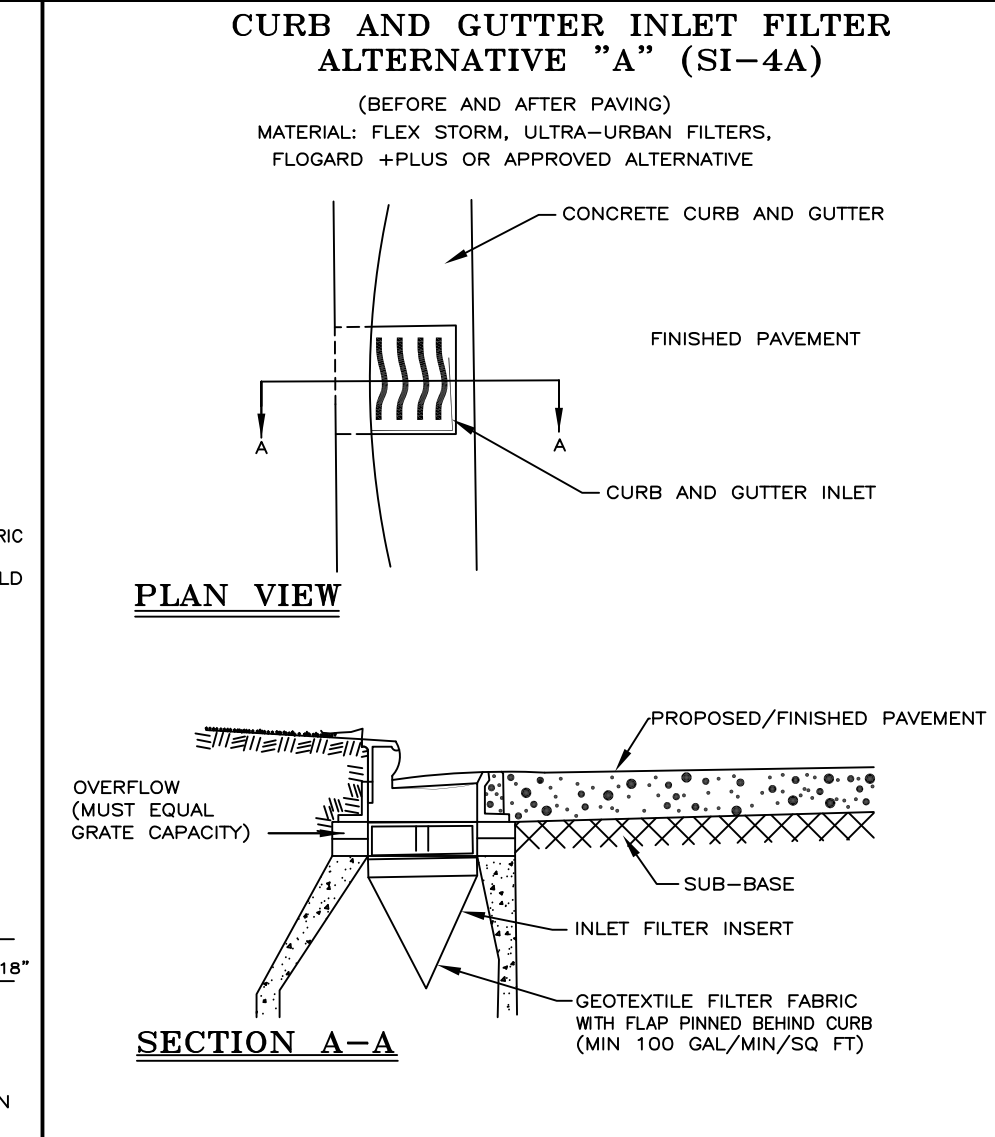
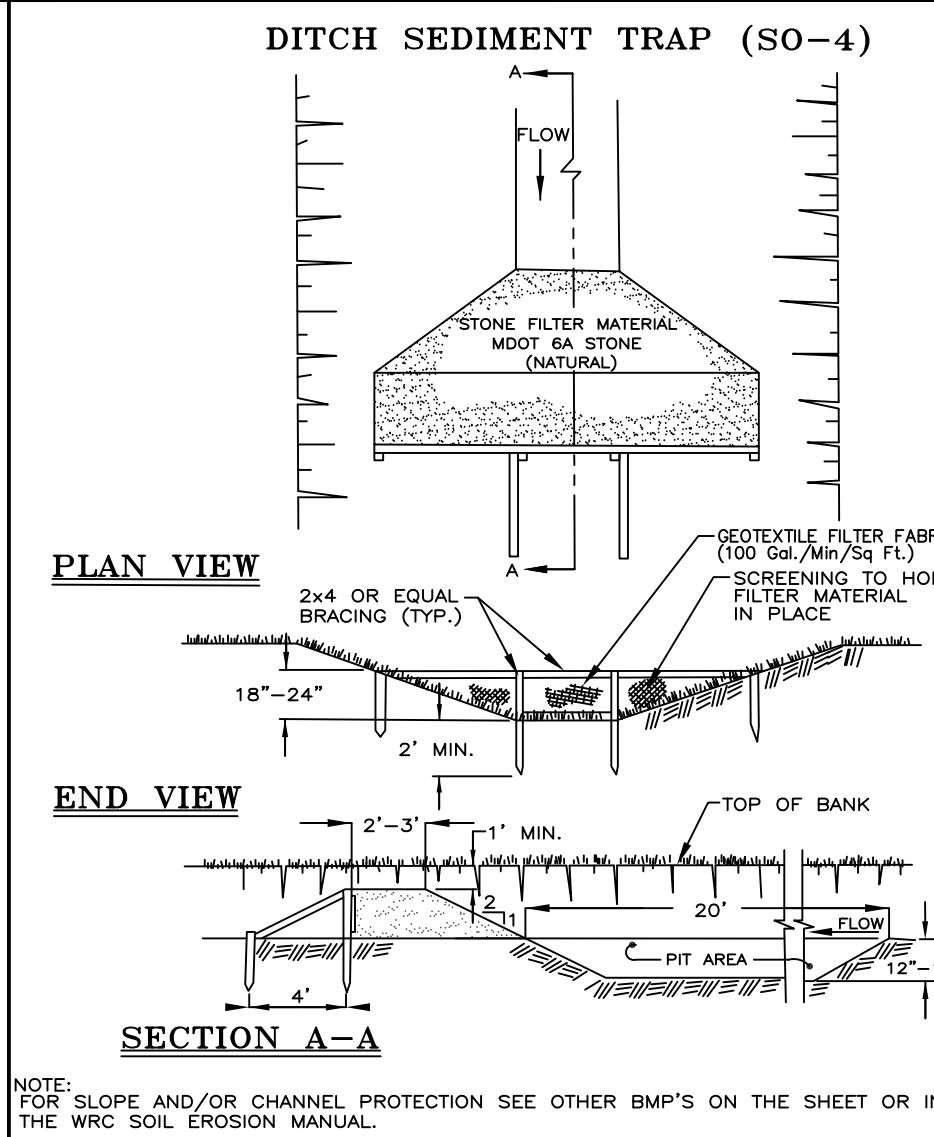
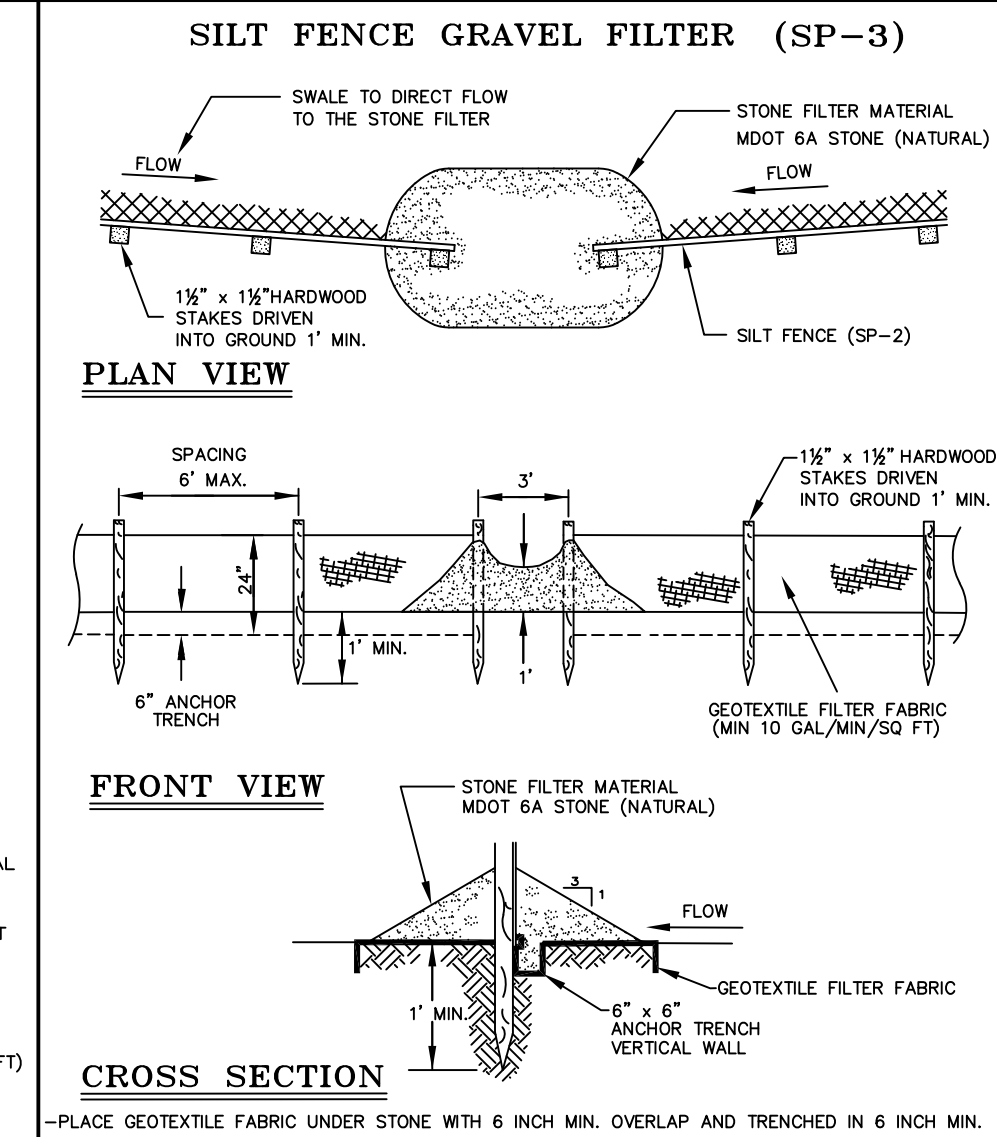
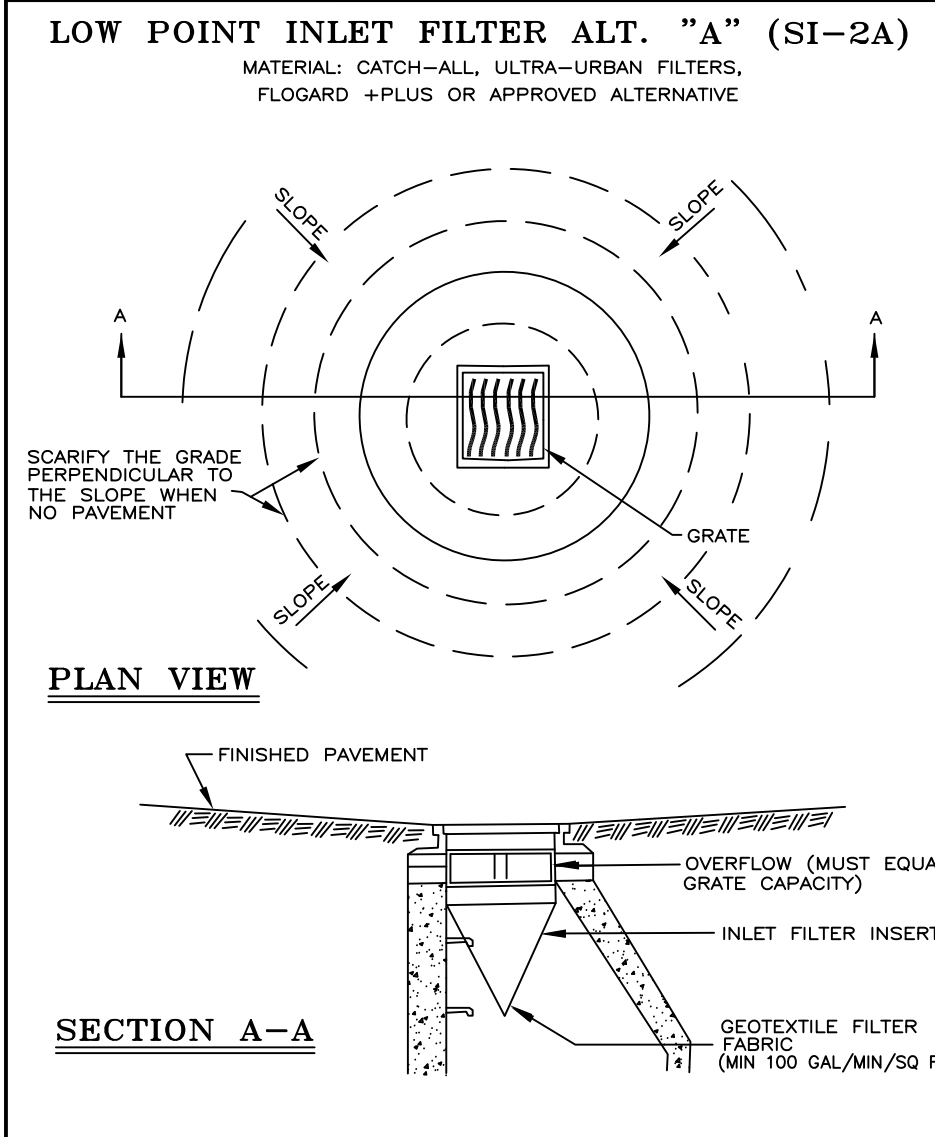
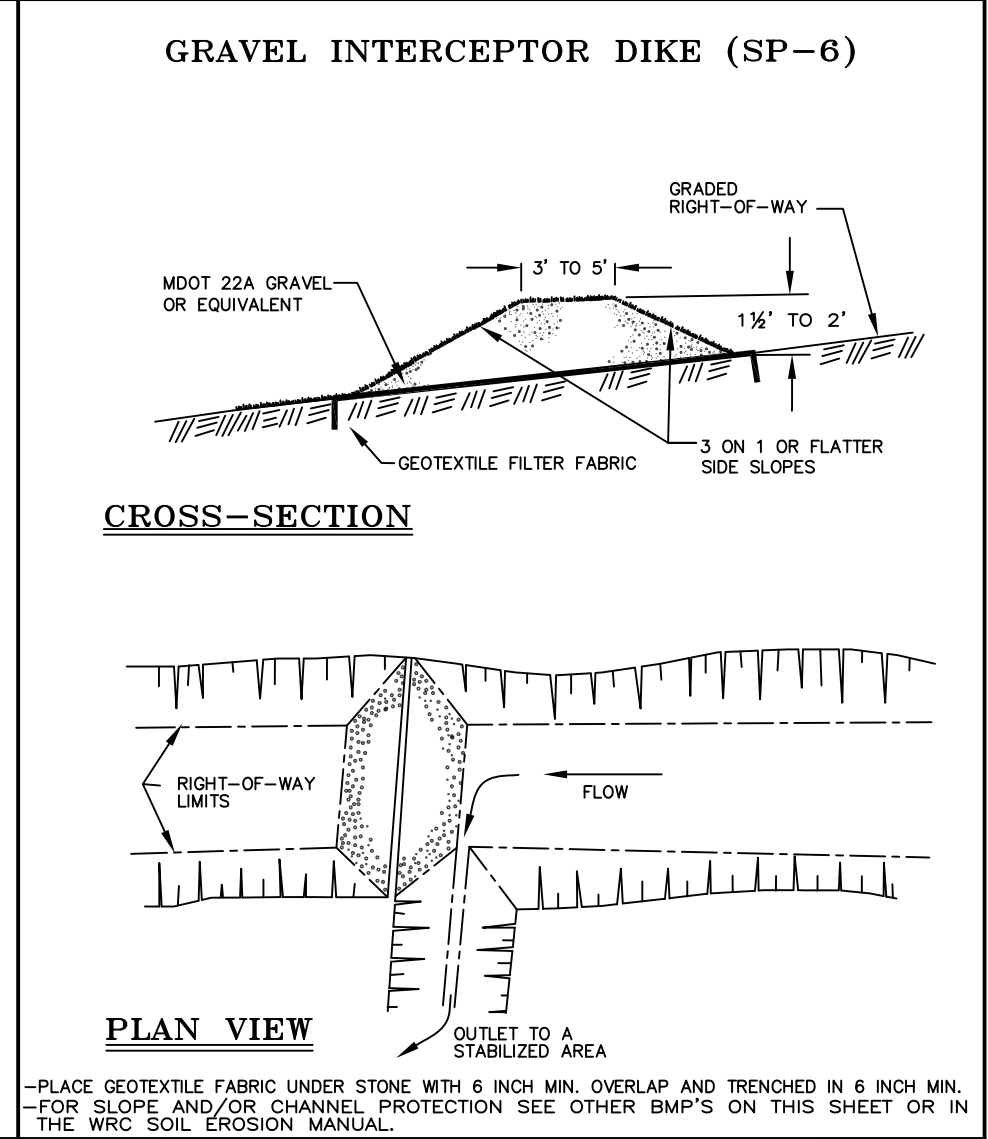
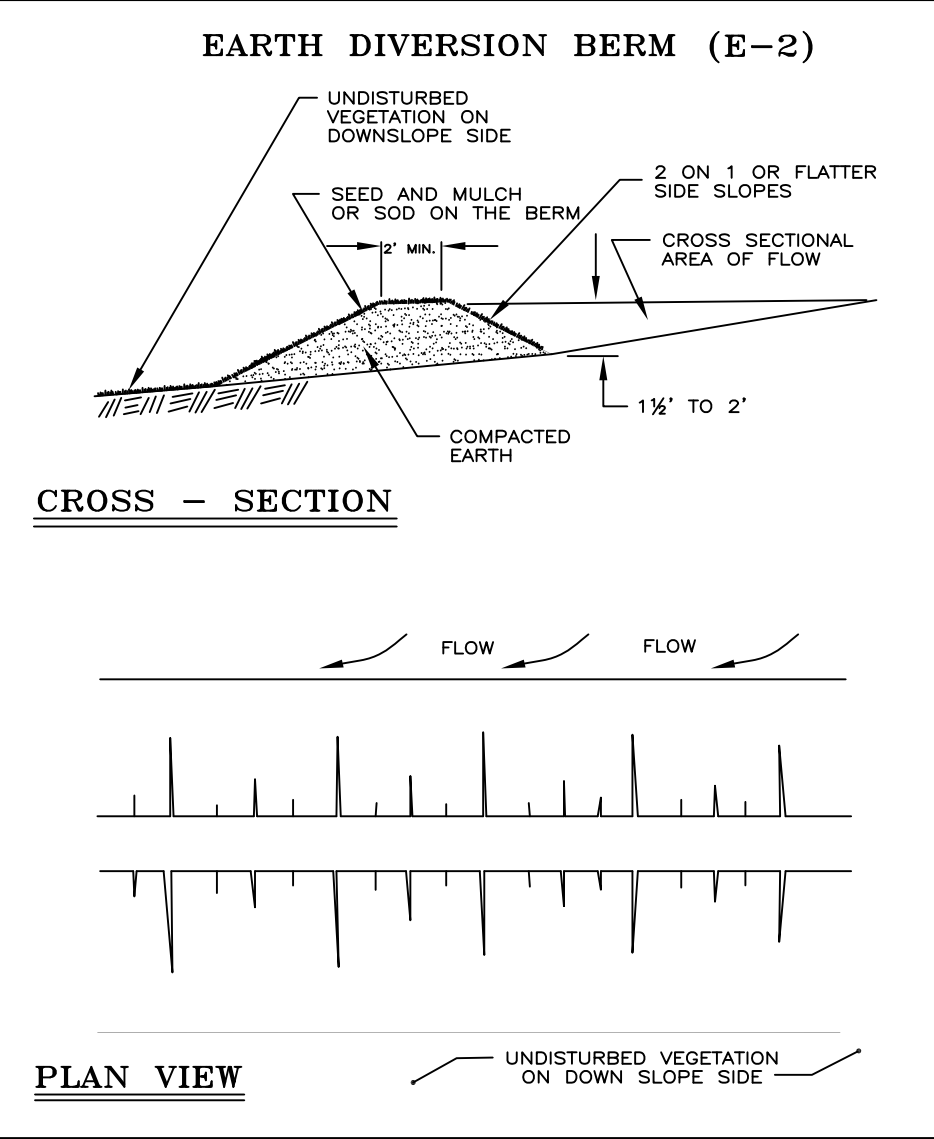
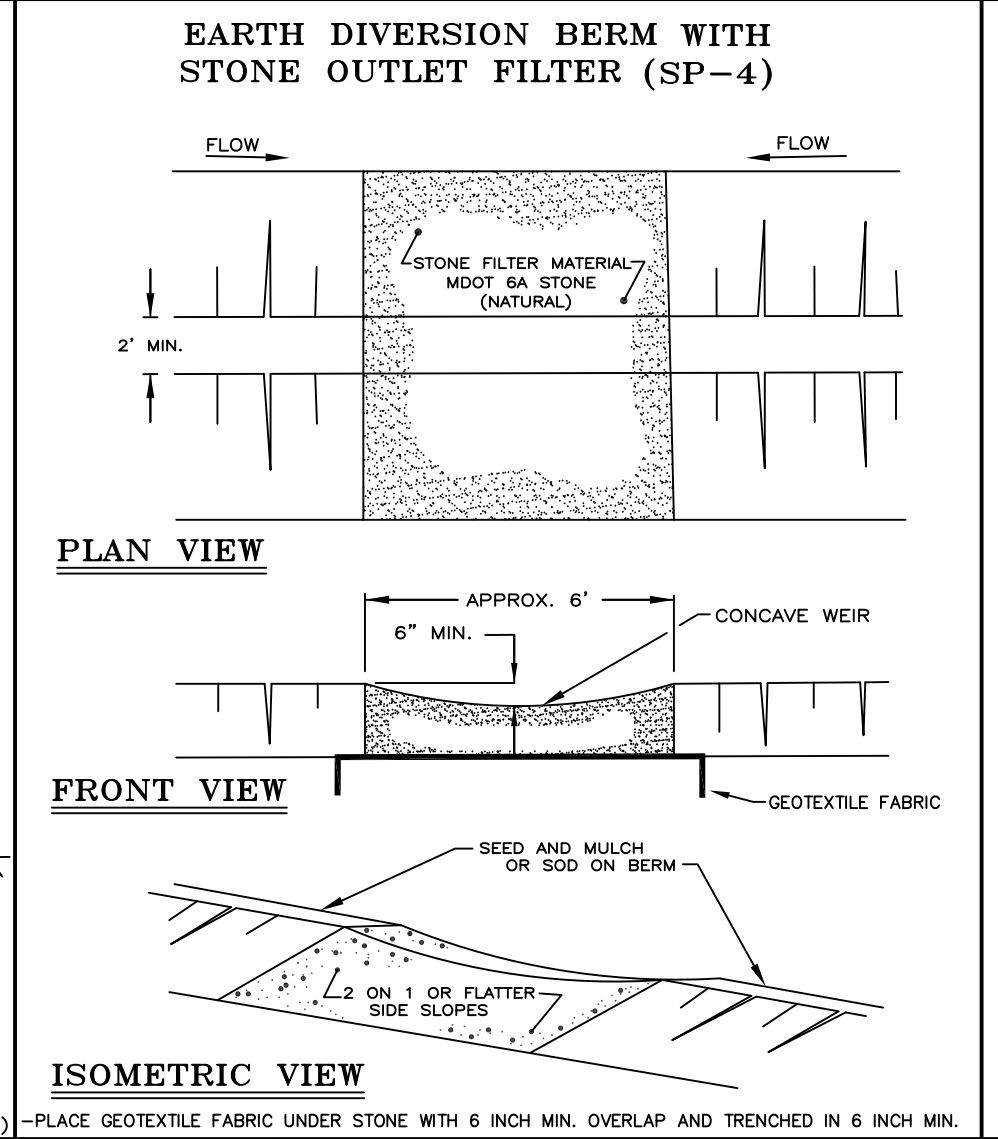
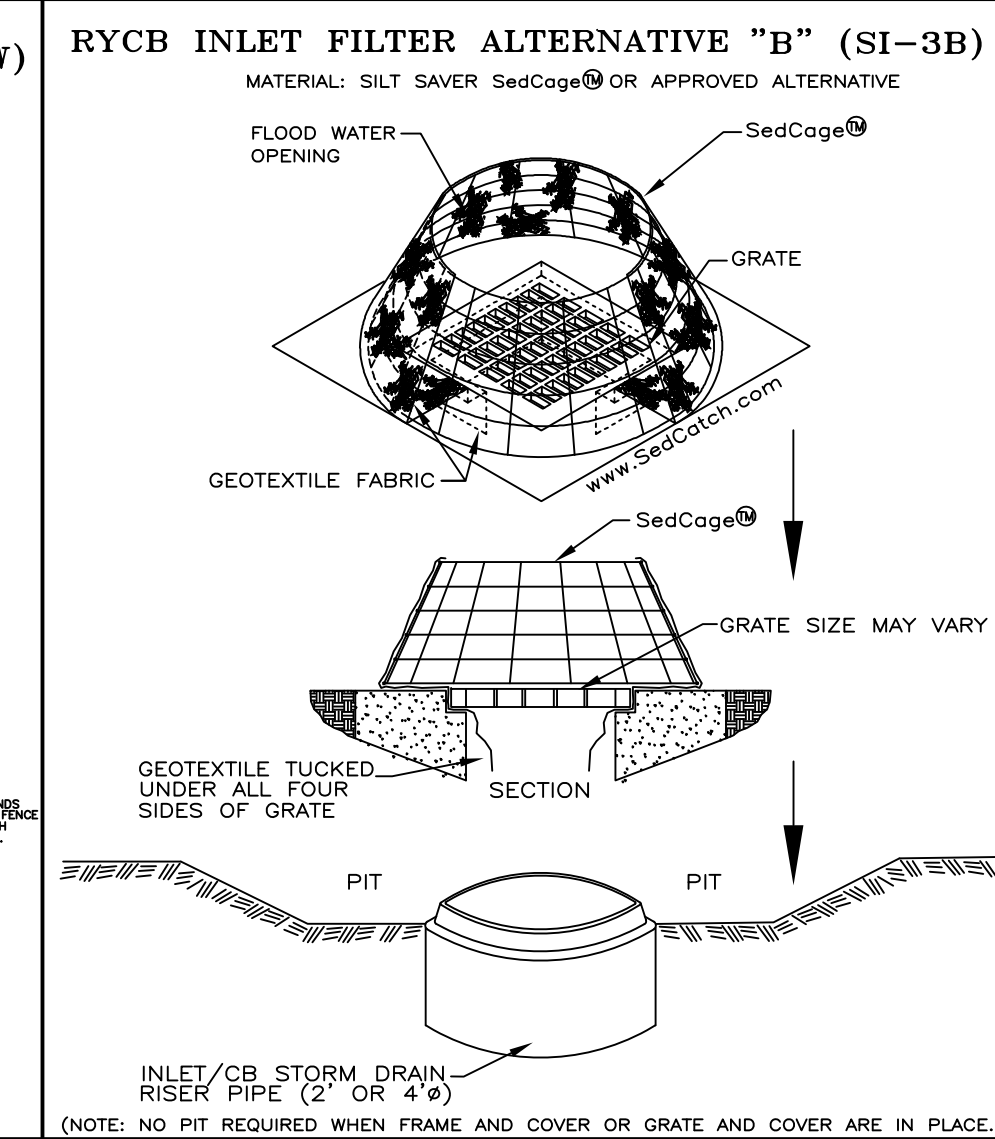
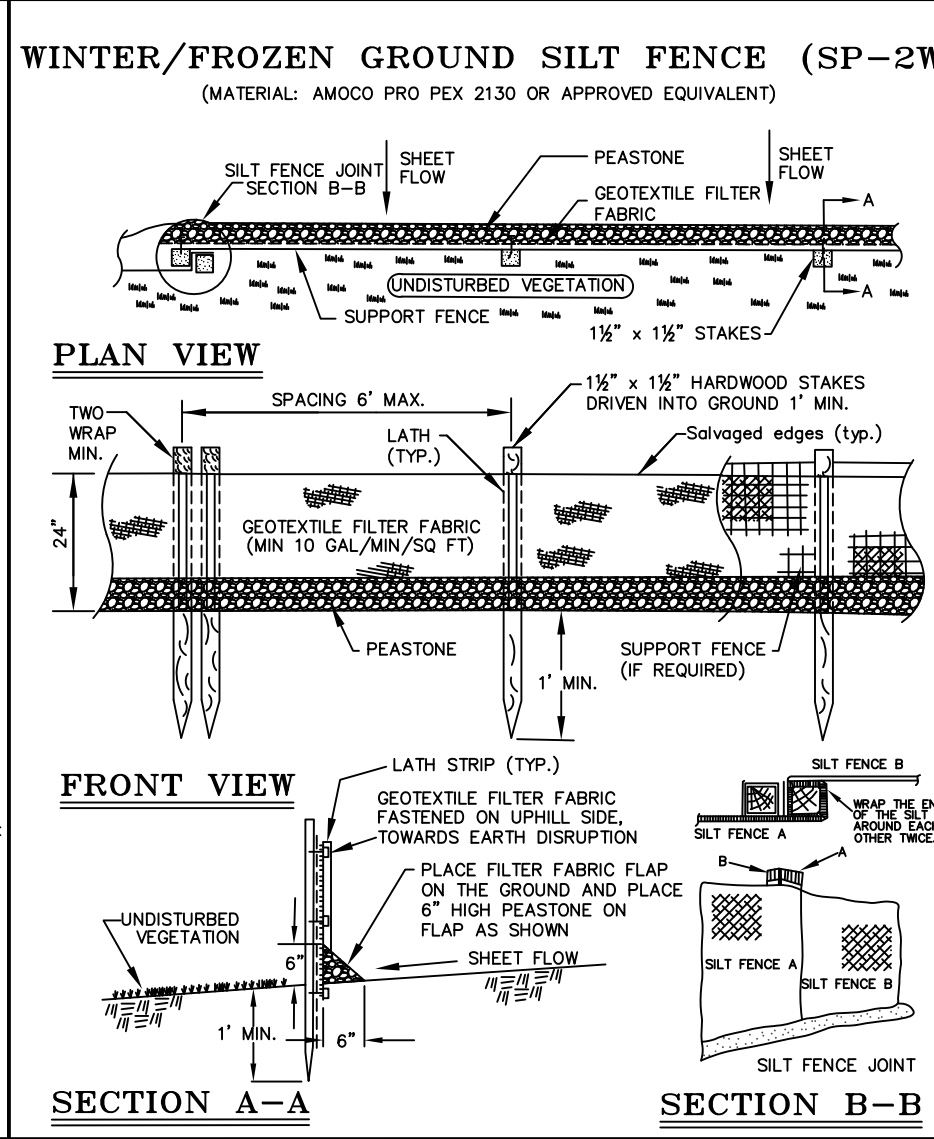
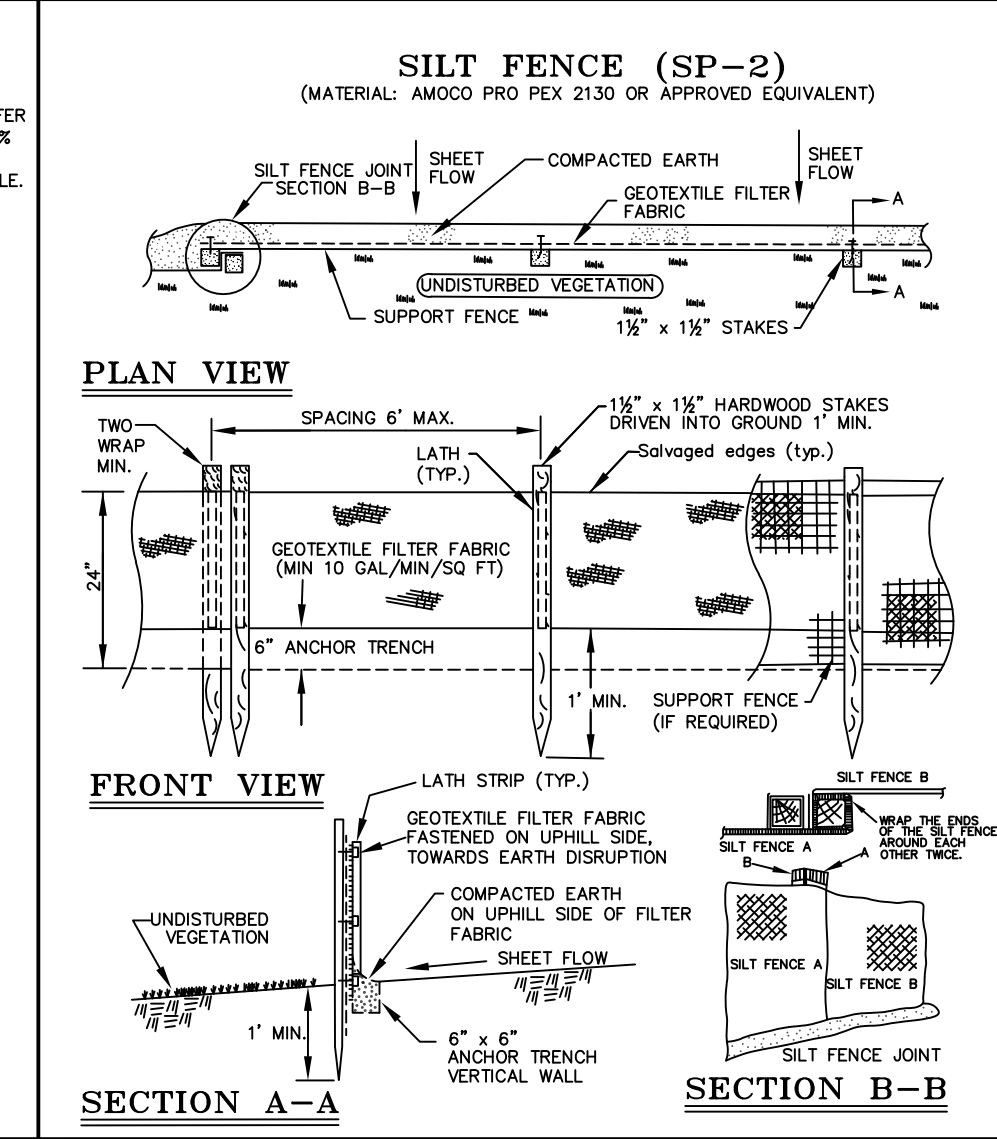
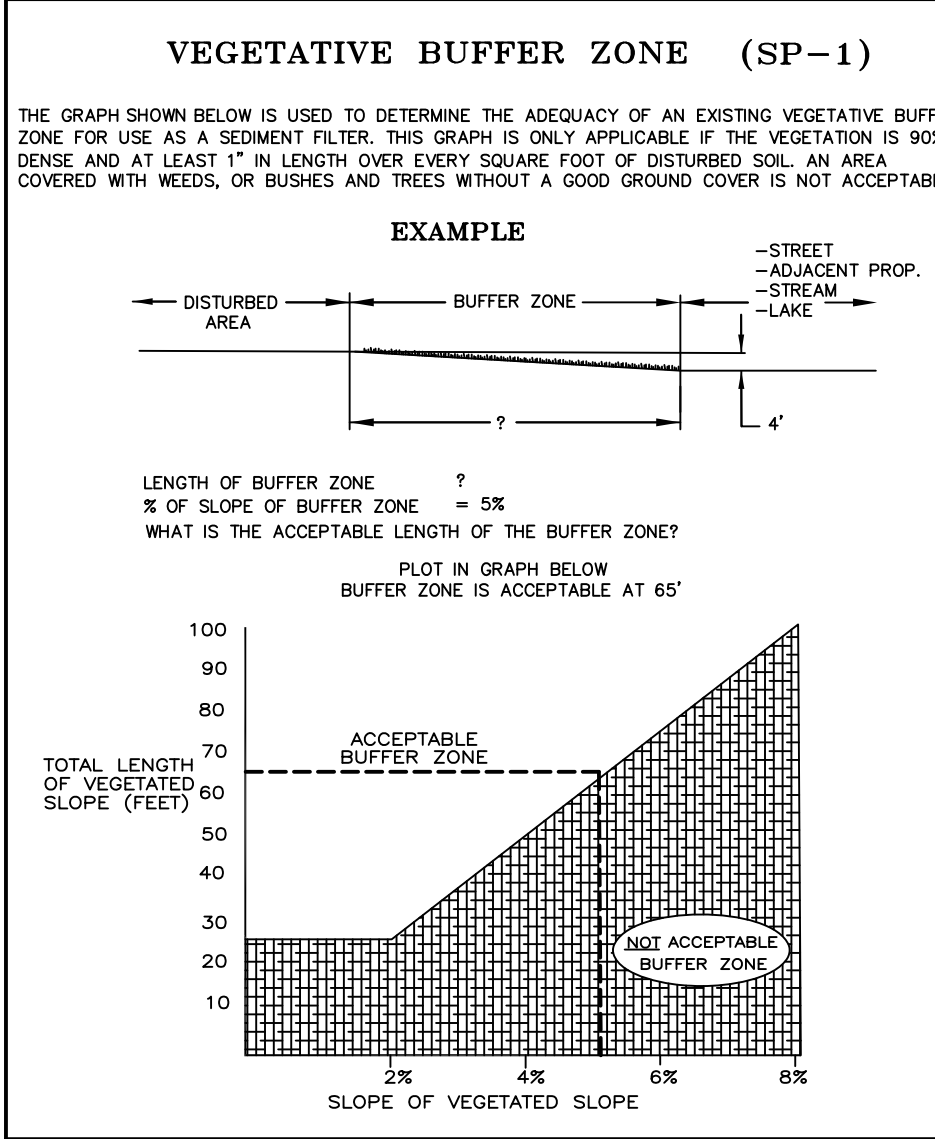
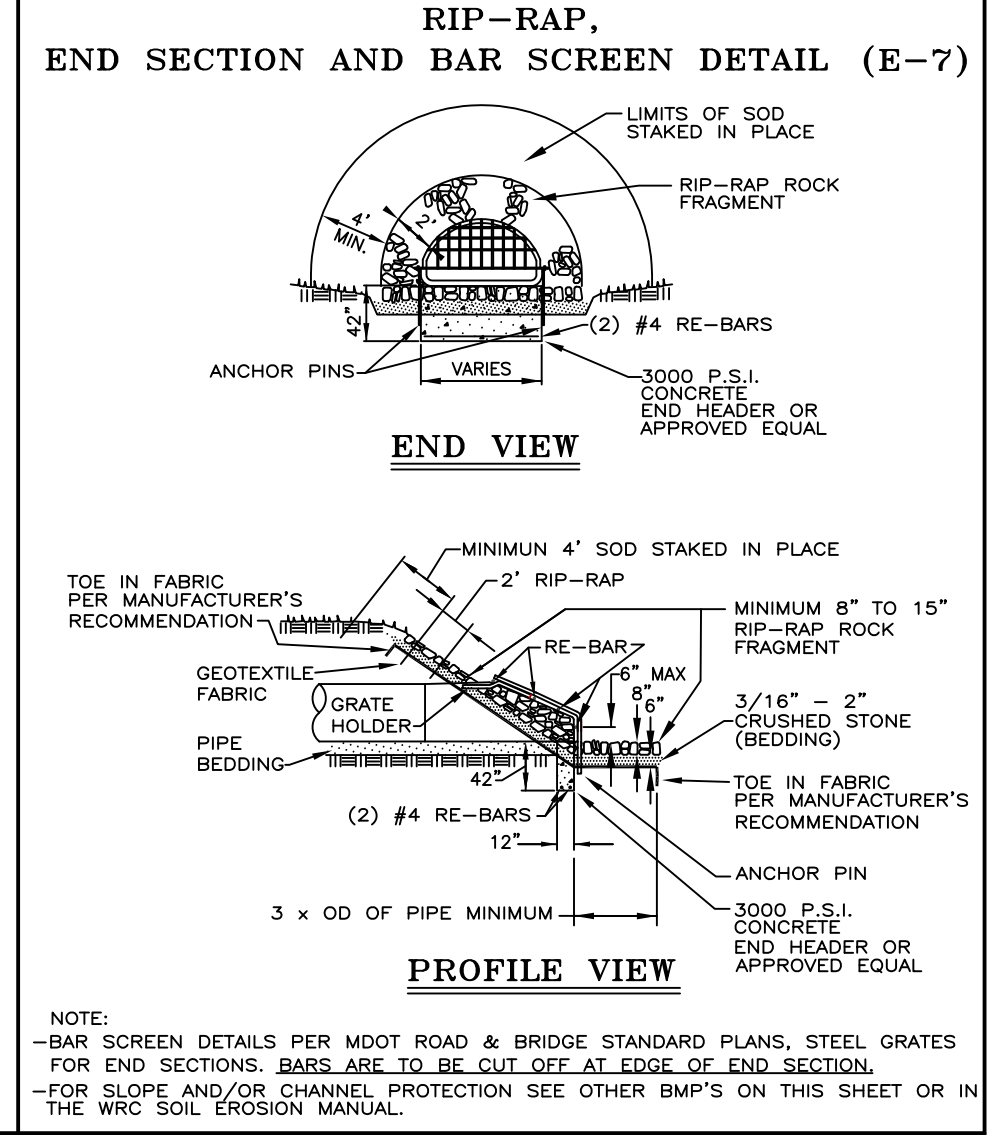
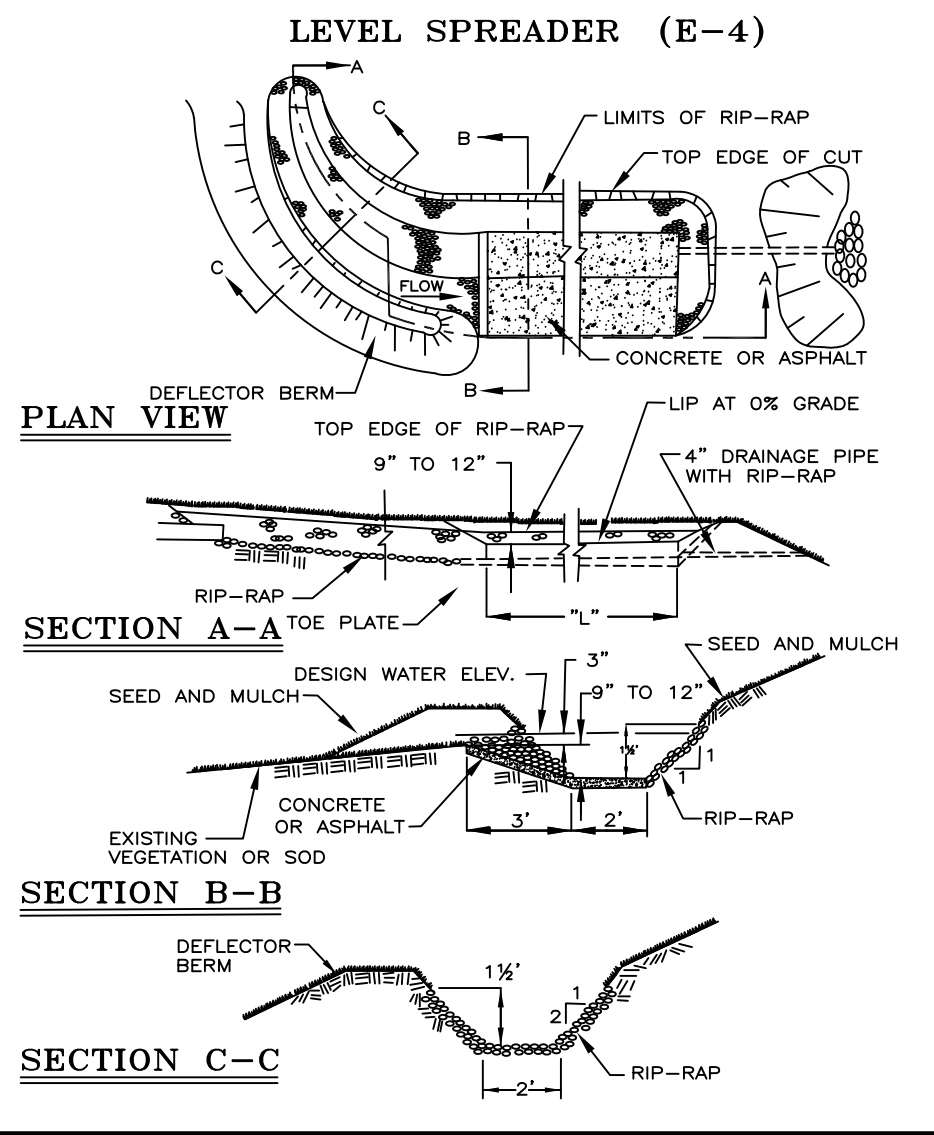
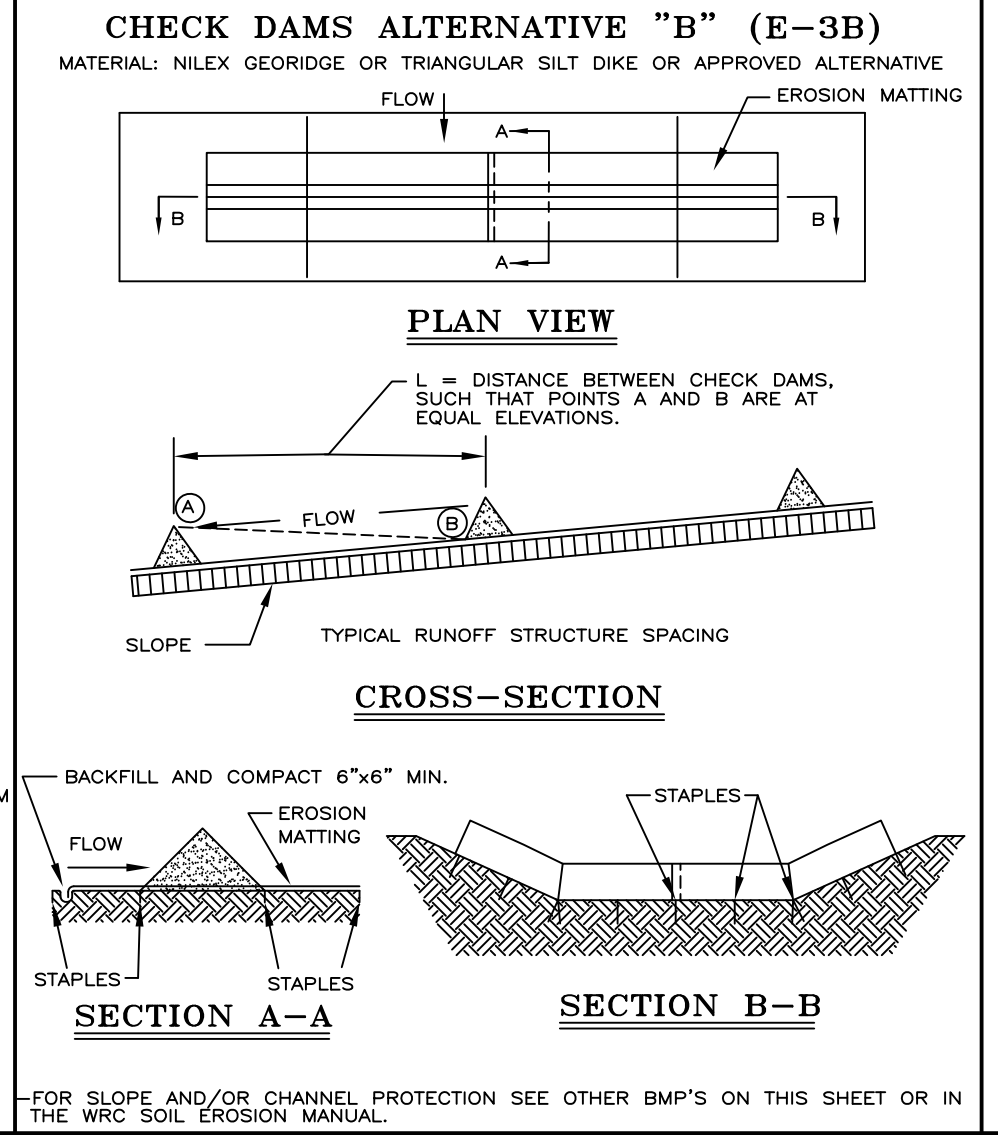
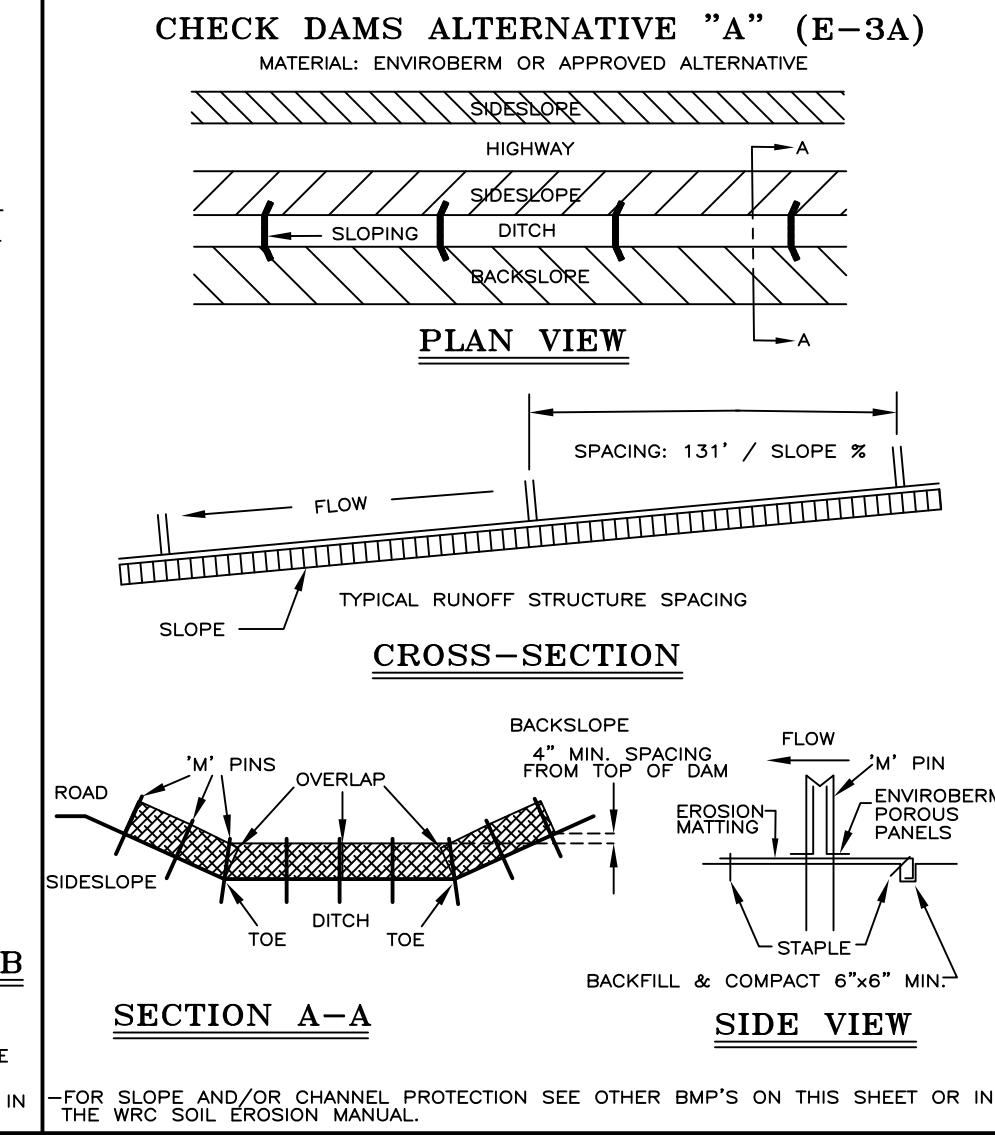
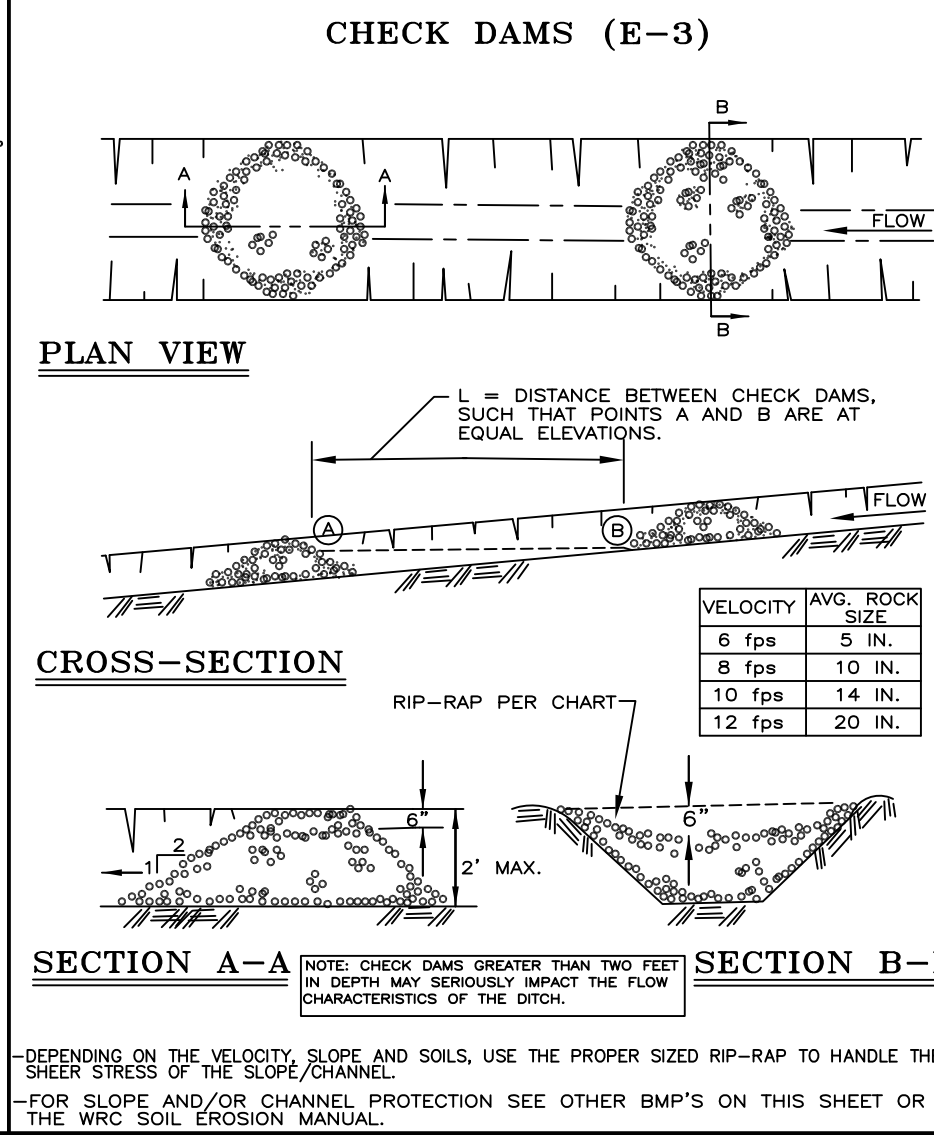
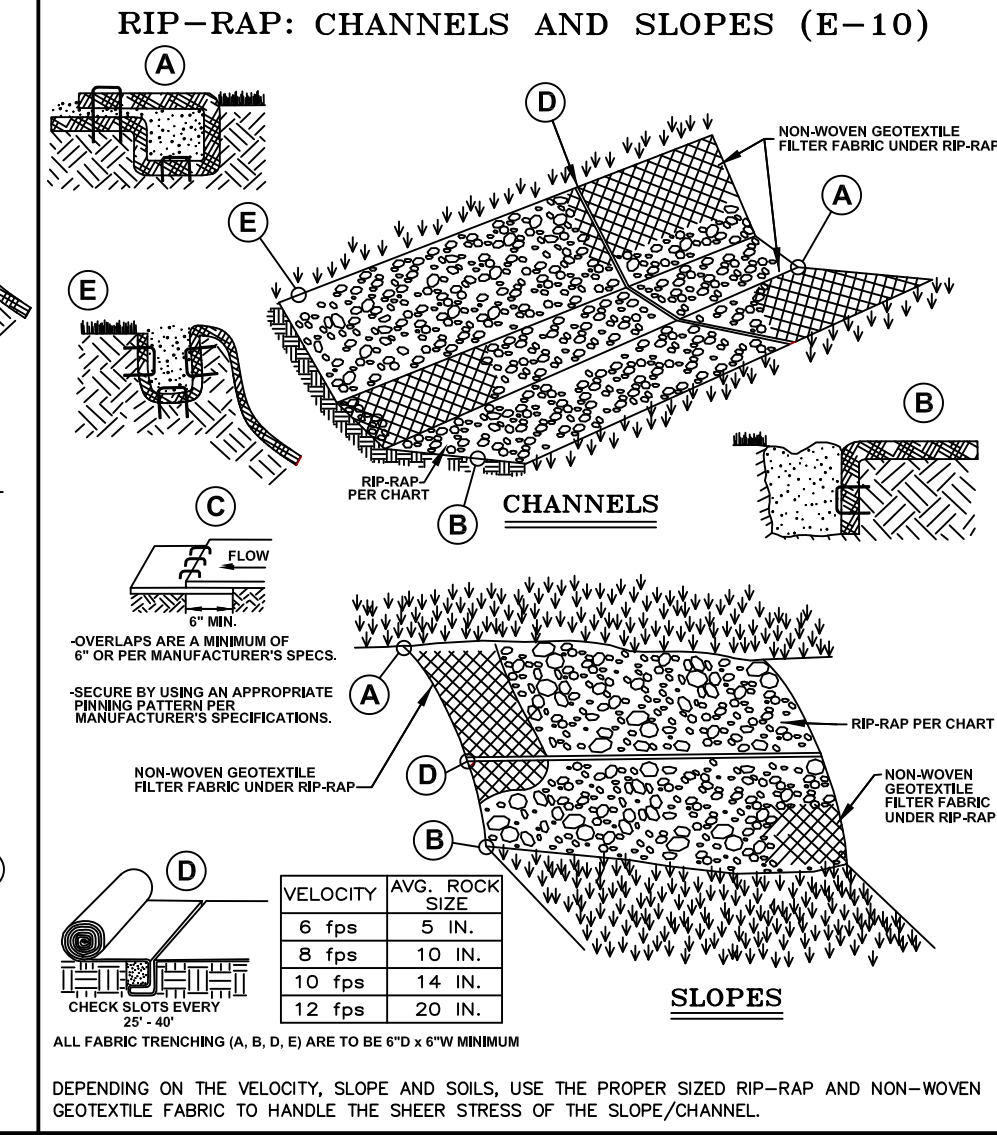
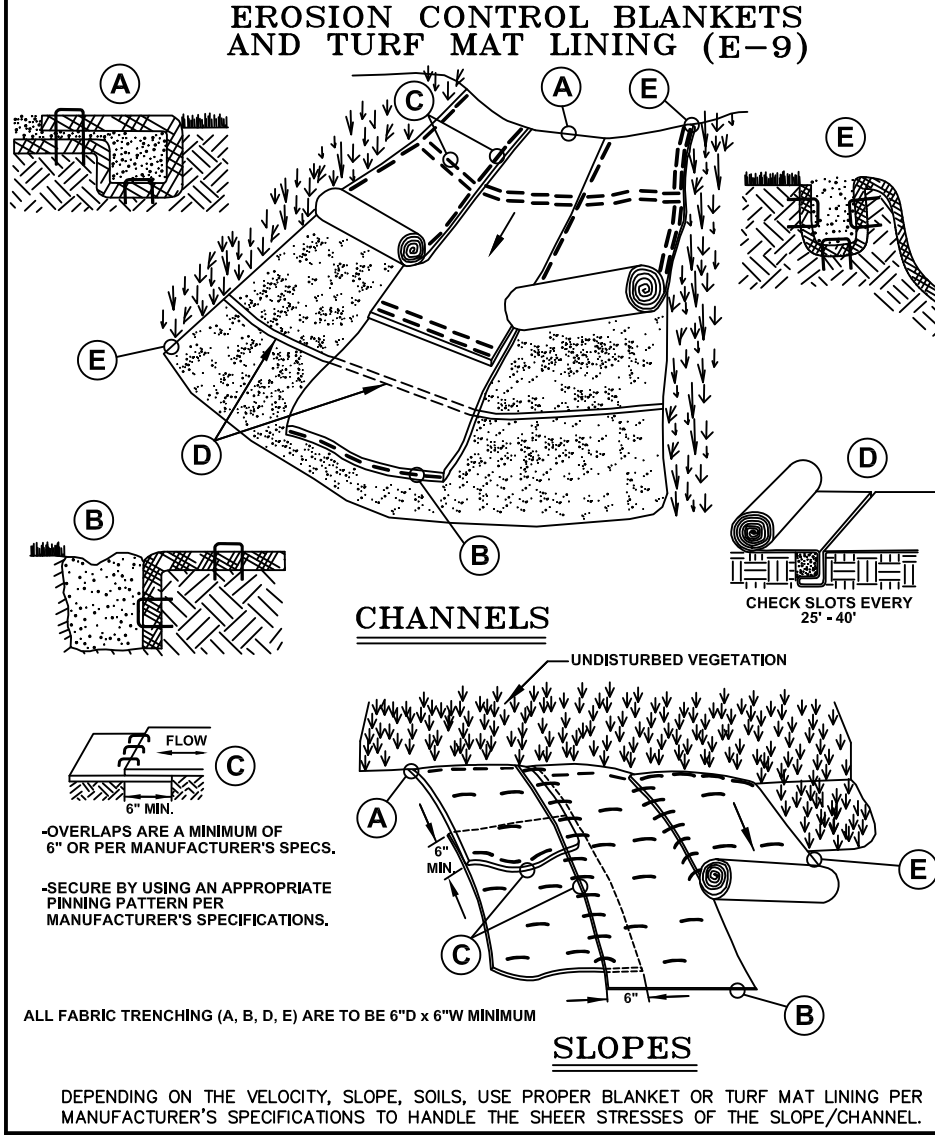
8" SDR 11 OUTLETS

HIGH-DENSITY POLYETHYLENE (HDPE) WATER MAIN NOTES

- HDPE pipe shall be manufactured from high density PE 3408 polyethylene resin and shall have a standard dimension ratio (SDR) of 11 or less and a minimum working pressure rating pipe of 160 psi. The SDR is the outside diameter of the pipe divided by the minimum wall thickness.
- HDPE pipe, appurtenances, and installation methods shall conform to the most current edition of AWWA standard C906.
- All HDPE materials must be listed and approved for use under ANSI/NSF Standard 14.
- All pipes shall be made of virgin material as defined in ASTM D3350 with an established hydrostatic design basis of 160 psi for water at 73.4°F. No rework except that obtained from the manufacturer's own production of the same formulation shall be used. The pipe shall be homogeneous throughout and shall be free of visible cracks, holes, foreign materials, blisters, or other deleterious faults.
- A certificate of "Compliance with Specification" shall be furnished for all materials supplied.
- The physical appearance of the pipe having deformities such as concentrated ridges, discoloration, excessive spot roughness, pitting, varying wall thickness, etc., shall constitute sufficient basis for rejection. Pipe with gashes, nicks, abrasions or any physical damage that occurred during storage and/or handling which are wider or deeper than 10% of the wall thickness, shall not be used and must be removed from the construction site. Any pipe that has been damaged or does not meet the City's approval shall be replaced at the Contractor's expense.
- Mechanical fittings used with HDPE pipe shall be specifically designed for, or tested and found to be acceptable for use with HDPE by the fitting manufacturer. Mechanical fittings designed for other materials shall not be used.
- Tracing wire shall be provided per the City's specifications and details for all water mains. Wire shall be copper, 12 gage stranded, blue insulated per City's requirements and shall be brought through each gate well and connected to the top step. In addition, an approved continuous tracing tape shall be placed one foot above the HDPE pipe. Underground marking tape shall be Magnotech, 3' wide, foil-backed tape, #31-022 by Empire Level Manufacturing Corp., or approved equal.
- Pipe and fittings must be marked as prescribed by AWWA C906 and NSF. Pipe markings will include nominal size, OD base, dimension ratio, pressure class, working pressure rating, AWWA C906, manufacturer's name, manufacturer's production code including day, month, year extruded, and manufacturer's plant and extrusion line; and optional NSF logo. Permanent identification of piping service shall be provided by co-extruding longitudinal blue stripes into the outside of the pipe (stripes printed on the outside surface of the pipe shall not be acceptable) or the pipe material shall be black with a blue shell.
- Personnel trained in the use of butt-fusion equipment shall perform the joining of polyethylene pipe by methods recommended for new pipe connections. Personnel directly involved with installing the new pipe shall receive training in the proper methods for handling and installing the HDPE pipe by a qualified representative.
- The mechanical joint end must meet outside diameter requirements for connection to ANSI/AWWA C111/A21 and ANSI/AWWA C153/A21.53 mechanical joints. The adapter through-bore inside diameter is equal to SDR11 DIPS HDPE pipe. Butt-fusion ends must meet AWWA C906 DIPS requirements for butt fusion to SDR11.
- Bolts, nuts, gaskets, and glands meeting ANSI/AWWA C111/A21.11 and ANSI/AWWA C153/A21.53 are recommended. Install mechanical joint components in accordance with manufacturer's recommendations.
- Connections to HDPE pipe shall not be made immediately after the pipe has been installed. The fused pipe should be laid in the trench and be allowed to reach an equilibrium temperature overnight (24-hour period) in its surrounding environment.
- The HDPE pipe must be properly aligned at all transitions to conventional or HDPE water main and appurtenances.
- Under no circumstances shall HDPE pipe be pressure tested when the temperature of the pipe is above 80°F.
- The polyethylene pipe shall be pressure tested after the line and all fittings and valves have been installed. Connections may be left exposed for visual leak inspection.
- The newly installed polyethylene water main will be disinfected and samples checked for complete disinfection by the City of Auburn Hills DPW. The number of samples and sampling points will be determined by the city.
- Water service saddles on HDPE water main shall be "VA" Electrofusion Service Saddles by Friatec, Inc. or approved equal.

ADDITIONAL NOTES FOR WATER MAIN PIPE BURSTING PROJECTS

- The method approved for rehabilitation of existing water mains by pipe bursting and installation of new HDPE pipe is T.I. Technologies GRUNDOCRACK SYSTEMS, 800-533-2078) or approved equal. All contractors must be licensed to use the particular technology proposed for this work.
- The pipe-bursting tool shall be designed and manufactured to force its way through existing pipe materials by fragmenting the pipe and compressing the old pipe sections into the surrounding soil as it progresses. The bursting unit shall be pneumatic and shall generate enough force to burst and compact the existing pipeline.
- The Manufacturer's specifications shall dictate what size tool should be used in what diameter pipe, as well as parameters of what size tool for percentage of upsized allowed.
- Prior to construction, the Contractor shall develop a temporary water system to supply water services to area residents and businesses during pipe bursting operations. It is anticipated that the temporary system will be fed from existing fire hydrants. The temporary system and hydrants shall have passed bacteriological testing by the City of Auburn Hills DPW.
- All service connections on the existing water main that is to be burst or will be taken out of service, shall be connected to the temporary water system prior to mainline bursting, disinfection, testing and service reconnection operations. Temporary service connections shall be made at the water service stop box by disconnecting the existing water service and connecting the temporary water line to the stop box.



BID FORM for
Primary Street Parking Lot
City of Auburn Hills, Oakland County, State of Michigan
OHM Job Number: 0120-26-1080

Item	Description	Estimated Quantity	Unit Price	Amount
1	Mobilization, Max	1 LSUM	\$ 30,000.00	\$ 30,000.00
2	Audio Video Route Survey	1 LSUM	\$ 2,500.00	\$ 2,500.00
3	Light Pole, Remove, Salvage, and Replace	4 Ea	\$ 1,215.00	\$ 4,860.00
4	Dr Structure, Rem	2 Ea	\$ 680.00	\$ 1,360.00
5	Sewer, Rem, Less than 24 inch	200 Ft	\$ 56.00	\$ 11,200.00
6	Curb and Gutter, Rem	410 Ft	\$ 26.00	\$ 10,660.00
7	Pavt, Rem	1482 Syd	\$ 16.00	\$ 23,712.00
8	Sidewalk, Rem	67 Syd	\$ 21.00	\$ 1,407.00
9	Excavation, Earth	550 Cyd	\$ 50.00	\$ 27,500.00
10	Soil Erosion and Sedimentation Control	1 LSUM	\$ 4,500.00	\$ 4,500.00
11	Project Cleanup	1 LSUM	\$ 5,000.00	\$ 5,000.00
12	Aggregate Base, 4 inch, Modified	389 Syd	\$ 33.00	\$ 12,837.00
13	Aggregate Base, 8 inch, Modified	2798 Syd	\$ 33.00	\$ 92,334.00
14	Sewer, CI IV, 12 inch, Tr Det B	103 Ft	\$ 125.00	\$ 12,875.00
15	Dr Structure Cover, Type B	3 Ea	\$ 1,390.00	\$ 4,170.00
16	Dr Structure Cover, Type C	1 Ea	\$ 1,755.00	\$ 1,755.00
17	Dr Structure Cover, Type D	2 Ea	\$ 1,575.00	\$ 3,150.00
18	Dr Structure, 48 inch dia	5 Ea	\$ 3,870.00	\$ 19,350.00
19	San Structure Cover, Adj	1 Ea	\$ 1,740.00	\$ 1,740.00
20	Stm Structure Cover, Adj	3 Ea	\$ 1,460.00	\$ 4,380.00
21	Water Structure Cover, Adj	2 Ea	\$ 1,440.00	\$ 2,880.00
22	HMA, 3EML	389 Ton	\$ 156.00	\$ 60,684.00
23	HMA, 5EML	259 Ton	\$ 156.00	\$ 40,404.00
24	Conc Pavt, Nonreinf, 8 inch	444 Syd	\$ 91.00	\$ 40,404.00
25	Curb and Gutter, Conc, Det D2	24 Ft	\$ 41.00	\$ 984.00
26	Curb and Gutter, Conc, Det F2	830 Ft	\$ 34.00	\$ 28,220.00
27	Driveway Opening, Conc, Det M	150 Ft	\$ 35.00	\$ 5,250.00
28	Detectable Warning Surface	60 Ft	\$ 105.00	\$ 6,300.00
29	Curb Ramp Opening, Conc	120 Ft	\$ 31.00	\$ 3,720.00
30	Sidewalk, Conc, 4 inch	3500 Sft	\$ 7.00	\$ 24,500.00
31	Minor Traf Devices	1 LSUM	\$ 6,500.00	\$ 6,500.00
32	Traf Regulator Control	1 LSUM	\$ 6,500.00	\$ 6,500.00
33	Signage and Pavement Markings	1 LSUM	\$ 9,500.00	\$ 9,500.00
34	Landscaping and Irrigation (Budget)	1 LSUM	\$ 10,000.00	\$ 10,000.00
35	Connection to Existing Water Main	1 Ea	\$	\$

BID FORM for
Primary Street Parking Lot
City of Auburn Hills, Oakland County, State of Michigan
OHM Job Number: 0120-26-1080

Item	Description	Estimated Quantity	Unit	Price	Amount
36	Fire Hydrant, AH	1 Ea	\$		\$
37	Contractor Staking	1 LSUM	\$	5,000.00	\$ 5,000.00
38	Light Pole	2 Ea	\$	880.00	\$ 1,760.00
39	26'x26' - 18"x42" footing - 10"x7' walls - Slab - Bollards & rail	1 LSUM	\$	75,000.00	\$ 75,000.00
40	Crew Days	Days	\$	860.00	\$
41	Conduit, DB, 1, 1 1/4 inch	400 Ft	\$	27.00	\$ 10,800.00
42	Conduit, DB, 1, 2 1/2 inch	100 Ft	\$	29.00	\$ 2,900.00
43	Relocate Panel to Compactor Enclosure Wall	1 LSUM	\$	3,590.00	\$ 3,590.00
44	Light Pole Foundation	6 Ea	\$	3,060.00	\$ 18,360.00
45	Cable, Light Poles, #8, 2 + bare ground	450 Ft	\$	14.00	\$ 6,300.00
46	Cable, Service Relocate, 1/0, 3 + bare ground	100 Ft	\$	30.00	\$ 3,000.00
47	Sch 40 PVC, 3 inch, Irrigation Sleeve	250 Ft	\$	31.00	\$ 7,750.00
48	Concrete Stairs & Powder Coated Steel Handrail	1 LSUM	\$	15,200.00	\$ 15,200.00
49	Trash Compactor Enclosure & Gate TBD				

Total Bid Amount (ITEMS 1-40 incl.):

\$ 670,796.00



August 31, 2026

Mr. Stephen Baldante
Director of Public Works
City of Auburn Hills
1500 Brown Road
Auburn Hills, Michigan 48326

RE: **Primary Street Parking Lot**
Scope of Construction Services

Dear Mr. Baldante:

Outlined below is a Scope of Work for construction services to be provided by OHM Advisors for the above referenced project.

PROJECT UNDERSTANDING

It is our understanding that the City plans to move forward with the construction phase of the Primary Street Parking Lot. The proposed project consists of reconstructing the existing parking lot located off Primary Street, including asphalt and concrete pavement replacement, curb and gutter replacement, storm sewer installation, sidewalk replacement, and landscaping. The project also includes installation of two (2) new trash compactors in an enclosure, along with related restoration and appurtenant work necessary to complete the improvements. This project is being funded by the Auburn Hills Tax Increment Finance Authority (TIFA). This work is being completed via change order to the existing Auburn Hills Riverwalk Pathway project.

SCOPE OF SERVICE

Construction Engineering / Observation

Under this task the project team will observe the construction efforts on the project and assist with any necessary field changes to successfully complete the work. Specific work efforts include:

- ▶ Provide daily observation of the project when construction work is occurring to verify that materials, installation, and construction methods used are in conformance with the project plans and specifications as well as applicable standards. Full-time observation will be provided for all pavement and utility construction.
- ▶ Produce daily field reports to document construction activities and record quantities of contract pay items.
- ▶ Prepare and provide the Contractor with a list of required submittals and review shop drawings, construction schedules, materials certifications, and other submittals.
- ▶ Address Contractor's construction concerns and resolve conflicts with the executed contract specifications.
- ▶ Arrange and attend regularly scheduled progress meetings during the construction phase. It is anticipated that meetings will be held biweekly during the active construction period.
- ▶ Coordinate with the materials testing consultant on material related items.
- ▶ Coordinate with the City, property owners and other stakeholders in the construction area regarding access, traffic staging, schedule, and other pertinent items for the duration of the project.



- Prepare and deliver record (As-Built) plans that include the constructed location of all installed underground utilities. Record plans will be delivered electronically in PDF format.

Contract Administration

Under this task, the project team will complete services necessary to administer the contract. Specific work efforts include:

- Prepare change order to include proposed work items and assist the City in execution of documents.
- Review Contractor's progress on the project to ensure that the work is in compliance with the proposed schedule.
- Prepare monthly construction pay estimates and process contract change orders (if required).
- Request and review information from the Contractor to verify compliance with wage rates, Buy America, and other funding requirements.
- Review construction claims and coordinate claim resolution with Contractor and City.
- Request and collect Contractor's declaration, contractor's affidavit, waivers from major suppliers and subcontractors, release of surety, and release from other public agencies for which permits have been obtained under this contract.

Crew Days (Construction Observation)

This project contract includes a line item for Crew Days in Contractor's bid. This item is for construction observation required for the Contractor's operations. OHM will provide daily observation of work under this Crew Day item. Full-time inspection will be provided for all construction operations as indicated in the contract specifications for Crew Days. The Contractor has included the Crew Day amount in their bid based on their anticipated schedule for the project.

SCHEDULE

Based on the Tax Increment Finance Authority (TIFA) meeting schedule, we anticipate that the project award would be approved at the September 8th TIFA meeting. Construction on the project is anticipated to begin in September if construction materials can be procured by then and weather permits. The project is expected to be completed by December of 2026.

COMPENSATION

The construction engineering and contract administration outlined above will be performed on an hourly basis for the not-to-exceed amount of thirty-eight thousand four hundred dollars (\$38,400.00). The construction observation as Crew Days will be performed on a per day basis for the amount of thirty-four thousand four hundred dollars (\$34,400.00), which is based on the amount bid by the Contractor for this item. The City will be invoiced for services on a monthly basis. The estimated budget breakdown is as follows:

	Construction Engineering	Contract Administration	Crew Days (Observation)	Total
Primary Street Parking Lot	\$19,900	\$18,500	\$34,400	\$72,800
Materials Testing Services (G2)			\$13,500	



FURTHER CLARIFICATIONS AND ASSUMPTIONS

The above-listed scope of services was prepared with the following assumptions:

- Materials testing services will be provided by G2 Consulting Group under a separate contract and are not included in this scope of services. The estimated amount for this service is indicated above.
- The City will be responsible for all permit fees.

Should you find this agreement acceptable, please execute both copies and return one copy to us for our files. We look forward to providing professional services on this project. If you have any questions, please contact us.

Sincerely,

OHM ADVISORS

Hannah Driesenga

Hannah Driesenga, P.E.
Client Representative

cc: Jason Hefner, Manager of Fleet & Roads
Jason Deman, Manager of Public Utilities
Tim Juidici, OHM
Jim Pontek, OHM
File

**City of Auburn Hills
Primary Street Parking Lot
Construction Services**

Accepted By: _____

Printed Name: _____

Title: _____

Date: _____



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director

DATE: September 2, 2026

SUBJECT: Transfer to General Fund – Budget Amendment

INTRODUCTION AND HISTORY

In 2025, the TIFA Board of Directors budgeted \$3,000,000 to support the project to extend the existing downtown parking structure. Since that time, that city has pivoted to an alternative plan to address downtown parking concerns. Instead, the city is currently working on constructing multiple surface parking lots on the west and east sides of the downtown to service the district. The new, alternative downtown parking plan will yield many more parking spaces at a fraction of the cost compared to the original parking structure extension project.

While work has already begun to construct those surface lots on the west and east sides of downtown Auburn Hills, most of that work will occur in 2027. As it stands today, TIF-A has budgeted \$3,000,000 that will ultimately support those parking lots in 2026. That amount will not get spent this year as the projects are further away from completion.

This memo will create a budget amendment to decrease appropriations within the 2026 TIF-A budget in the amount of \$2,500,000.

STAFF RECOMMENDATION

Staff recommend creating a budget amendment, decreasing appropriations within the 2026 TIF-A budget in account number 251-735-995.101-PKSTRUC_3381 in the amount of \$2,500,000

An appropriate motion is:

Move to authorize a budget amendment, decreasing appropriations within the 2026 TIF-A budget.



TO: Chairman Kneffel and Members of the TIFA Board of Directors

FROM: Andrew Hagge, Assistant to the City Manager, TIFA Executive Director

DATE: September 3, 2026

SUBJECT: Closed Session

INTRODUCTION AND HISTORY

No Electronic Information Available

An appropriate motion is:

Move to meet in closed session to discuss property acquisition pursuant to MCL 15.268(1)(d) of the Open Meetings Act