

AGENDA



Planning Commission
Wednesday, September 10, 2025 ❖ 7:00 p.m.

LOCATION: Council Chamber
1827 N. Squirrel Road ❖ Auburn Hills, MI

PHONE: 248-364-6900 www.auburnhills.org
Meeting minutes are on file in the City Clerk's office.

1. **MEETING CALLED TO ORDER**
2. **ROLL CALL OF PLANNING COMMISSION**
3. **PERSONS WISHING TO BE HEARD** (regarding items not on the agenda)
4. **APPROVAL OF MINUTES** – August 6, 2025
5. **PETITIONERS**
 - 5a. **Municipal Campus Fuel Island**
Public Hearing / Motion - Recommendation to City Council for Site Plan and Tree Removal Permit approval to construct a new municipal fueling island
 - 5b. **Text Amendment to the Zoning Ordinance**
Public Hearing / Motion - Recommendation to City Council for approval of a text amendment to amend Article IX. B-2, General Business Districts of the Zoning Ordinance
6. **UNFINISHED BUSINESS** – None
7. **NEW BUSINESS**
8. **COMMUNICATIONS**
9. **NEXT SCHEDULED MEETING** – Wednesday, October 8, 2025 at 7:00 p.m. – Council Chamber
10. **ADJOURNMENT**

➤ **NOTE:** Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.

IMPORTANT NOTICE TO PETITIONERS

Items will be presented to the City Council on **Monday, September 22, 2025**. It will be necessary for you to have a representative present to answer any questions from the City Council. **CITY COUNCIL WILL NOT ACT ON YOUR ITEM IF YOU OR YOUR REPRESENTATIVE ARE NOT PRESENT.**



**CITY OF AUBURN HILLS
PLANNING COMMISSION
MINUTES
NOT YET APPROVED**

August 6, 2025

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 7:00 p.m.

ROLL CALL: Present: **Carolyn Shearer, Darlene MacMillan, Jack Ferguson, Cynthia Pavlich, Raymond Saelens, Sam Beidoun, Dominic Patrus, Greg Ouellette**

Absent: Dominick Tringali

Also Present: Director of Community Development Steve Cohen, Director of Recreation and Senior Services Karen Adcock, and Senior Services Program Coordinator Jacqueline Monroy

Guests: 7

LOCATION: Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

3. PERSONS WISHING TO BE HEARD

4. APPROVAL OF MINUTES – May 7, 2025

Moved by Beidoun to approve the minutes of May 7, 2025.

Second by Saelens.

VOTE: Yes: Shearer, MacMillan, Ferguson, Pavlich, Saelens, Beidoun, Patrus, Ouellette

No: None

Motion Carried (8-0)

Mr. Ouellette welcomed new Planning Commissioner Patrus to his first meeting.

5. PETITIONERS

5a. Brose Parking Lot Addition (7:01 p.m.)

Public Hearing/Motion – Recommendation to City Council for Site Plan and Tree Removal Permit approval to expand the parking at the facility.

This is a request from Brose North America to construct an additional 75 parking spaces at its North American headquarters facility located at 3933 Automation Avenue.

The new parking area will expand the facility's overall parking capacity to 420 spaces. In addition to landscaping, the applicant will install lighting and monitored security cameras in the new parking area for the safety of its employees. The facility's main parking lot will be restriped to add one additional barrier-free parking space, as required by the Zoning Ordinance.

The project requires 54 replacement trees. Only 24 replacement trees will be planted on the site because of limited space, as the site is heavily wooded. The financial equivalent of the remaining 30 trees will be paid into the City's Tree Fund before the start of tree removal from the site.

Kenneth Kappler, Brose North America, Inc., 3933 Automation Ave., Auburn Hills, MI 48326 and Mason Brown, Mason L. Brown & Associates, 2708 Bridle Road, Bloomfield, MI 48304 were available to answer any questions of the Commission.

The Commission asked about the following:

1. Does the applicant own the surrounding property;
2. Why the parking lot was not shifted to the south;
3. The number of employees at this location;
4. The type of business conducted by Brose;
5. The total number of employees;
6. The design and capacity of the retention pond;
7. Clean up of the retention pond.

Mr. Kappler stated that Brose owns the property all the way to I-75. The location of the parking lot was chosen to impact the fewest number of trees. Mr. Kappler stated that there will be approximately 400 employees at this location after their back-to-work initiative becomes effective. Brose is an automotive supplier and has thousands of employees in their North American locations, with 28,000-30,000 employees worldwide.

Mr. Brown explained that the original retention pond was designed with more capacity than necessary. For this reason, there will be no additional load on the existing retention pond. The retention pond will be cleaned up as needed. Mr. Cohen explained that OHM will monitor the clean-up that is required on all new renovation projects.

Mr. Ouellette opened the public hearing at 7:09 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 7:09 p.m.

**Moved by Beidoun to recommend to City Council approval of the Site Plan and Tree Removal Permit for Brose North America, Inc. subject to the conditions of the City's Administrative Review Team.
Second by Saelens.**

**VOTE: Yes: Saelens, MacMillan, Beidoun, Patrus, Pavlich, Shearer, Ferguson, Ouellette
No: None Motion Carried (8-0)**

6. UNFINISHED BUSINESS – None.

7. NEW BUSINESS

7a. Presentation by Karen Adcock and Jackie Monroy – Age-Friendly Auburn Hills Y2025-2030 Action Plan

Karen Adcock, Director of Recreation and Senior Services, and Jacqueline Monroy, Age-Friendly Planning Assistant/Senior Services Program Coordinator, provided an overview of the Y2025-2030 Age-Friendly Action Plan.

They highlighted the following action items that will be implemented by City departments, with assistance from partners such as Oakland University's HOP UP PT program and Rochester Christian University's nursing students:

Domain: Communication & Information

- Reorganize the Senior Support Services website to more effectively showcase the resources available to seniors in Auburn Hills.
- Better advertise the new resident packet to new Auburn Hills residents.
- Make the printed newsletter compliant with upcoming ADA laws.
- Create and circulate magnets with important City information.
- Include a director in the newsletter with information on what each department does. Use the directory for the main phone line to get residents to the right departments.

Domain: Social & Civic Participation

- Improve the promotion of all transportation options.
- Explore a partnership with higher education between students and older adults to earn college credits in exchange for chore services.
- Create a City citizens academy for Auburn Hills residents to meet and understand every department.
- Explore partnerships with a local school district for a senior swim program.
- Increase the number of nature programs.
- Redesign one of the current parks to be more inclusive of different abilities.

Domain: Public Safety & Emergency Preparedness

- Increase scam education for all ages.
- Explore an initiative to improve house identification.
- Provide emergency preparation classes for Auburn Hills residents.
- Provide personal safety and self-defense classes for all ages.
- Create a fillable, tear-out emergency plan worksheet in the newsletter that residents can complete with their households.

Moved by Patrus to adopt and recommend the adoption to the City Council of the Age-Friendly Auburn Hills Y2025-2030 Action Plan.

Second by Saelens.

VOTE: Yes: Pavlich, Shearer, Saelens, MacMillan, Beidoun, Patrus, Ferguson, Ouellette

No: None Motion Carried (8-0)

7b. Motion – Adopt the Y2024-2025 Auburn Hills Planning Commission Annual Report

The following are highlights from the Y2024-2025 Planning Commission Annual Report:

- The Commission held eight meetings and recommendations were made to the City Council on 16 development-related items.
- Notable projects included:
 - The Learning Experience;
 - Oakland Christian School – Parking Expansion;
 - Wescast Industries, Inc.;
 - Alo's Sports Bar;
 - 975 South Opdyke Self Storage Redevelopment PUD;
 - Chillbox Corporate Headquarters;
- Text Amendments to the Zoning Ordinance
 - Zoning standards in preparation for the planned extension of the municipal parking structure in the Downtown;
 - Off-street parking, based on recommendations of the February 2024 Downtown Parking Study;
 - Amending PUD standards;
 - Multi-family residential developments in the T&R District.
- Green Infrastructure Vision Map.
- Revised Architectural Design Policy.
- City of Auburn Hills 2025 Residential Build-Out Analysis and Future Growth Study.
- City of Auburn Hills Housing Policy Statement
 - Increase Opportunities for Homeownership
 - Preserve the Character of Established Large-Lot Neighborhoods
 - Consider Population Growth in Non-Residential Areas Where Appropriate
- Support Staff Training – Mr. Cohen participated in several training opportunities in 2024 and 2025 to further advance his skills and maintain Certification Maintenance credits for the current reporting period. Devin Lang attended the *Michigan Chapter of the American Planning Association Conference* in Grand Rapids from September 25-27, 2024.
- Commission Training – Members Beidoun, Ferguson, and MacMillan attended the *Michigan Chapter of the American Planning Association Conference* in Grand Rapids in September 2024. Member Ferguson also participated in a MAP seminar on managing risk.
- Planning Activities per City Council's Y2025-2026 Strategic Goals & Objectives
 - Explore options for industrial redevelopment within the community.
 - Continue to foster development along the M-24/Opdyke Road Corridor.
 - Focus redevelopment efforts on TIFA, city-owned, and private properties.
 - Continue to keep Auburn Hills friendly and livable for all ages and abilities.
 - Pursue redevelopment opportunities and incentivizing redevelopment; plan for potential changes with existing commercial properties.
 - Explore opportunities for repurposing hotels.
 - Leverage to the greatest degree our natural resources, parks, pathways and waterways.

Moved by Pavlich to adopt the Y2024-2025 Auburn Hills Planning Commission Annual Report.

Second by MacMillan.

VOTE: Yes: Beidoun, MacMillan, Pavlich, Patrus, Saelens, Shearer, Ferguson, Ouellette

No: None Motion Carried (8-0)

8. COMMUNICATIONS

8a. Planning Michigan Conference 2025 in Kalamazoo/October 22-24, 2025

Mr. Cohen stated that four members of the Planning Commission may attend the conference per the City's budget..

Moved by Pavlich to send Mr. Beidoun, Ms. MacMillan, Mr. Ferguson, and Mr. Patrus to the Planning Michigan Conference in Kalamazoo this October.

Second by Shearer.

VOTE: Yes: Shearer, Pavlich, Beidoun, MacMillan, Patrus, Saelens, Ferguson, Ouellette

No: None Motion Carried (8-0)

Mr. Ouellette again welcomed Mr. Patrus to the Commission. Mr. Patrus introduced himself and shared his background.

The Commission was invited to attend the celebration of the retirement of Karen Adcock, Director of Recreation and Senior Services, which will be held on Wednesday, October 1, 2025 from 1:00 p.m. to 3:00 p.m.

9. NEXT SCHEDULED MEETING

The next scheduled meeting is on Wednesday, September 10, 2025 at 7:00 p.m. in the Auburn Hills Council Chambers.

10. ADJOURNMENT

There being no further business, Chairperson Ouellette adjourned the meeting at 7:51 p.m.

Submitted by:

Susan McCullough, MiPMC III, CMC

Recording Secretary



CITY OF AUBURN HILLS

PLANNING COMMISSION AGENDA

MEETING DATE: SEPTEMBER 10, 2025

AGENDA ITEM NO 5a.

COMMUNITY DEVELOPMENT

To: Chairperson Greg Ouellette and the Planning Commission
From: Steven J. Cohen, AICP, Director of Community Development, Devin Lang, Assistant Director of Community Development
Submitted: September 5, 2025
Subject: Auburn Hills Municipal Campus - Fuel Island
Public Hearing / Motion – Recommendation to City Council for Site Plan and Tree Removal Permit Approval

INTRODUCTION AND HISTORY

This is a request from the Auburn Hills Tax Increment Finance Authority and Department of Public Works to construct a dual dispenser fuel island on the City's municipal campus, located at 1827 N. Squirrel Road. The new fuel island, which will serve only municipal vehicles, will not be available for public use.

The island will provide a secondary location for refueling municipal vehicles with gasoline, diesel, and diesel exhaust fluid. This addition will reduce the City's reliance on its current fueling point at the Department of Public Works facility. Locating this resource at the municipal campus will enhance fleet operations, maintain the readiness of emergency vehicles, and reduce service interruptions caused by traveling off-site to refuel.

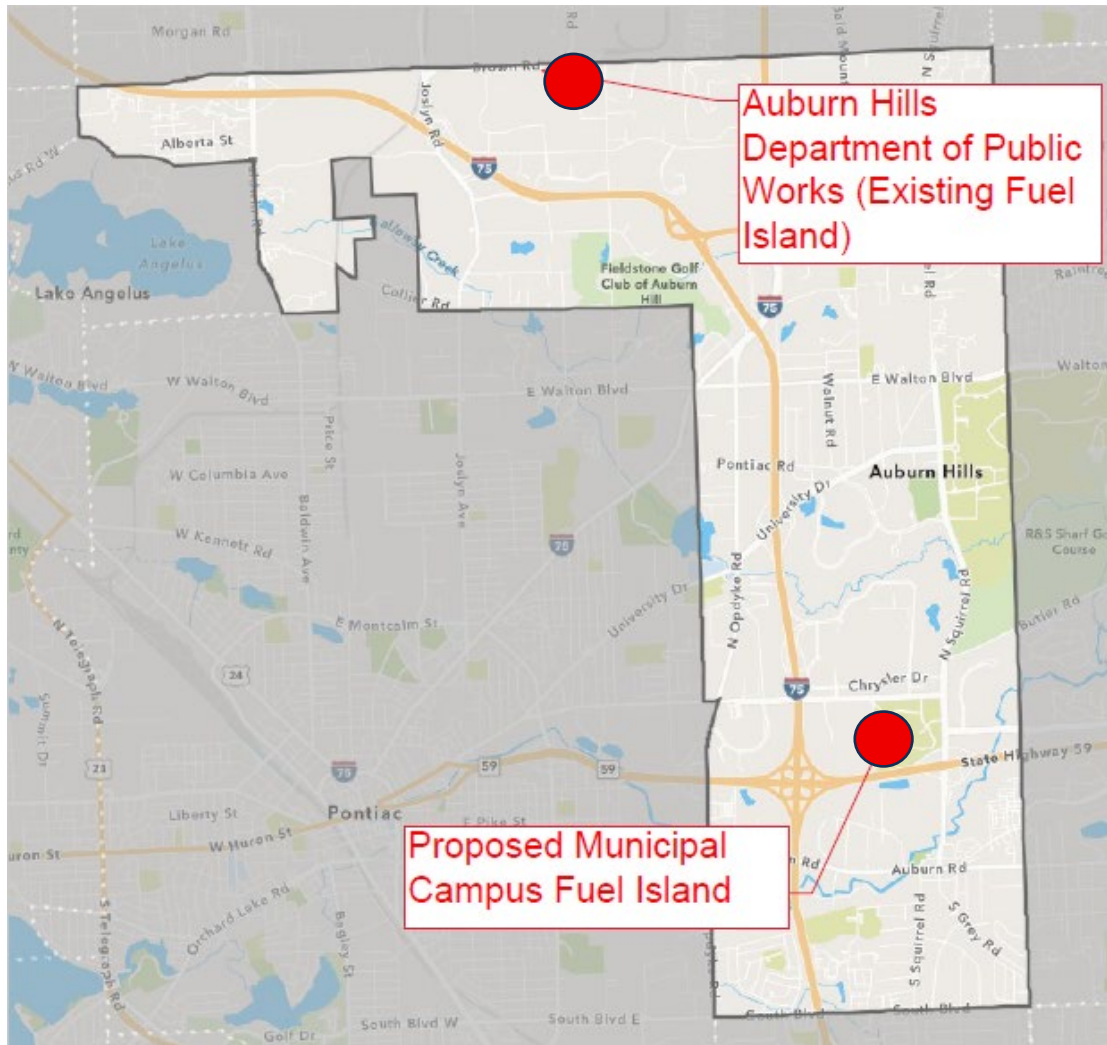
Site Plan



Illustrated Site Plan

INTRODUCTION AND HISTORY (cont.)

Currently, the only location available for refueling municipal vehicles is the Department of Public Works facility, located at 1500 Brown Road, situated in the northernmost part of the City. This creates a reliability issue and inefficiencies for the Police, Fire, and Senior Services Department, located on the municipal campus, as well as Fire Station #1, located Downtown. Currently, these vehicles must travel 10-17 miles round-trip to the Department of Public Works facility to refuel.



Existing Fuel Island at DPW - 1500 Brown Road, and Proposed Municipal Campus Fuel Island

KEY ISSUES

1. Community Center - Playground Removal

The playground west of the Community Center was slated for replacement in 2027; however, to minimize grading and maximize the amount of trees preserved, the playground will be removed as part of this project. **The playground will be replaced.** The Department of Public Works will collaborate with the Department of Recreation and Senior Services to identify an appropriate location on the municipal campus for the construction of a new playground in 2026.



Existing playground to be removed

KEY ISSUES (cont.)**2. Enhanced Landscaping and Architectural Design**

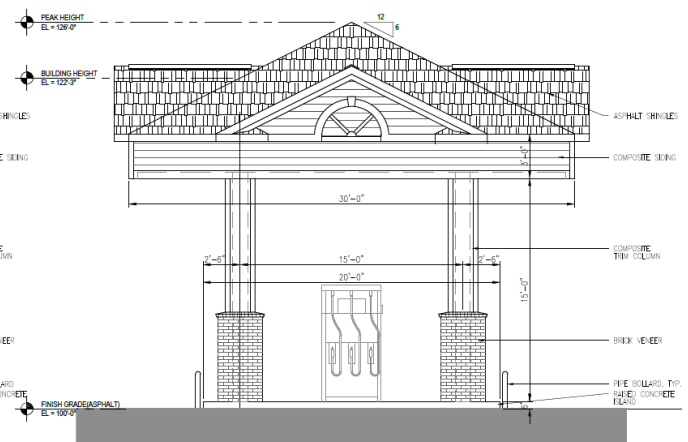
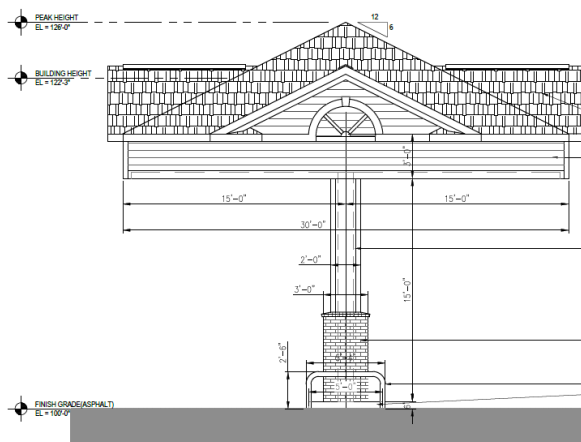
To mitigate the aesthetic impact of the fuel island, the site has been designed to maximize landscaping and screening by preserving as many existing trees and associated vegetation as possible and installing new plantings between the fuel island and the Community Center. In addition to enhanced landscaping, the fuel island canopy and control building have been designed to incorporate Colonial Revival elements with New England farmhouse influences, similar to those found in the Community Center and other buildings on the municipal campus.



A EXISTING COMMUNITY CENTER
NONE

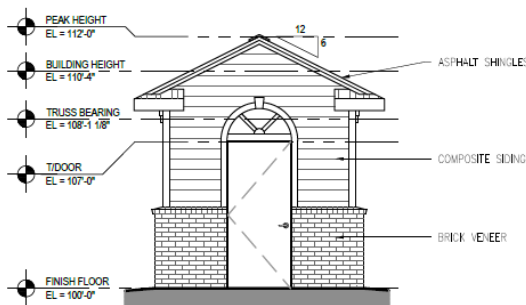


B EXISTING COMMUNITY CENTER
NONE

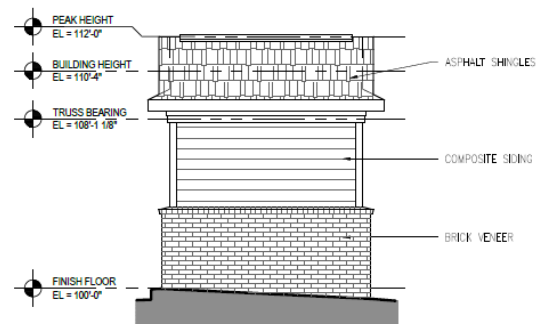


7 NORTH & SOUTH ELEVATION
1/4" = 1'-0"

8 EAST & WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

Enhanced architectural features were added to the fuel island canopy and control building

STAFF RECOMMENDATION

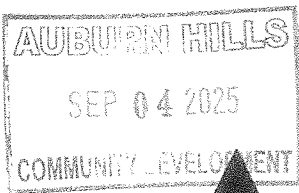
Please be advised that the City's Administrative Review Team has reviewed this project and recommended approval.

Staff recommend Approval of the Site Plan and Tree Removal Permit and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
 - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
 - b) Safe, convenient vehicular ingress/egress has been depicted; primary access will be to Seyburn Drive.
 - c) Traffic circulation features within the site avoid common traffic problems and can promote safety.
 - d) A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
 - e) The proposed use will not have an unreasonable, detrimental, or injurious effect upon the natural characteristics of the subject parcel or the adjacent area.
3. Greenbelts will be provided.
4. Landscape requirements will be met, and calculations have been submitted.
5. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. The light poles will not exceed 22 feet in height. Lamp bulbs and lenses shall not extend below the light fixture shields.
6. A note indicates that outside storage, including pallet storage, overnight vehicles, and trailer storage, will not be permitted.
7. A Tree Removal Permit is required - 56 replacement trees are required, and 72 replacement trees are proposed.

RECOMMENDED ACTION

Move to recommend to City Council approval of the Site Plan and Tree Removal Permit for the Auburn Hills Municipal Campus Fuel Island subject to the conditions of the City's Administrative Review Team.



Development Application

Project Name: Municipal Campus Fuel Island

General Project Location: 1827 N Squirrel Rd.

Parcel Size: 60.11 Zoning: R-1

Sidwell Number(s): 14-13-300-008 (Part of)

Project Description: Additiion of one dual fuel dispenser,
canopy, and small support building

Building Size (sq. ft.): Canopy - 900 Support Building - 100

Check requested review(s)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Subdivision |
| <input checked="" type="checkbox"/> Tree Removal Permit | <input type="checkbox"/> Planned Unit Development - Step 1/Step 2/Combined |
| <input type="checkbox"/> Special Land Use Permit(s) _____ | <input type="checkbox"/> Rezoning _____ to _____ |
| <input type="checkbox"/> Land Division | <input type="checkbox"/> ZBA Variance or Interpretation
(see supplemental application) |
| <input type="checkbox"/> Land Exchange | <input type="checkbox"/> Other _____ |

City Use Only

Address: 1827 N Squirrel Rd.

Date Received: 9/4/25

Fees Paid: NO FEE - CITY PROJECT

SP #: 250016

SLU #(s): _____

LD/LE/SUB #: _____

RZ #: _____

PUD #: _____

ZBA #: _____

PTR #: 250006

Applicant

Name: Andrew Hagge - TIFA Executive Director Signature: [Signature]

Business Name and Address: Auburn Hills Tax Increment Finance Authority - 1827 N. Squirrel Rd.

City: Auburn Hills State: MI Zip Code: 48326 Phone Number: 248-364-6804

Fax Number: _____ Alt. Phone Number(s): _____

Property Owner(s)

Name: Tom Tanghe - City Manager Signature: [Signature]

Business Name and Address: City of Auburn Hills - 1827 N. Squirrel Rd.

City: Auburn Hills State: MI Zip Code: 48326 Phone Number: 248-370-9440

(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department,
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939
www.auburnhills.org



Planning Commission Public Notice

Meeting Date, Time, and Location:	Wednesday, September 10, 2025, at 7:00 p.m. City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Municipal Campus Fuel Island
General Property Location:	1827 N. Squirrel Rd. Generally located at the southwest corner of Squirrel Road and University Drive (Part of Sidwell No. 14-13-300-008)
Applicant:	City of Auburn Hills – Department of Public Works
Nature of the Request:	Recommendation to City Council for Site Plan and Tree Removal permit approval to construct a new municipal fueling island
City Staff Contact:	Stephen Baldante Director of Public Works (248) 364-6902 Devin Lang Assistant Director of Community Development (248) 364-6946
<p>Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application can be inspected before the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.</p> <p>Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Devin M. Lang, Assistant Director of Community Development, at the above address.</p> <p>Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.</p>	



LOCATION MAP

September 5, 2025

Mr. Steven Cohen, AICP
Director of Community Development
CITY OF AUBURN HILLS
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: City Campus Fueling Station
Site Plan 1st Review

Dear Mr. Cohen:

We have prepared this summary regarding the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan was prepared by OHM on behalf of the City as this is a public infrastructure project. The site comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.
- Water main extension permit from E.G.L.E.

GENERAL:

The site is located on the Auburn Hills Civic Campus, west of the Community Center. The City is proposing to construct a new fuel station at this location to improve fleet operations with City vehicles not having to travel to the DPW site on Brown Road for fueling. The fuel station will consist of two pumps for diesel and gasoline. The station will include a canopy over the pumps as well as a small control building and vacuum pedestal on the south side of the site. The site is part of the larger Civic Campus parcel, which is zoned One Family Residential (R-1). The adjacent property to the west is zoned Technology & Research (T&R). A legal description of the overall parcel is included on the plan. The City of Auburn Hills Standard Notes and Fire Department Notes are included on the plan. A landscape plan and a soil erosion and sedimentation control plan were included in the plan set and appear to be acceptable.

It should be noted that the existing play structure adjacent to the Community Center will be removed as part of the project. A new play structure is being planned for a different location on the Civic Campus. In addition, the project will also include reconstruction of a portion of Seyburn Blvd, pavement replacement within the Community Center and Library parking lots, and water main looping.

MUNICIPAL UTILITIES:

There is an existing 8-inch water main that extends along the north side of the Community Center, ending with a hydrant near the northwest corner of the building. The project will include installation of new 8-inch water main from the end of this main, through the new fuel station drive and north along Seyburn Blvd to connect to existing water main west of the Library. This new water main will create an additional loop within the system for improved



service to the Community Center. A new fire hydrant is proposed at the corner of the fuel station driveway to provide adequate coverage for the new facility. No new water service is proposed for the fuel station.

There is an existing 12-inch sanitary sewer that runs along the east side of Seyburn Blvd and through the proposed site, continuing south through the Civic Campus parcel. No new sanitary sewer or services are proposed as part of the new fuel station. The proposed pavement for the fuel station has been set so that the existing sanitary sewer manhole will be located within the pavement area to allow for maintenance access by the City DPW.

STORM SEWER AND DETENTION:

The site is part of the City's Civic Campus, which has been allocated storm water runoff to the downstream drainage system at an average C-factor of 0.60. The additional impervious area resulting from the new fuel station pavement does not significantly change the overall site runoff and the overall C-factor is still well below what is allocated. Therefore, no additional detention is required for the proposed fuel station improvements.

Storm water runoff for the site will be collected via a series of catch basins and routed to existing storm sewer near the northwest corner of the Community Center. This storm sewer flows east in front of the building, then south to the existing drainage course through the Civic Campus, and ultimately to Galloway Creek. A water quality unit has been indicated on the plans prior to the storm water exiting the site in accordance with City requirements.

TRAFFIC/PAVING:

The fuel station will include a new drive approach at the end of Seyburn Blvd to access the site. The site will include a large area of asphalt pavement for vehicle maneuvering to the fuel pumps as well as fuel delivery truck access. A vehicle turning diagram is included on the plan. An approximately 40-ft by 50-ft concrete pad will be located around the pumps and fuel tank area. Pavement details for the proposed asphalt and concrete sections are included in the plan meeting City requirements. New concrete sidewalk is proposed from the existing sidewalk in front of the Community Center along the west side of the building to provide improved access to an existing door.

GRADING:

Existing and proposed grades are shown with contours and spot elevations. The site significantly slopes to the south and east, and the proposed site grading is consistent with that pattern. Slope grading around the proposed pavement areas are 1 on 4 or less per City standards. Pavement slopes are also consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalk slopes shall comply with ADA standards. No retaining walls are proposed for this site.

RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements, and has been stamped "Approved" by our office. If you have any questions or are in need of any further information, please feel free to contact our office.

Sincerely,

OHM Advisors

Timothy J. Juidici, P.E.

Transmitted via e-mail to Steven Cohen: September 5, 2025

cc: File

P:\0101_0125\0120240410_CITY_CAMPUS_FUEL_ISLAND\PM\CORRESPONDENCE\CAMPUS_FUEL_STATION_SITE
REV.DOCX



POLICE DEPARTMENT
1899 North Squirrel Road
Auburn Hills, MI 48326

MEMORANDUM

TO: Steve Cohen, Director of Community Development
FROM: Brandon Hollenbeck, Lieutenant
DATE: September 4, 2025
SUBJECT: **City Campus Fueling Station Site Plan**

I have reviewed the site plan for the City Campus Fueling Station located at 3350 Seyburn Drive. We have no objections to the project as presented in the site plan.



AUBURN HILLS FIRE DEPARTMENT



Official Memorandum

To: Steve Cohen, Director of Community Development
From: Fred Solomon, Fire Inspector
Date: September 2, 2025
Re: Site Plan Review

PROJECT: Campus Fuel Island

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No comments

Fred Solomon
Fire Inspector
Auburn Hills Fire Department

September 5, 2025

Steve Cohen, Director Community Development
City of Auburn Hills, Community Development Department
1827 North Squirrel Road
Auburn Hills, MI 48326

Subject: City Campus Fuel Station, Auburn Hills, MI

Dear Mr. Cohen,

The submittals regarding the above-mentioned project were reviewed and a site visit made. See tree detail chart below for tree inventory, removal and replacement tree requirements.

TREE DATA TABLE

DESCRIPTION	TOTAL TREES	Required/REPLACEMENT TREES
Total Trees Surveyed	101	
Trees Saved	50	0
Removed Regulated Trees	33	33
Non-regulated/Dead Trees Removed	9	0
Removed Landmark Trees	8 (232" x .25)/2.5	23
TOTAL Required Replacement Trees		56 Trees

Applicant is removing 41 regulated trees at the site; 8 are Landmark trees. Total replacement trees required to satisfy the Woodlands Ordinance is 56; $33 + (232 \times .25)/2.5$. The landscape plans provide 72 trees.

Woodland consultant reserves the right to identify trees requiring individual tree protection prior to land clearing. Land clearing to commence after November 1, 2025 to prevent oak wilt. This project is approved based on site conditions, tree inventory data, accompanying landscape plans, as stated.

Best regards,


Julie Stachecki

City of Auburn Hills Woodland Consultant



Site Specific, Inc.

JULIE STACHECKI, ISA Certified Arborist MI-0650, TRAQ, MI Oak Wilt Qualified
Howell, MI 48843 ♦ 810.599.0343 ♦ stachec1@me.com



Department of Public Works
City of Auburn Hills
1500 Brown Rd.
Auburn Hills, MI 48326

September 4, 2025

Devin Lang
City of Auburn Hills
Community Development Department
1827 N. Squirrel Rd.
Auburn Hills, MI, 48326

RE: Citizen participation letter for Municipal Campus Fuel Island project.

Mr. Lang,

On August 20, 2025, the attached citizen participation letter was mailed to 65 addresses via USPS first-class mail.

To date, we have received no inquiries or communication regarding these notices.

Please let me know if you need any additional information.

Thank you,



Stephen Baldante
Director of Public Works
1500 Brown Rd | Auburn Hills, MI 48326
248-391-9777
sbaldante@auburnhills.org



Community Development
City of Auburn Hills
1827 N Squirrel Rd
Auburn Hills, MI 48326

August 19, 2025

RE: Proposed Fuel Dispensing Island at Municipal Campus

Dear Neighbor,

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we are notifying you that the City has filed an application to construct a new municipal vehicle fueling station on the City campus, at 1827 N. Squirrel Road.

The proposed fueling island will contain one dual dispenser pump and will provide a centrally located station to serve municipal vehicles only. This addition will reduce reliance on the City's current fueling point at the Department of Public Works facility. Locating this resource at the municipal campus will enhance fleet operations, maintain the readiness of emergency vehicles, and reduce service interruptions caused by traveling off-site to refuel.

Situated west of the Auburn Hills Community Center, the fueling island will be accessible via a dedicated driveway off Seyburn Drive. To complement the surrounding area, the fueling island will be designed with extensive landscaping and enhanced architectural features to minimize visual impact and blend with the municipal campus setting.

The City of Auburn Hills Planning Commission is scheduled to review the project on Wednesday, September 10, 2025. If you have any questions, comments, or concerns, please do not hesitate to contact me at (248) 364-6946 or Stephen Baldante, Director of Public Works, at (248) 364-6902.

Thank you,

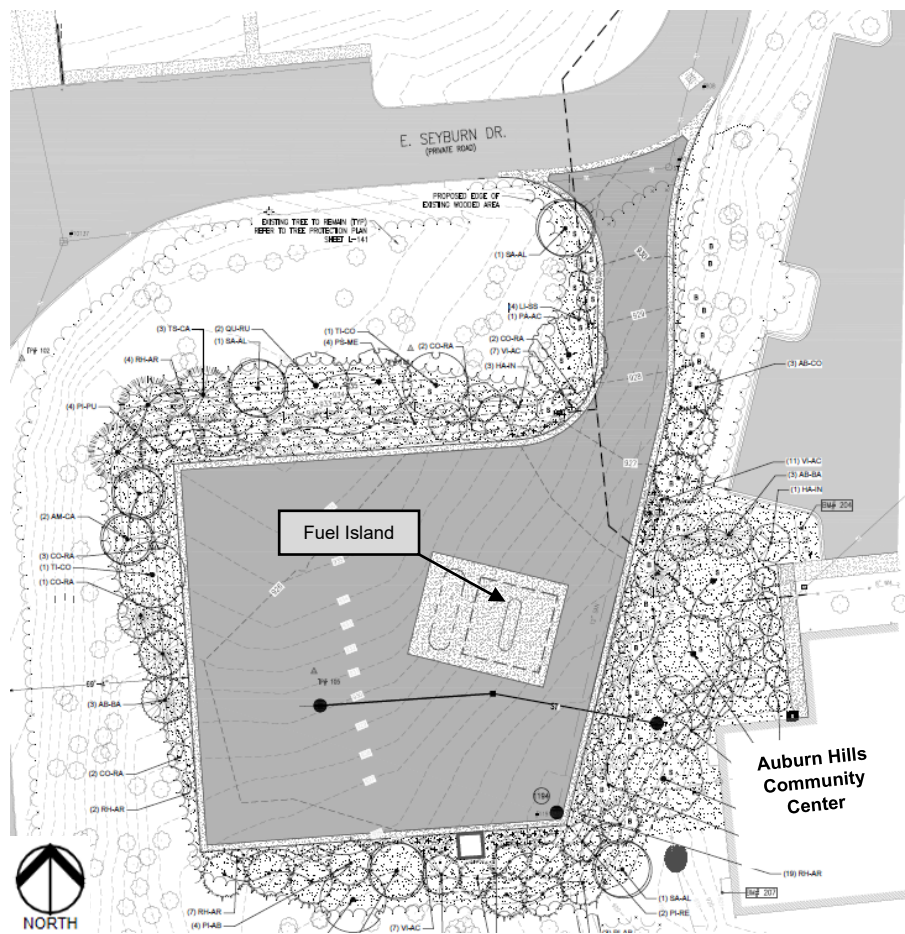
Devin Lang
Assistant Director of Community Development

- See Reverse Side -

Location Map



Site and Landscape Plan



Site Plan



City of Auburn Hills Conceptual Fueling Station

- A** Asphalt Entry Drive
- B** Fuel Station on Concrete
- C** Covered Fueling
- D** Underground Storage
- E** Playground Removal
- F** Landscape & Restoration
- G** Building & Vacuum Pedestal

3350 E SEYBURN DRIVE
AUBURN HILLS, OAKLAND COUNTY, MICHIGAN
PARCEL ID: 14-13-300-008



OHM



VICINITY MAP
NOT TO SCALE



APPLICATION DATE	PERMITS	APPROVAL DATE
	OAKLAND COUNTY SESC PERMIT	

SITE PLAN APPROVAL

I Certify That The Civil/Structural Plans Were Prepared Under My Direct Supervision



I Certify That The Architectural Plans Were
Prepared Under My Direct Supervision



I Certify That The Landscape Plans Were
Prepared Under My Direct Supervision



DRAWING DATE: 07/17/2020 DRAWING TIME: 12:45:00 PM DRAWING USER: C:\Users\jg027\AppData\Local\Microsoft\Windows\CurrentVersion\Explorer\Recent\jg027		DESCRIPTION	DATE	ISSUE
SHEET		07/17/2020 12:45:00 PM		
REVISION KEY				
● NEW SHEET ○ NOT REVISED ▲ REVISED				
SHEET TITLE				
COVER SHEET				
C-001	CIVIL NOTES	●		
C-002	CIVIL NOTES	●		
C-010	LEGEND	●		
C-110	EXISTING CONDITIONS	●		
C-111	TRIE SURVEY	●		
C-120	DEMOLITION AND REMOVAL PLAN	●		
C-121	PLAYGROUND DEMOLITION AND REMOVAL PLAN	●		
C-130	DIMENSIONAL SITE PLAN	●		
C-140	ENGINEERING PLAN	●		
C-141	UTILITY PROFILE	●		
C-170	GRADING PLAN	●		
C-510	CITY OF AUBURN HILLS STORM SEWER STANDARD DETAILS	●		
C-511	CITY OF AUBURN HILLS STORM SEWER STANDARD DETAILS	●		
C-512	CITY OF AUBURN HILLS WATER MAIN STANDARD DETAILS	●		
C-513	CITY OF AUBURN HILLS WATER MAIN STANDARD DETAILS	●		
C-514	CITY OF AUBURN HILLS WATER MAIN STANDARD DETAILS	●		
C-515	CITY OF AUBURN HILLS PAVING STANDARD DETAILS	●		
C-516	CITY OF AUBURN HILLS PAVING STANDARD DETAILS	●		
C-517	CITY OF AUBURN HILLS SANITARY SEWER STANDARD DETAILS	●		
C-518	CITY OF AUBURN HILLS SANITARY SEWER STANDARD DETAILS	●		
C-701	SOIL EROSION AND SEDIMENTATION CONTROL PLAN	●		
C-710	SOIL EROSION AND SEDIMENTATION CONTROL DETAILS	●		
L-140	LANDSCAPE AND RESTORATION PLAN	●		
L-141	TREE PROTECTION PLAN	●		
L-501	LANDSCAPE DETAILS	●		
A-101	ARCHITECTURAL CONCEPT	●		

1. THE CONTRACT DOCUMENTS, WHICH INCLUDE BUT ARE NOT LIMITED TO THE PLAN NOTES, SPECIFICATIONS, CONTRACT TERMS AND CONDITIONS, AND SUPPLEMENTAL CONDITIONS, LIST VARIOUS TYPES OF AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL RESOLVE ASSOCIATIONS OF AUTHORITY SHALL BE CONSIDERED PART OF THE CONTRACT AND SHALL BE HONORED AND NOT CHALLENGED OR REOPENED.
2. THE CONTRACTOR IS TO BE DETERMINED (REQUIREMENTS OF CONTRACTOR SHALL EQUALLY APPLY TO ANY VENDOR, SUBCONTRACTOR, OR SERVICE PROVIDED RETAINED BY THE CONTRACTOR).
3. OWNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT, INCLUDING THE LAYOUT, MEASUREMENTS, AND AS-BUILT RECORDS TO NO ADDITIONAL EXPENSE TO THE OWNER.
4. OWNER: CITY OF AUBURN HILLS (CONTACTS)
5. OWNER'S REPRESENTATIVE: PROJECT MANAGER/ENGINEER, OWNER, OR TESTING AGENCY; OWNER MAY DESIGNATE OR CHANGE SPECIFIC REPRESENTATIVES FOR EACH PROJECT REQUIREMENT AT ANY TIME.
6. ENGINEER: CHW ADVISORS (CONTACT: TAWO KRAZKO, P.E. - (734) 446-4406)
7. TESTING AGENCY: DESIGNATED AND PAID BY THE CITY OF AUBURN HILLS
8. UTILITY UTILITIES: AS NOTED ON THE CONTRACT
9. RIGHT-OF-WAY: NOT APPLICABLE - CONTRACTOR SHALL PERFORM ALL WORK AND STAGING WITHIN PROPERTY LIMITS OF THE CITY OF AUBURN HILLS
10. CONTRACTOR BUILDING PERMIT: THE CITY OF AUBURN HILLS COMMUNITY DEVELOPMENT DEPARTMENT / BUILDING SERVICES - 248-364-6900
11. TRAFFIC CONTROL REGULATION = MICHIGAN MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES

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1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS CONES, BARRICADES, SIGNS, FLAGGERS, TEMPORARY PAVEMENT MARKINGS, FENCES, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY CONFORMING TO LOCAL TRAFFIC CONTROL, TRAFFIC ENGINEERING, AND PRACTICE. THE CONTRACTOR SHALL PROHIBIT TRAFFIC OVER NEW PAVEMENT, LANDSCAPING, RESTORATION, PAINT, OR ANY OTHER NEWLY INSTALLED FEATURE UNTIL THE OWNER'S REPRESENTATIVE AUTHORIZES OPENING TO TRAFFIC.
2. CONTRACTOR SHALL MAINTAIN AN ACCESSIBLE ROUTE FOR PEDESTRIANS AND EMERGENCY VEHICLES AND PERSONNEL AT ALL TIMES.
3. THE CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN FOR ANY WORK ADJACENT TO OR WITHIN THE PUBLIC RIGHT-OF-WAY.

1. INSTALL TEMPORARY CONSTRUCTION FENCE TO SECURE THE SITE AND PROTECT THE PUBLIC. SITE SECURITY IS THE CONTRACTOR'S RESPONSIBILITY; THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
2. TREE PROTECTION: UNLESS OTHERWISE DIRECTED, ALL TREES SHALL BE PROTECTED FROM WOUNDS TO THE BARK AND FOLIAGE.
3. THE CRITICAL ROOT ZONE OF ALL TREES (1.5 FEET RADIUS FOR EACH INCH OF DIAMETER AT BREAST HEIGHT) SHALL BE PROTECTED FROM COMPACTION AND GRADING.
4. CHANGES IN TEMPORARY SITE DRAINAGE AND PONDING THAT AFFECT THE PROTECTED TREES IS PROHIBITED.

5. THE CRITICAL ROOT ZONE OF TREES SHALL BE SURROUNDED BY A HIGH-VISIBILITY FENCE (4 FT IN HEIGHT).
6. ANY EXISTING TREE THAT IS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. TREE WILL BE CONSIDERED DAMAGED IF THE CRITICAL ROOT ZONE IN COHESIVE SOILS IS COMPACTED OR IF THERE ARE SIGNIFICANT WOUNDS THAT COULD CONTRIBUTE TO ROT OR DISTRESS.

1. PRIOR TO THE WORK, PREPARE AND SUBMIT PRE-CONSTRUCTION VIDEO OR PHOTOS, CONSTRUCTION AND SITE PROTECTION FENCE PLANS, SHOP DRAWINGS, AND PRODUCT INFORMATION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF ANY VIOLATIONS OF PERMITS OR OF ANY SURETY CASE THAT THEY ARE DISCOVERED.

3. **UTILITY CONTACTS – PRIVATE:**
ELECTRIC - DTE ENERGY 513235.4400 AND AUBURN HILLS CITY ELECTRIC 248.391.3771
GAS - CONSOLIDATED GAS 248.391.3771
CABLE/DATA/FIBER – COMCAST 248.892.7115
CITY OF AUBURN HILLS 248.391.3267

4. **UTILITY CONTACTS – PUBLIC:**
WATER/SEWER – AUBURN HILLS CITY POTABLE WATER AND SANITARY SEWER 248.391.3771
AUBURN HILLS SEWER 248.391.3771
CITY OF AUBURN HILLS 248.391.3267

5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. IF ANY UTILITIES ARE NOT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY UTILITIES WHICH CONTRADICT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE LOCATION OR DEPTH OF ANY EXISTING UTILITY LOCATIONS OR NOT SHOWN ON THE PROJECT DRAWINGS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES OF ADJOINING CONSTRUCTION INCLUDING FINISH SURFACES, THAT MAY BE MISCONSTRUCTED AS DAMAGE CAUSED BY CONSTRUCTION.

1. TAKE MEASURES AS NECESSARY AND REASONABLE TO PROTECT EXISTING STRUCTURES, UTILITIES, AND ITEMS FROM DAMAGE DURING DEMOLITION ACTIVITIES.
2. REMOVE AND DISPOSE OF ALL EXISTING SHORING, BRACING, AND TEMPORAL SUPPORT AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OF EXISTING STRUCTURES.
3. TOPSOIL STRIPPING: STRIP THE FULL DEPTH OF TOPSOIL ONLY FROM THOSE AREAS THAT WILL BE DISTURBED BY EXCAVATION, FILLING, CONSTRUCTION, OR COMPACTION BY EQUIPMENT.
4. STOCKPILE: STOCKPILE EXISTING TOPSOIL AND SUBSOIL TO BE REMOVED BY THE CONTRACTOR TO ENSURE SAFETY AND CONTROL EROSION ASSOCIATED WITH THE TEMPORARY STOCKPILES. STOCKPILE STRIPPED TOPSOIL WITHOUT INTERMIXING WITH ANY OTHER MATERIALS. BORROW TOPSOIL TO REPLACE EXISTING TOPSOIL AND SUBSOIL TO BE REMOVED BY THE CONTRACTOR.
5. REMOVE: REMOVE ITEMS FROM EXISTING CONSTRUCTION AND DISPOSE OF THEM OFF-SITE UNLESS OTHERWISE SPECIFIED.
6. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER READY FOR REUSE. CLAMP SALVAGED ITEMS. TRANSPORT ITEMS TO OWNER'S AREA OF INTEREST AND PROTECT THEM FROM DAMAGE, LOSS, AND THEFT DURING TRANSPORT AND STORAGE.

7. REMOVE AND REINSTATE: DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, PREPARE FOR REUSE, AND REINSTATE, WHERE INDICATED.
8. DISPOSAL: ITEMS NOT REUSED OR REINSTATED SHALL BE DISPOSED OFFSITE.
9. DISPOSAL: ALL DEMOLITION AND REMOVE MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AS SHALL BE DISPOSED OFF-SITE IN ACCORDANCE TO ALL FEDERAL, STATE, AND LOCAL HAULING AND DISPOSAL REGULATIONS. NO OPEN BURNING OR BURNING IN AN OPEN PILE. BURNING IN METALLIC AND FLOODINGS IS PROHIBITED. BURNING ON SITE IS PROHIBITED.
10. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGINS.
11. SAWCUT AND REMOVE EXISTING PAVEMENT AND AGGREGATE BASE FROM PAVED AREAS TO A DEPTH NECESSARY TO CONSTRUCT THE PROPOSED CROSS SECTION AT THE PLAN FINISH GRADES. GRADE SURFACES TO CORRESPOND TO PROPOSED FINISH GRADE OF PAVEMENTS - MAINTAIN MINIMUM THICKNESS.

1. ONE-CALL UTILITY LOCATING: MISSDG - 811 OR 800-482-7171. CONTRACTOR SHALL CALL AND OBTAIN AN EXCAVATION TICKET A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. WHEN MARKING AND FLAGS ARE DISRUPTED OR DESTROYED - CALL FOR REMARKING.
2. SUBMITTALS: MATERIAL TEST REPORTS FOR EACH BORROW SOIL (ONE PER SOURCE) AND EACH TYPE JOB EXCAVATED FILL. REPORT SHALL INCLUDE CLASSIFICATION ACCORDING TO ASTM D 2487 (USCS), SIEVE ANALYSIS (ASTM C 136), LABORATORY COMPACTION CURVE ACCORDING TO ASTM D 1557

- [illegible]

7. SURVEYOR SHALL PROVIDE STAKING FOR GRADING, PILE THICKNESS, CUT AND FILL LIMITS, AND ANY OTHER FIELD CONTROL needed TO COMPLETE THE WORK IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. CONTAMINANTS ARE NOT ANTICIPATED TO BE ENCOUNTERED. IF CONTAMINATED SOILS ARE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER OF THE CONTAMINANTS IN SOIL STORM SEWERS AND WATERWAYS, AND SHALL BE DISPOSED OF ACCORDING TO LOCAL AND STATE REGULATIONS.
9. EXCAVATIONS SHALL BE NOTED AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 0.10 FEET.
10. EXCAVATED MATERIALS SHALL BE PLACED ON THE UPWIND SIDES OF TRENCHES, WHERE POSSIBLE, AND SHALL BE SET BACK TO FEET FROM THE TRENCH.
11. TRENCH OR EXCAVATION TO ALLOW FOR PROPER PILE AND UTILITY STRUCTURE INSTALLATION SHALL BE EXCAVATED TO THE DEPTH REQUIRED FOR THE PROPOSED FOUNDATION OR RESTRAINED CROSS-SECTION PER THE PLANS. EXCESS EXCAVATION, NOT DISPOSED BY THE OWNER'S REPRESENTATIVE AND NOT NEEDED TO INSTALL UTILITIES OR SITE IMPROVEMENTS SHALL BE BACKFILLED AND COMPACTED TO THE SAME DENSITY AS THE EXISTING SUBGRADE. EXCESS EXCAVATION SHALL BE REMOVED AND BACKFILLED WITH COMPACTED GRANULAR FILL.
12. EXISTING CONDUITS, UTILITY LINES, AND OTHER FACILITIES FROM PROTECTION ZONES, EXISTING PLANTS/PLANTINGS, AND OTHER FACILITIES FROM DAMAGED CAUSE BY SETTLEMENT, LAUNDER, OVERFLOW, REMOVAL, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS, SHALL BE PROTECTED OR CHANGED TO AVOID DAMAGE TO SUCH FACILITIES. IF DAMAGE TO SUCH FACILITIES OCCURS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF SUCH DAMAGE. IF COMPACTION, IF WATER IS ADDED TO FILLS, THE LAYER SHALL BE SPREAD IN EVEN LAYS, MISTOKE AS NECESSARY, THOROUGHLY MIXED, AND COMPACTED.
13. THE UNDERLYING COURSE OR SUBGRADE SHALL BE CLEANED OF ALL FOREIGN/ORGANIC SUBSTANCES, ALL FROZEN MATERIALS REMOVED, AND THE SUBGRADE SHALL BE REPAIRED TO THE SAME DENSITY AS THE EXISTING SUBGRADE. ALL DEBRIS OF SOIL MATERIAL SHALL NOT BE PERFORMED UNTIL THE UNDERLYING MATERIAL HAS BEEN VERIFIED AND ACCEPTED BY THE TESTING AGENCY TO HAVE MET THE CONDITION, GRADATION, WATER CONTENT, AND DENSITY REQUIREMENTS.
14. EXISTING AND BACKFILL MATERIALS SHALL BE PLACED UNIFORMLY ON AN ACCEPTABLE SOIL SURFACE AND COMPACTED IN 8-INCH LAYS UNLESS THE CONTRACTOR CAN DEMONSTRATE TO THE OWNER'S REPRESENTATIVE AN ALTERNATE ACCEPTABLE METHOD OF PLACEMENT AND COMPACTION.
15. RELOCATION EQUIPMENT: SHEEPSFOOT ROLLER FOR COHESIVE MATERIALS; VIBRATORY FOR GRANULAR MATERIALS. THE ROLLER SHALL BE OPERATED AT A MINIMUM OF 1500 PSI OF WEIGHT AND OVERLAP ON SUCCESSIVE TRIPS AT LEAST ONE-HALF THE WIDTH OF THE ROLLER. ALTERNATE TRIP OF THE ROLLER SHALL BE SLIGHTLY DIFFERENT LENGTHS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL CURBS, SLOPPY BACKFILL SHALL NOT BE PERMITTED. FILL AND BACKFILL SHALL BE PLACED WITH A WATER CONTENT PLUS OR MINUS 2% OF THE OPTIMUM (ASTM D 1557).
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL PROTECTIVE DESIGNATION T-180, OR BY THE CORE DENSITY METHOD DESIGNATED BY THE OWNER, AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
18. EXISTING AND BACKFILL, SLOPES AND EMBANKMENTS TO 90% UNLESS OTHERWISE INDICATED ON PLANS AND DETAILS. COMPACTION SHALL BE MEASURED RELATIVE TO THE MAXIMUM DRY DENSITY PER AASHTO T-99. UNLESS OTHERWISE NOTED, THE FOLLOWING DENSITY REQUIREMENTS SHALL APPLY:
19. TESTING AGENCY SHALL PERFORM IN-PLACE DENSITY CHECKS (ASTM D5556 - SAND CONE OR ASTM D6938 - NUCLEAR GAUGE) AT THE FOLLOWING INTERVALS: UNDER SIDEWALK - 1 FOOT 100 SPTS; UNDER SIDEWALK TO DRIVE OR DRIVE - 1 FOOT 100 SPTS; UNDER DRIVE TO DRIVE - 1 FOOT 100 SPTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TESTING AGENCY HAS AUTHORITY TO STOP OR REQUEST WORK TO QUALITY ON BEHALF OF THE OWNER.
20. SLOPES GRADE TO A SMOOTH SURFACE. SLOPE GRADES TO DRAIN WATER AWAY FROM BUILDINGS AND DRIVEWAYS TO PREVENT WATER INTRUSION INTO DRIVEWAYS AND FOUNDATIONS.
21. THE FOLLOWING TOLERANCES: UNPAVED AREAS: PLUS OR MINUS 1 INCH; WALKS: PLUS OR MINUS 1 INCH. PAVEMENTS: PLUS OR MINUS 1/2 INCH.
22. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
23. EXCESS SOIL AND WASTE MATERIAL SHALL BE REMOVED, INCLUDING TRUNKS AND DEBRIS, AND IMMEDIATELY DISPOSED OF AT THE OWNER'S PROPERTY.

SESS CONTRACTOR - OAKLAND COUNTY WATER RESOURCE COMMISSION'S OFFICE # 248-888-5389
SUBMITTALS: PRODUCT INFORMATION FOR EACH MATERIAL PROPOSED FOR USE, INCLUDING ADEQUATE
EVIDENCE OF THE QUALITY OF THE MATERIALS, INCLUDING BUT NOT LIMITED TO: PROOF OF
REINFORCEMENT MATS, SELF HEALING, DETERMINING FILLER BMS, EROSION BMS, MATLIES, AND INLET
FILTERS.
PERMANENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR TO CONTROL EROSION OF
EARTH AND TO MAINTAIN QUALITY OF DISCHARGED RUNOFF DURING THE ACTIVITIES DESCRIBED IN THIS
CONTRACT AND SHOWN ON THE CONTRACT PLANS. REMOVE AND DISPOSE OF TEMPORARY MEASURES
AS SOON AS THEY ARE NO LONGER NEEDED. PERMANENT CONTROL MEASURES SHALL BE INSTALLED
RESTORATION ARE FUNCTIONING FULLY. THE SITE IS STABILIZED (ESTABLISHMENT OF VEGETATION ON THE
PROPER PLACEMENT, GRADING OR COVERING OF SOIL TO ENSURE RESTORATION TO SOIL EROSION,
SLURRY (AND OTHER EARTH MOVEMENT) AND ONLY UNDER THE DIRECTION OF THE OWNER'S
REPRESENTATIVE.
PERMANENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR TO CONTROL EROSION OF
EARTH AND TO MAINTAIN QUALITY OF DISCHARGED RUNOFF DURING THE ACTIVITIES DESCRIBED IN
THIS CONTRACT. COMPLETE PERMANENT SOIL EROSION CONTROL MEASURES FOR THE EARTH CHANGE WITHIN
THE (5) CALENDAR DAYS AFTER FINAL GRADING OR UPON COMPLETION OF FINAL EARTH CHANGE.
CONTRACTOR SHALL REGULATE THE EARTH CHANGE TO MAINTAIN THE EARTH CHANGE TO MAINTAIN THE
STORMWATER QUALITY, AND RUNOFF DISCHARGE. INSPECT AND MAINTAIN ALL CONTROL MEASURES DAILY
INSTRUCTIONS BY THE OWNER OR A REGULATOR MAY OCCUR AND RESULT IN DIRECTION FOR
EARTHWORK OR EXCAVATION. IF INSTALLED MEASURES, CONTRACTOR SHALL COMPLY AT NO ADDITIONAL
COST.
NO DEMOLITION, CUTTING, GRADING, EARTH CHANGE, EXCAVATION, OR CONSTRUCTION SHALL BE

- [illegible]

17. POLLUTION PREVENTION ACTIVITIES
- DURING WORK OPERATIONS IF SUSPECT CONTAMINATED SOIL (CHEMICAL OR UNKNOWN DROPS, STAINING, OILS, GREASES, AND OTHERS) AND/OR CONTAIN MAN-MADE PESTICIDES, PESTICIDES (CHEMICAL OR UNKNOWN), UNUSUAL COLORING, AND/OR SHEEN, OR OTHER UNKNOWN MATERIAL IS ENCOUNTERED CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY. CEASE ALL EXCAVATION, DETERMINING THE SOURCE OF CONTAMINATION, AND/OR CONTAINMENT UNTIL THE OWNER'S REPRESENTATIVE IS PRESENT.
- A. DISCHARGING POLLUTANTS SUCH AS CHEMICALS, LUBRICANTS, BITUMINOUS MATERIALS, RAIN WATER, AND OTHER HARMFUL WASTE INTO OR ALONGSIDE OF THE SOIL, OR INTO POND, IMPROVEMENTS OR INTO NATURAL OR MAN-MADE CHANNELS LEADING THEREIN IS STRICTLY PROHIBITED. ANY VIOLATION OR DISCHARGES AS DESCRIBED ABOVE SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE FOLLOWING REQUIREMENTS APPLY:
1. ANY WASTE USED DURING CONSTRUCTION AND ASPHALT WORK INCLUDING SHEETING AND SHIM-CUTTING MUST BE CONTAINED AND COLLECTED FOR PROPER DISPOSAL. SUCH CONTAINERS INCLUDE NEW WATKINS, OR EQUIVALENTS.
2. FUEL AND GREASE MUST BE KEPT IN TIGHTLY LIDDED CONTAINERS AT THE JOBSITE. MANURES, DIRT, AND OTHERS MUST BE KEPT IN TIGHTLY LIDDED CONTAINERS AT THE JOBSITE.
18. DETERMINING: UNCONTAMINATED GROUNDWATER AND SEEDIMENT-FREE SURFACE WATER MAY BE DISCHARGED TO AN INLET-PROTECTED STRAIN DRINKER, SLOPE CANAL, SUEY FILL (SEWER) DRAINAGE, OR TO THE ADJACENT WATER BODY (LAKE, RIVER, OR OCEAN). IF THE WATER IS NOT CLEAR (NO TURBIDITY) AND ON A CLEAR SURFACE (NOT ON EXPOSED SOILS), INSPECT AND MAINTAIN THE PUMP HOSES AND FILTER BAGS DAILY, REPLACE COMPROMISED OR DETERIORATED EQUIPMENT IMMEDIATELY, AND IF THERE ARE INDICATIONS OF POSSIBLE CONTAMINATION, OR IF THE WATER IS TURNED IMMEDIATELY CEASE DISCHARGE.

[illegible]

PRELIMINARY - NOT
FOR CONSTRUCTION

SIDWELL # 14-13-300-008



ISSUED FOR: SITE PLAN/APPROVAL	2025/09/04	DATE
REVISION	DESCRIPTION	
1		
2		
3		
4		
5		

CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION

3350 E. JETBORO DR, AUBURN HILLS, MI 48003

CIVIL NOTES

CIVIL NOTES

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C-001

DRAWING PATH: P:\0101_0125\0120240410_City_Campus_Fuel_Island\Drawings\2-CADD\3-Sheets\SITE\240410_NOT.dwg Sep 04, 2025 - 9:56am

OHM\DWG\DWG1 P:\DWG\2020\20200811_City Campus Fuel Station\DWG1\010101.dwg September 4, 2020 10:57 AM

WATER & SEWER UTILITY SYMBOLS

EXISTING

- _{ST} STORM MANHOLE
- SQUARE CATCH BASIN
- ROUND CATCH BASIN
- ==== CULVERT
- Ø CULVERT W/O END SECTION
-) CULVERT W/END SECTION
- _S SANITARY MANHOLE
- ⊕ CLEAN OUT
- ⊕_{GW} GATE VALVE & WELL
- GATE VALVE & BOX
- ⊠ WATER STOP BOX
- ⌵ FIRE HYDRANT
- ⊠_M METER PIT
- WATER METER
- ⊕ SPRINKLER HEAD
- ⊕_I IRRIGATION VALVE

PROPOSED

- STORM MANHOLE
- SQUARE INLET/CATCH BASIN
- ⊕ ROUND INLET/CATCH BASIN
-) CULVERT END SECTION
- _S SANITARY MANHOLE
- ⊕ CLEAN OUT
- ⊕ GATE VALVE
- ⊕_{GW} GATE VALVE & WELL
- ⊕_{GB} GATE VALVE & BOX
- ⊕_{TS} TAPPING SLEEVE VALVE & WELL
- ⊕_{TS} TAPPING SLEEVE VALVE & BOX
- ⌵ FIRE HYDRANT

REAL ESTATE SYMBOLS

- CONTIGUOUS PROPERTY SYMBOL
- XXXX PARCEL NUMBER BOX
- NO ROW IMPACTS

MISCELLANEOUS UTILITY SYMBOLS

EXISTING

- ⌵ GUY WIRE
- ⊕_{UP} GUY POLE
- ⊕_U UTILITY POLE
- ⊕_U UTILITY POLE W/LIGHT
- ⊕_U LIGHT/DECOR LAMP POLE
- ⊕_U GAS VALVE
- ⊕_U GAS METER
- ⊕_U GAS RISER
- ⊕_U TRANSFORMER PAD
- ⊕_U PRIVATE UTILITY MANHOLE
- ⊕_U ELECTRIC METER
- ⊕_U TRAFFIC SIGNAL CONTROLLER
- ⊕_U HAND HOLE
- ⊕_U ELECTRIC RISER
- ⊕_U MONITORING WELL
- ⊕_U PEDESTRIAN SIGNAL

REMOVAL LEGEND

- SIDEWALK REMOVAL
- HMA SURFACE REMOVAL
- PAVEMENT REMOVAL
- CLEARING AND GRUBBING
- CURB AND GUTTER, REM
- TREE, REM
- SIGN, REM
- SALVAGE
- BULKHEAD
- ABANDON
- CLEARING
- REMOVE
- RELOCATE
- RECONSTRUCT
- RELOCATE BY OTHERS
- ADJUST BY OTHERS

MISCELLANEOUS SYMBOLS

EXISTING

- RIPRAP
- ↑ SIGN
- FLOW DIRECTION
- ⊕ STUMP
- ⊕ CONIFEROUS TREE } CL 1 1' TO 5'
- ⊕ DECIDUOUS TREE } CL 2 6" TO 17"
- ⊕ CONIFEROUS SHRUB } CL 3 18" TO 36"
- ⊕ DECIDUOUS SHRUB } CL 4 36" AND UP
- ⊕_{SB} SOIL BORING
- ⊕ SECTION CORNER
- ⊕ PK NAIL
- ⊕_{BM} SURVEY BENCHMARK
- ⊕_{TP} # SURVEY TRAVERSE POINT
- CONCRETE
- GRAVEL

PROPOSED

- RIPRAP
- ↑ SIGN
- FLOW DIRECTION
- ⊕_{WM} STRUCTURE NUMBER
- ⊕_{WM} CURB AND GUTTER, STD
- ⊕_{WM} CURB AND GUTTER, SPILLOUT
- ⊕ ASPHALT, HEAVY
- ⊕ ASPHALT
- ⊕ CONCRETE
- ⊕ SF SILT FENCE
- ⊕ INLET FILTER
- ⊕ CHECK DAM, STONE

GRADING

- FLOW DIRECTION
- ⊕_{EXIST} EXISTING SPOT GRADE
- 749.25 FG PROPOSED SPOT GRADE
- 665 EXISTING CONTOUR
- 664 EXISTING CONTOUR
- 840 PROPOSED CONTOUR
- 839 PROPOSED CONTOUR

UTILITY PATTERN

EXISTING

- GAS — GAS/OIL
- CABLE/TELEPHONE — CABLE/TELEPHONE *
- 12" WM — WATER MAIN/SERVICE
- 12" SAN — SANITARY SEWER
- 12" STM — STORM SEWER

*OH = OVERHEAD, UG = UNDERGROUND

PROPOSED

- 12" WM — WATER MAIN/SERVICE
- 12" SAN — SANITARY SEWER
- 12" STM — STORM SEWER
- 4" UG — UNDERDRAIN
- SITE ELEC / LIGHTING

ROW PATTERN

EXISTING

- ROW — ROW
- SECTION — SECTION
- PROPERTY/PARCEL — PROPERTY/PARCEL

TOPO PATTERN

EXISTING

- HEDGE/TREE
- FENCE
- GUARDRAIL
- CENTERLINE OF DITCH
- WETLAND/EDGE OF WATER

PROPOSED

- CENTERLINE OF DITCH
- FENCE

SITE LAYOUT

- 10 12 EX AND PROP PARKING SPACE COUNT
- 10 12 EX AND PROP BARRIER FREE PARKING SPACE

ABBREVIATION KEY

- AC ACRE
- ADJ ADJUST
- ASPH ASPHALT
- BC BACK OF CURB
- BF BARRIER FREE
- C+G CURB AND GUTTER
- CB CATCH BASIN (STORM)
- CF CUBIC FEET
- CL CENTERLINE
- COMM COMMUNICATION UTILITY (PHONE, CABLE, DATA, ETC)
- CONC CONCRETE
- CPE CORRUGATED POLYETHYLENE (PIPE)
- CY CUBIC YARD
- DI DUCTILE IRON
- DIA DIAMETER
- ELEC ELECTRICAL
- EX EXISTING
- FC FACE OF CURB
- FL FLOWLINE
- FG FINISH GRADE / SURFACE (NON-PAVED AREA)
- FM FOREMAN
- FT FEET
- GV GATE VALVE
- GV+B GATE VALVE AND BOX
- GV+H GATE VALVE AND WELL
- IN INCHES
- MANH MANHOLE STRUCTURE
- OHM OHM ADVISORS
- PAYT PAVEMENT
- PROP PROPOSED
- RCP REINFORCED CONCRETE PIPE
- REM REMOVE (AND DISPOSE)
- TOP OF STRUCTURE CASTING
- RW SANITARY SEWER / SERVICE
- SAN SANITARY SEWER
- SF SQUARE FEET
- STM STORM SEWER
- SVC SERVICE (WATER/SANITARY)
- SY SQUARE YARD
- T/ TOP OF
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- TW TOP OF WALK
- WM WATER MAIN / SERVICE

LANDSCAPE HATCHES AND SYMBOLS

- LAWN
- SPECIALTY SEED
- SPECIALTY SEED
- SPECIALTY SEED

PRELIMINARY - NOT FOR CONSTRUCTION

SIWELL # 14-13-300-008



DESIGNED FOR: SEE PLAN LANDSCAPE DESIGN

DATE

PROJECT NUMBER: 010101

DATE

CITY OF AUBURN HILLS

CITY CAMPUS FUELING STATION

3350 E SEYBURN DR, AUBURN HILLS, MI 48326

LEGEND

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C-010

JOB BENCHMARK #204
ARROW ON FIRE HYDRANT IN THE
NORTH EAST CORNER OF AUBURN HILLS
COMMUNITY CENTER PLAYGROUND.
ELEV 926.19

JOB BENCHMARK #207
CORNER OF CONCRETE PAD IN THE
SOUTHWEST CORNER OF THE AUBURN
HILLS COMMUNITY CENTER.
ELEV 922.21

TRAVERSE POINT #102
N 42814.5
E 1343025.81 ELEV 943.66

TRAVERSE POINT #104
N 42636.46
E 1343016.00 ELEV 925.20

TRAVERSE POINT #105
N 42626.71
E 1343008.67 ELEV 931.74

TRAVERSE POINT #106
N 42642.24
E 1343003.31 ELEV 926.70

TRAVERSE POINT #107
N 428172.49
E 1343002.25 ELEV 921.83

TRAVERSE POINT #108
N 428183.10
E 1343047.12 ELEV 926.17

BENCHMARK ELEVATIONS NOTE:
BENCHMARK ELEVATIONS SHOWN ON
THESE PLANS ARE BASED ON
NAVD83 DATUM.

FLOODPLAIN NOTE:
SITE LOCATED IN AREA OF MINIMAL FLOOD
HAZARD (ZONE V) PER FEMA PANEL
28125C0386F DATED 09/29/2006

WETLAND NOTE:
NO WETLAND FOUND ON SITE

ZONING:
(R-1)- ONE FAMILY RESIDENTIAL

EXISTING STORM STRUCTURES

#808 SO CATCH BASIN 1/CATCH 920.21
24" RCP NE NW 919.72
30" RCP SW NW 921.00

#830 STORM MANHOLE 1/CATCH 931.31
30" RCP NE NW 920.82
30" RCP SW NW 920.77

#125A ROUND CULVERT
12" CMP N NW 917.75

#127A ROUND CULVERT
PVC E NW 918.21

#5313 STORM MANHOLE 1/CATCH 920.73
12" RCP S NW 917.85
12" RCP NE NW 917.85

#10137 SO CATCH BASIN 1/CATCH 941.63
12" RCP N NW 935.31

#10147 SO CATCH BASIN 1/CATCH 941.30
12" RCP S NW 935.31

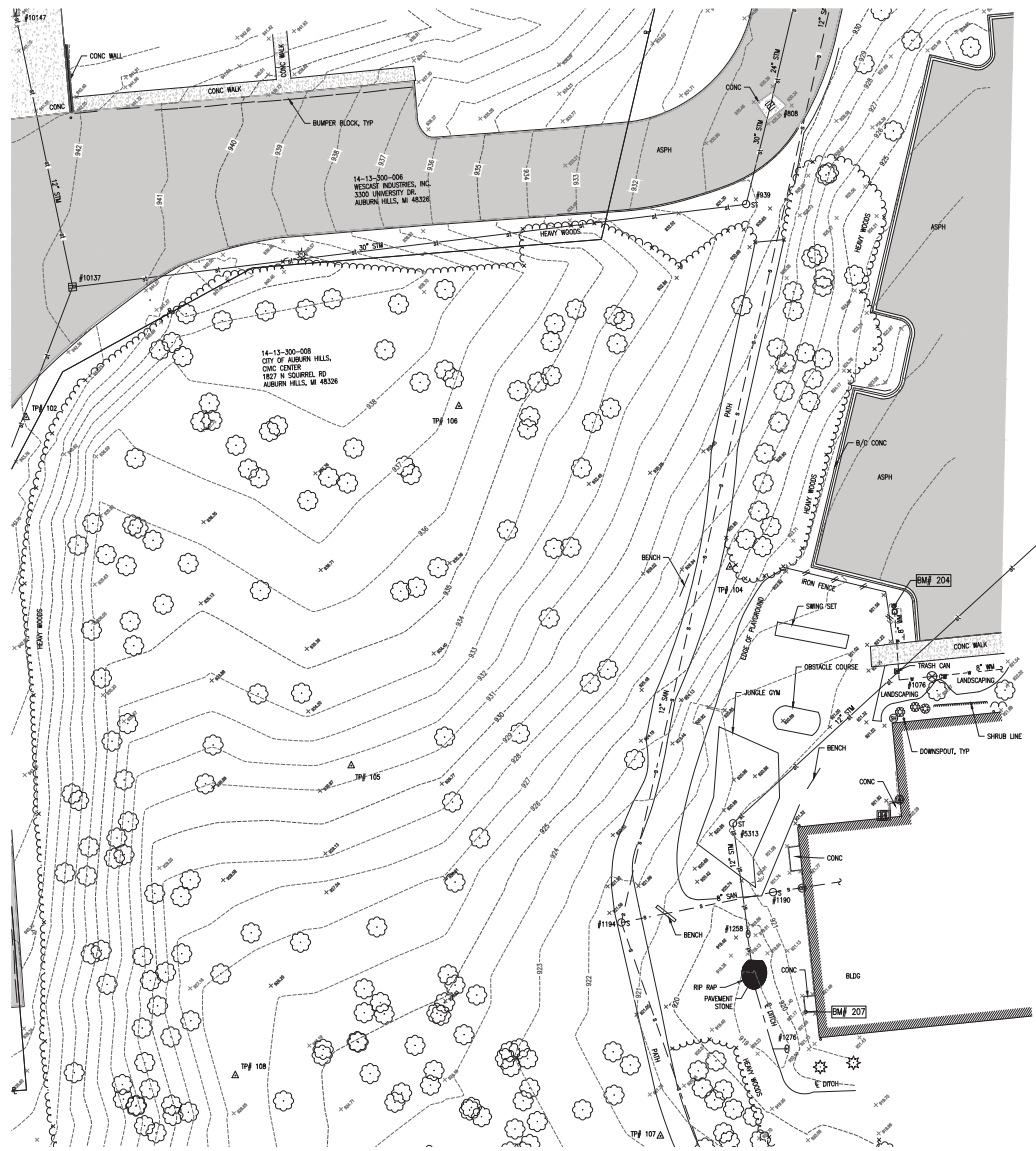
EXISTING SANITARY STRUCTURES

#1190 SANITARY MANHOLE 1/CATCH 921.75
8" RCP E 1/PIPE 914.82
8" RCP W 1/PIPE 914.82

#1104 SANITARY MANHOLE 1/CATCH 921.75
12" CLAY NE NW 908.50
12" CLAY SE NW 906.75
8" RCP E 1/PIPE 914.11

EXISTING WATER MAIN STRUCTURES

#1076 GATE WELL 1/CATCH 921.81



NOTES:

- EXISTING CONDITIONS ARE PRESENTED BASED ON TOPOGRAPHIC SURVEY BY OHM ADVISORS. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLAN SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- ONE-CALL UTILITY LOCATING MESSAGE - 811 OR 800-482-7171. CONTRACTOR SHALL OPEN AN EXCAVATION TICKET A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. WHEN MARKINGS AND FLAGS ARE DISRUPTED OR DESTROYED - CALL FOR REMARKS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES IN THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE OWNER'S REPRESENTATIVE. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE LOCATION OR DEPTH OF ANY EXISTING UTILITY SHOWN OR NOT SHOWN ON THE PROJECT DRAWINGS.

- LEGEND
- EX ASPHALT
 - EX CONCRETE PAVEMENT
 - EX CONCRETE SIDEWALK
 - EX GRAVEL
 - EX RIPRAP
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - CONIFEROUS SHRUB
 - DECIDUOUS SHRUB
 - SIGN
- EXISTING UTILITIES
- ELECTRICAL
 - GAS/OIL
 - CABLE/TELEPHONE
 - WATER MAIN
 - SANITARY SEWER
 - STORM SEWER
- UTILITY SYMBOLS
- STORM MANHOLE
 - SQUARE CATCH BASIN
 - CULVERT W/O END SECTION
 - SANITARY MANHOLE
 - CLEAN OUT
 - GATE VALVE & BOX
 - FIRE HYDRANT
 - IRRIGATION VALVE
 - GATE VALVE & WELL
 - SPRINKLER HEAD
 - LIGHT/DECOR LAMP POLE
 - GAS METER

ABBREVIATION KEY

- ASPH ASPHALT
- CB CATCH BASIN (STORM)
- CL CENTERLINE
- CONC CONCRETE
- DA DIAMETER
- ELEC ELECTRICAL
- FT FEET
- GV GATE VALVE
- IN INCHES
- MAN MANHOLE
- OHM OHM ADVISORS
- SM SANITARY SEWER / SERVICE
- STM STORM SEWER
- SVC SERVICE (WATER/SANITARY)
- WM WATER MAIN / SERVICE



GRAPHIC SCALE: HALF INCH = 20 FEET

PRELIMINARY - NOT FOR CONSTRUCTION

SIDWELL # 14-13-300-008



CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION
3350 E SEVIER DR. AUBURN HILLS, MI 48326

EXISTING CONDITIONS



REFER TO SHEET L-141 - TREE PROTECTION PLAN

Tag Number	Diameter (DI)	Botanical Name	Common Name	Condition	Protected (P) Non-Protected (NP)	Landmark (L) Not (N)	Save (S) Remove (R)
11	10	Carpinus caroliniana	American Hornbeam	Good	P		S
20	28	Quercus rubra	Red Oak	Good	P	L	x
21	12	Juglans nigra	Black Walnut	Good	P		x
27	27	Quercus rubra	Red Oak	Fair	P	N (condition)	x
115	22	Populus deltoides	Eastern Cottonwood	Fair	NP (species)		x
207	25	Populus deltoides	Eastern Cottonwood	Fair	NP (species)	N (species)	S
3001	7 / 7 / 11 / 11	Acer negundo	Box Elder	Very Poor	NP (species)		S
3003	13	Acer negundo	Box Elder	Fair	NP (species)		S
3004	13	Prunus serotina	Black Cherry	Fair	P		S
3005	6	Prunus serotina	Black Cherry	Fair	P		S
3006	11	Acer negundo	Box Elder	Fair	NP (species)		S
3009	9	Populus grandidentata	Big-Tooth Aspen	Good	NP (species)	x	S
3010	11	Ulmus pumila	Siberian Elm	Poor	NP (species)	x	x
3011	7	Acer negundo	Box Elder	Fair	NP (species)	x	x
3012	6	Ulmus pumila	Siberian Elm	Dead	NP (species)		x
3013	6	Prunus serotina	Black Cherry	Good	P	x	x
3014	16	Quercus rubra	Red Oak	Fair	P	x	x
3017	8	Carya cordiformis	Bitternut Hickory	Good	P	x	x
3018	10	Prunus serotina	Black Cherry	Fair	P	x	x
3019	14	Acer negundo	Box Elder	Fair	NP (species)		S
3019	10	Acer negundo	Box Elder	Fair	NP (species)		S
3020	9	Prunus serotina	Black Cherry	Fair	P		S
3021	15	Prunus serotina	Black Cherry	Fair	P		S
3022	17	Quercus rubra	Red Oak	Good	P		S
3024	11	Acer negundo	Box Elder	Fair	NP (species)		S
3026	6	Malus sp	Crab Apple	Fair	P		S
3027	35	Quercus rubra	Red Oak	Fair	P	N (condition)	S
3028	9	Prunus serotina	Black Cherry	Fair	P		x
3033	12	Quercus rubra	Red Oak	Fair	P		x
3037	26	Quercus rubra	Red Oak	Fair	P	N (condition)	x
3041	6	Acer negundo	Box Elder	Fair	NP (species)	x	x
3042	7	Ulmus rubra	Red Elm	Fair	P	x	x
3044	7 / 8	Acer negundo	Box Elder	Fair	NP (species)	x	x
3046	4 / 6	Malus sp	Crab Apple	Fair	P		S
3048	9	Acer negundo	Box Elder	Very Poor	NP (species)		S
3050	14	Quercus rubra	Red Oak	Good	P		S
3053	14	Quercus rubra	Red Oak	Good	P		S
3054	6	Carya cordiformis	Bitternut Hickory	Fair	P		x
3055	14	Prunus serotina	Black Cherry	Fair	P		S
3057	20	Acer negundo	Box Elder	Fair	NP (species)		S
3058	10	Acer negundo	Box Elder	Fair	NP (species)		S
3059	9	Acer negundo	Box Elder	Fair	NP (species)		S
3064	13	Malus sp	Crab Apple	Fair	P	x	x
3067	10	Carpinus caroliniana	American Hornbeam	Good	P	x	x
3072	9	Juglans nigra	Black Walnut	Good	P		S
3073	9	Tilia americana	American Basswood	Good	P		S
3077	9	Carpinus caroliniana	American Hornbeam	Good	P		S
3610	6	Tilia americana	American Basswood	Good	P		S
3912	20	Tilia americana	American Basswood	Good	P		S
3920	30	Quercus rubra	Red Oak	Good	P		S

Tag Number	Diameter (DI)	Botanical Name	Common Name	Condition	Protected (P) Non-Protected (NP)	Landmark (L) Not (N)	Save (S) Remove (R)
3022	16	Tilia americana	American Basswood	Good	P		S
3022	22	Carya cordiformis	Bitternut Hickory	Good	P		S
3033	13	Acer negundo	Box Elder	Fair	NP (species)		S
3033	10	Acer negundo	Box Elder	Fair	NP (species)		S
3036	9 / 12	Acer negundo	Box Elder	Fair	NP (species)		S
3085	6	Prunus serotina	Black Cherry	Good	P		S
3091	5	Carya cordiformis	Bitternut Hickory	Good	P		S
3092	36	Quercus rubra	Red Oak	Fair	P		S
3093	11	Acer negundo	Box Elder	Fair	NP (species)	L	S
3094	7	Prunus serotina	Black Cherry	Good	P		S
3091	12	Populus deltoides	Eastern Cottonwood	Good	NP (species)		S
3004	6 / 7 / 10 / 14	Tilia americana	American Basswood	Good	P	x	S
3021	6	Carya ovata	Shagbark Hickory	Good	P		S
3022	4 / 11 / 12	Tilia americana	American Basswood	Good	P		S
3023	4 / 6	Carya cordiformis	Bitternut Hickory	Good	P		S
3026	28	Quercus rubra	Red Oak	Good	P	L	x
3030	13	Tilia americana	American Basswood	Good	P	x	x
3031	8	Tilia americana	American Basswood	Good	P	x	x
3032	7.8	Tilia americana	American Basswood	Good	P	x	x
3036	8	Tilia americana	American Basswood	Good	P	x	x
3037	8	Prunus serotina	Black Cherry	Fair	P	L	x
3045	28	Quercus rubra	Red Oak	Good	P	N (condition)	x
3047	29	Quercus rubra	Red Oak	Fair	P	x	x
3047	8 / 11	Acer negundo	Box Elder	Fair	NP (species)	x	x
3049	30	Quercus rubra	Red Oak	Good	P	L	x
3051	32	Quercus rubra	Red Oak	Good	P	L	x
3054	29	Quercus rubra	Red Oak	Good	P	L	x
3056	7	Prunus serotina	Black Cherry	Good	P		x
3062	24	Quercus rubra	Red Oak	Fair	P	N (condition)	x
3063	6	Prunus serotina	Black Cherry	Good	P		x
3064	29	Quercus rubra	Red Oak	Good	P	L	x
3065	7	Quercus rubra	Red Oak	Good	P	L	x
3070	35	Quercus rubra	Red Oak	Good	P	L	x
3070	35	Quercus rubra	Red Oak	Fair	NP (condition)	N (condition)	x
3071	6	Prunus serotina	Black Cherry	Fair	P	x	x
3076	7	Carya cordiformis	Bitternut Hickory	Good	P	x	x
3077	6	Carya cordiformis	Bitternut Hickory	Good	P	x	x
3078	17	Carya cordiformis	Bitternut Hickory	Good	P		S
3079	6	Prunus serotina	Black Cherry	Good	P		S
3080	7 / 8	Acer negundo	Box Elder	Fair	NP (species)		S
3081	14	Acer negundo	Box Elder	Fair	NP (species)		S
3082	10 / 19	Acer negundo	Box Elder	Fair	NP (species)		S
3083	10	Acer negundo	Box Elder	Fair	NP (species)		S
3086	8	Prunus serotina	Black Cherry	Fair	P	x	x
3089	7	Prunus serotina	Black Cherry	Good	P		S
3091	9 / 11	Acer negundo	Box Elder	Fair	NP (species)		S
3092	4 / 8 / 8 / 19	Acer negundo	Box Elder	Fair	NP (species)		S
3093	13	Acer negundo	Box Elder	Fair	NP (species)		S
3095	9	Prunus serotina	Black Cherry	Fair	P		S
3096	12	Prunus serotina	Black Cherry	Fair	P		x
3097	6	Prunus serotina	Black Cherry	Fair	P		x

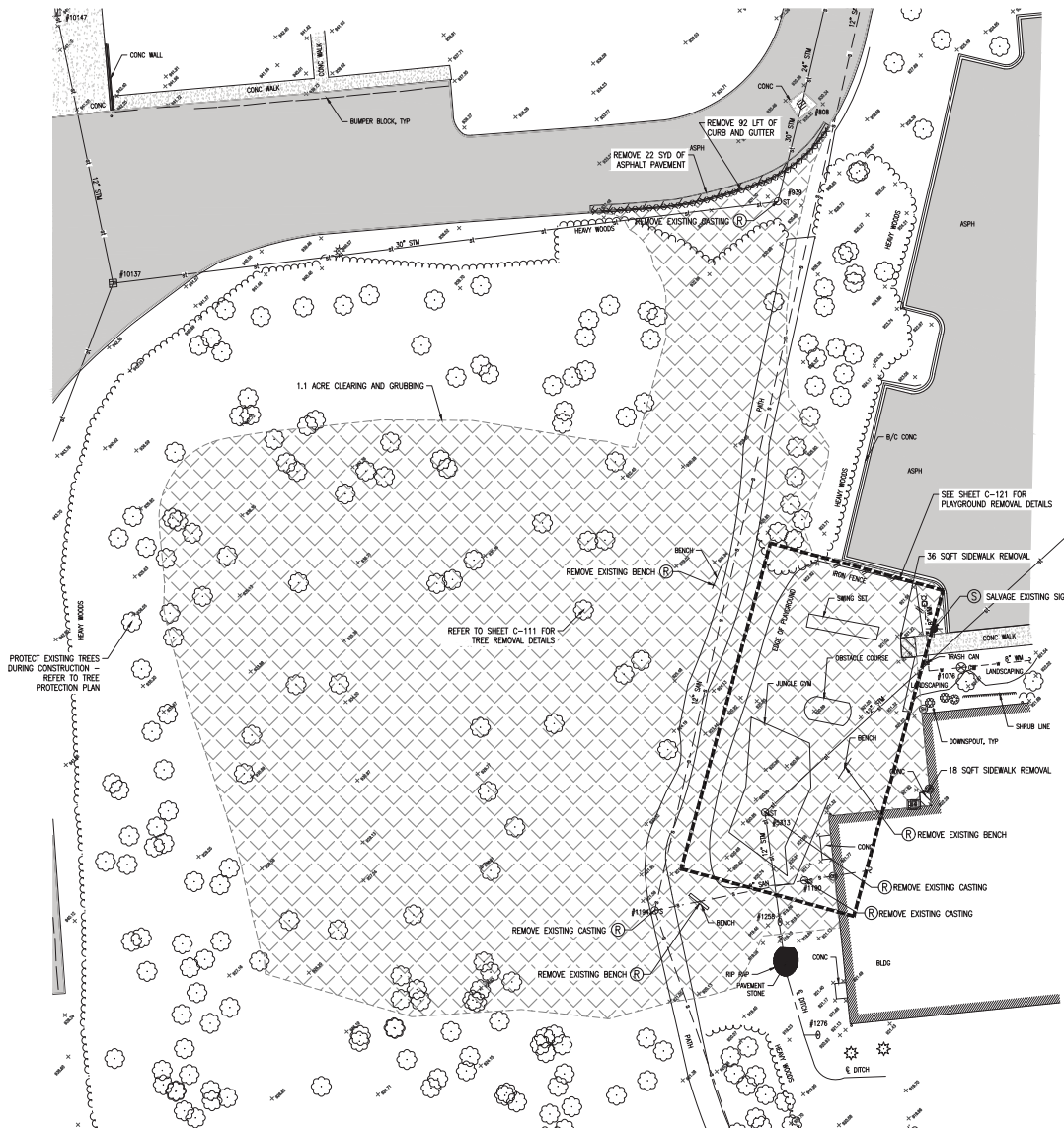


PRELIMINARY - NOT FOR CONSTRUCTION
SIDWELL # 14-13-300-008

PROJECT NUMBER: 19111
DATE: 09/04/2020
CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION
3350 E SEYBURN DR., AUBURN HILLS, MI 48326

TREE SURVEY

C-111



1. ALL DEMOLITION SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
2. STAGING AND PHASING OF DEMOLITION AND CONSTRUCTION SHALL BE COORDINATED WITH OWNER PRIOR TO WORK BEGINNING.
3. SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK COMMENCING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEAN-UP, NOISE CONTROL, DUST CONTROL, AND STREET/PARKING LOT SWEEPING AS SPECIFIED IN THE CONTRACT DOCUMENTS.
5. ONE-CALL UTILITY LOCATING: MESSAGE - 811 OR 800-482-7171. CONTRACTOR SHALL OPEN AN EXCAVATION TICKET A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. WHEN MARKINGS AND FLAGS ARE DISRUPTED OR DESTROYED - CALL FOR RE-MARKING.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES IN THE PLANS. THE CONTRACTOR SHALL VERIFY THE DEPTH OF ELECTRICAL CONDUIT BEFORE SCARIFYING GRAVEL SURFACE AND PROTECT IN PLACE DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY ELECTRICAL CONDUIT DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE OWNER'S REPRESENTATIVE. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE LOCATION OR DEPTH OF ANY EXISTING UTILITY SHOWN OR NOT SHOWN ON THE PROJECT DRAWINGS.
8. ALL TREES LARGER THAN 8" DIA. WITHIN THE CONSTRUCTION AREAS SHALL BE PROTECTED FROM DAMAGE, UNLESS IDENTIFIED FOR REMOVAL. TREES IDENTIFIED FOR REMOVAL SHALL INCLUDE THE COMPLETE REMOVAL OF THE STUMP AT NO ADDITIONAL COST TO THE OWNER.
9. ALL PAVEMENT TO BE REMOVED SHALL BE SAW CUT TO THE FULL DEPTH TO PROVIDE A SMOOTH VERTICAL EDGE AND TO PROTECT ADJACENT SURFACES FROM DAMAGE.
10. TOPSOIL STRIPPING.
11. STRIP THE FULL DEPTH OF TOPSOIL ONLY FROM THOSE AREAS THAT WILL BE DISTURBED BY EXCAVATION, FILLING, CONSTRUCTION, OR COMPACTION BY EQUIPMENT.
12. STOCKPILE: TOPSOIL, WITHOUT INTERMIXING WITH ANY OTHER MATERIAL - BORROW TOPSOIL TO REPLACE MATERIAL CONTAMINATED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
13. TEMPORARY STABILIZATION OF THE STOCKPILE(S) SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF THE FORMATION OF THE STOCKPILE, IF IT IS TO REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN THIRTY (30) DAYS.
14. TEMPORARY STOCKPILES: PROTECTIVE MEASURES SHALL BE INCORPORATED BY THE CONTRACTOR TO ENSURE SAFETY AND CONTROL EROSION ASSOCIATED WITH THE TEMPORARY STOCKPILES.
15. DISPOSAL: ALL DEMOLITION AND REMOVED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF-SITE IN ACCORDANCE TO ALL FEDERAL, STATE, AND LOCAL HAULING AND DISPOSAL REGULATIONS UNLESS DIRECTED OTHERWISE BY THE OWNER. DISPOSAL IN WETLANDS AND FLOODPLAINS IS PROHIBITED. BURNING ON-SITE IS PROHIBITED.

REMOVAL LEGEND

- SIDEWALK REMOVAL
- HMA SURFACE REMOVAL
- PAVEMENT REMOVAL
- CLEARING AND GRUBBING
- CURB AND GUTTER, REM
- SIGN, REM
- SALVAGE
- BULKHEAD
- ABANDON
- CLEARING
- REMOVE
- RELOCATE
- RECONSTRUCT
- RELOCATE BY OTHERS
- ADJUST BY OTHERS

SEE SHEET L-141 - TREE PROTECTION PLAN FOR TREE REMOVALS



Know what's below.
Call before you dig.



PRELIMINARY - NOT FOR CONSTRUCTION

SIDWELL # 14-13-300-008

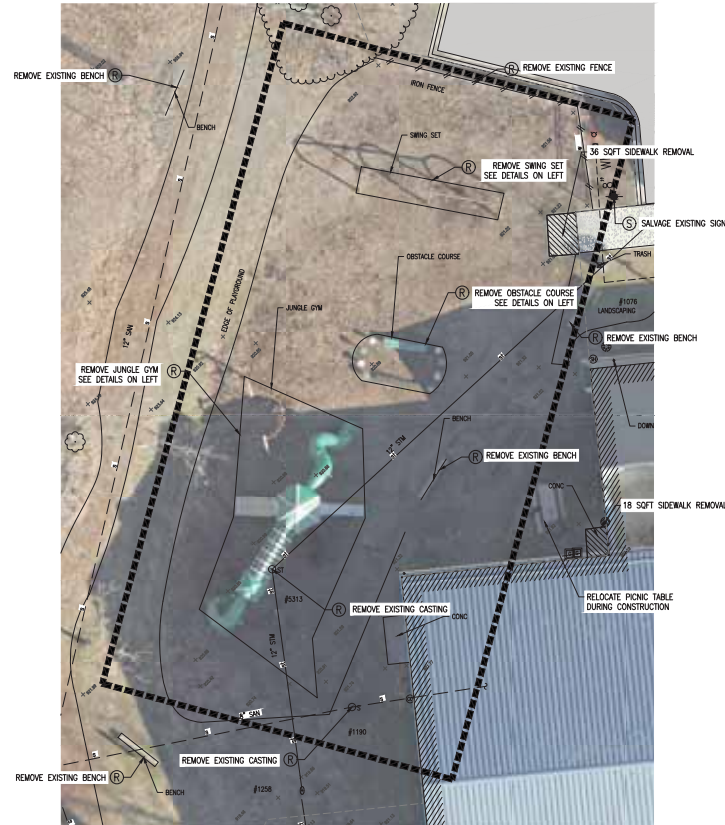


DESIGNED FOR: SEE PLAN MATERIALS SECTION DATE: 08/20/2018

PROJECT NUMBER: 0120-24-005







CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION
3350 E SEVYBURN DR. AUBURN HILLS, MI 48326

DEMOLITION AND REMOVAL PLAN



- ALL DEMOLITION SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
2. STAGING AND PHASING OF DEMOLITION AND CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER PRIOR TO WORK BEGINNING. THE WORK SHALL BE PHASED TO MINIMIZE THE IMPACT TO THE ADJACENT PROPERTY AND TO ANY DEMOLITION WORK COMMENCING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEAN-UP, NOISE CONTROL, DUST CONTROL, AND STAFF/PARKING LOT MAINTENANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.
4. ONE-CALL UTILITY LOCATIONS: MISSISSIPPI - 811 OR 800-482-7171. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION TICKET A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. WHEN MARKINGS AND FLAGS ARE DISRUPTED OR DESTROYED CALL 811 IMMEDIATELY.
5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. UNDER CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES IN THE PLANS. THE CONTRACTOR SHALL ADVISE THE OWNER OF ANY DISCREPANCIES IN THE PLANS PRIOR TO ANY EXCAVATION. IF DISCREPANCIES ARE NOT DISCOVERED PRIOR TO EXCAVATION, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY ELECTRICAL CONDUIT DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR AT HIS OWN RISK SHALL BE RESPONSIBLE TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE IN THE NOTES OR DIRECTED BY THE OWNER'S REPRESENTATIVE. THE OWNER AND ENGINEER ASSUME NO LIABILITY FOR THE COMPLETENESS OR ACCURACY OF THE INFORMATION TO THE DEPTH OF ANY UTILITY SHOWN OR NOT SHOWN ON THESE PLANS.
7. ALL TREES LARGER THAN 6" DIA. WITHIN THE CONSTRUCTION AREAS SHALL BE PROTECTED FROM DAMAGE. UNLESS IDENTIFIED OTHERWISE, TREES IDENTIFIED FOR REMOVAL SHALL INCLUDE THE COMPLETE REMOVAL OF THE STUMP AT NO ADDITIONAL COST TO THE OWNER.
8. ALL PAYMENT TO BE REMOVED SHALL BE SAW CUT TO THE FULL DEPTH TO PROVIDE A SMOOTH VERTICAL EDGE AND TO CONSTRUCT ADJACENT SURFACES FROM DAMAGE.
9. TOPSOIL SETBACK:
- A. STRIP THE FULL DEPTH OF TOPSOIL ONLY FROM THOSE AREAS THAT WILL BE DISTURBED BY EXCAVATION, FILLING, OR CONSTRUCTION OF CONCRETE OR OTHER MATERIAL.
- B. STOCKPILE TOPSOIL WITHOUT INTERMIXING WITH ANY OTHER MATERIAL - BORROW TOPSOIL TO REPLACE MATERIAL CONTAMINATED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
10. TEMPORARY STABILIZATION OF THE STOCKPILE(S) SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF THE FORMATION OF THE STOCKPILE(S) TO PREVENT EROSION AND TO PREVENT WIND-DRIVEN PARTICLES FROM BEING BLOWN OFF THE STOCKPILE(S).
11. TEMPORARY STOCKPILES: PROTECTIVE MEASURES SHALL BE INCORPORATED BY THE CONTRACTOR TO ENSURE SAFETY AND CONTROL EROSION ASSOCIATED WITH THE TEMPORARY STOCKPILES.
12. DISPOSAL: ALL DEMOLITION AND REMOVED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, REGULATIONS UNLESS DIRECTED OTHERWISE BY THE OWNER. DISPOSAL IN WETLANDS AND FLOODPLAINS IS PROHIBITED. BURNING ON-SITE IS PROHIBITED.

REMOVAL LEGEND

	SIDWALK REMOVAL
	HMA SURFACE REMOVAL
	PAVEMENT REMOVAL
	CLEARING AND GRUBBING
	CURBS AND GUTTER, REM
	SIGN, REM
(S)	SALVAGE
(B)	BULKHEAD
(A)	ABANDON
(C)	CLEARING
(R)	REMOVE
(REL)	RELOCATE
(RED)	RECONSTRUCT
(REL B/D)	RELOCATE BY OTHERS
(ADJ B/D)	ADJUST BY OTHERS



Know what's below.
Call before you dig.

**PRELIMINARY - NOT
FOR CONSTRUCTION**

SIDWELL # 14-13-300-008

JOB BENCHMARK #204
ARROW ON FIRE HYDRANT IN THE
NORTH EAST CORNER OF AUBURN HILLS
COMMUNITY CENTER PLAZARD.
ELEV 925.19

JOB BENCHMARK #207
CHISELED SQUARE ON SOUTH WESTERN
CORNER OF CONCRETE PAD IN THE
SOUTHWEST CORNER OF THE AUBURN
HILLS COMMUNITY CENTER.
ELEV 922.21

TRAVELER POINT #102
N 42841.43
E 1342025.81 ELEV 943.66

TRAVELER POINT #104
N 42836.46
E 1342015.00 ELEV 925.20

TRAVELER POINT #105
N 42826.71
E 1342008.67 ELEV 931.74

TRAVELER POINT #106
N 42842.24
E 1342020.31 ELEV 925.70

TRAVELER POINT #107
N 428172.49
E 1342002.25 ELEV 921.83

TRAVELER POINT #108
N 428163.10
E 1342047.12 ELEV 926.17

EXISTING STORM STRUCTURES

#108 SQ CATCH BASIN 1' CAST 930.21
24" RCP NE NW 919.72
30" RCP NW NW 921.00

#109 STORM MANHOLE 1' CAST 931.31
30" RCP NE NW 930.82
30" RCP NE NW 930.77

#1258 ROUND CULVERT
12" CUP N NW 917.75

#1274 ROUND CULVERT

PVC E NW 918.01

#1313 STORM MANHOLE 1' CAST 930.73

12" RCP S NW 917.65
12" RCP NE NW 917.65

#10137 SQ CATCH BASIN 1' CAST 941.63

12" RCP N NW 930.31

#10147 SQ CATCH BASIN 1' CAST 941.30

12" RCP S NW 930.31

EXISTING SANITARY STRUCTURES

#1180 SANITARY MANHOLE 1' CAST 921.75

8" RCP E 1/PIPE 914.92
8" RCP W 1/PIPE 914.92

#1194 SANITARY MANHOLE 1' CAST 921.75

12" CLAY NE NW 908.03
12" CLAY SE NW 908.75
8" RCP E 1/PIPE 914.11

EXISTING WATER MAIN STRUCTURES

#1076 GATE WELL 1' CAST 921.81

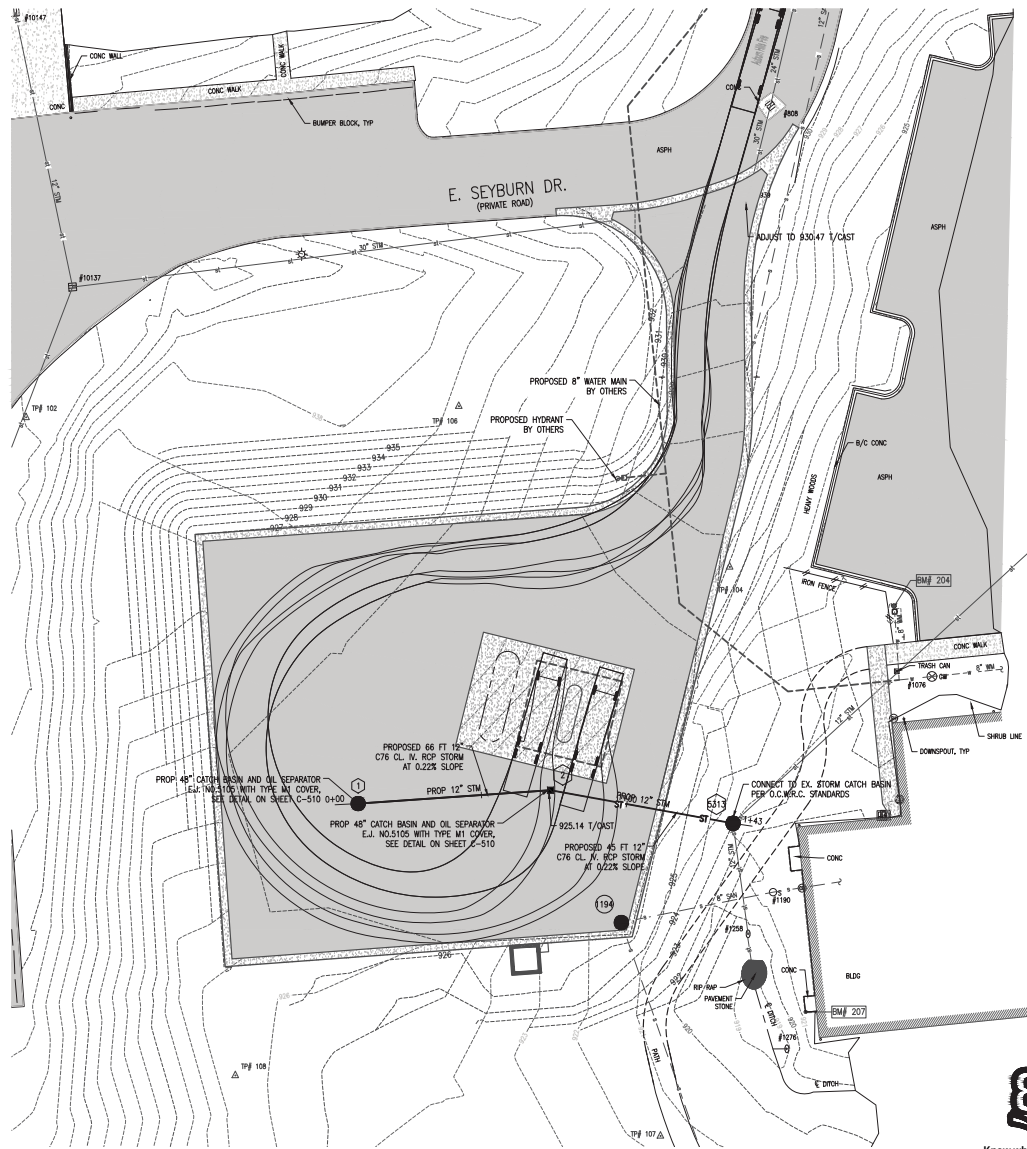
NOTE: COVER OVER EXISTING AND PROPOSED
SANITARY SEWER MUST BE A MINIMUM OF 4'

NOTE: COVER OVER EXISTING AND PROPOSED
STORM SEWER MUST BE A MINIMUM OF 2.5'

NOTE: COVER OVER EXISTING AND PROPOSED
WATER MAIN MUST BE A MINIMUM OF 5.5'

ULTIMATE STORM SEWER OUTLET:
GALLOWAY CREEK

FULL FLOW CAPACITY OF
EXISTING 12 INCH OUTLET - 1.43 CFS



CITY OF AUBURN HILLS STANDARD NOTES:

- CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS
- NO WORK SHALL BE PERFORMED WITHOUT INSPECTION
- A PERMIT FROM THE CPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE ROW
- ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
- WORKING HOURS (INCLUDING RAINING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNDAY TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.
- ALL MATERIALS AND MANUFACTURES SHALL CONFORM TO THE STANDARD DETAILS.
- UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.
- UTILITY STRUCTURES SHALL BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
- FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT." "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
- WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURBS, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
- 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & MCCLIMENT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, BARRICADES, STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

FIRE DEPARTMENT NOTES

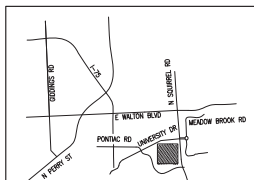
- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS SHALL BE PAINTED ACCORDING TO THE FOLLOWING:
 - WHITE ON 4" MANS
 - RED ON 5" MANS
 - ORANGE ON 8" MANS
 - GREEN ON 12" MANS
 - BLUE ON 16" MANS OR LARGER
- NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WIDE PAVED DRIVEWAY OR STREET.
- GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICE, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERRECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
- A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

EXISTING	PROPOSED
EX ASPHALT	CURB AND GUTTER, SPILLOUT
EX CONCRETE PAVEMENT	CURB AND GUTTER, STD
EX CONCRETE SIDEWALK	ASPHALT
EX GRAVEL	CONCRETE
EX RIPRAP	SQUARE INLET/CATCH BASIN

UTILITY SYMBOLS	
CONFERIOUS TREE	STORM MANHOLE
DECIDUOUS TREE	SQUARE CATCH BASIN
CONFERIOUS SHRUB	CULVERT W/O END SECTION
DECIDUOUS SHRUB	SANITARY MANHOLE
SIGN	CLEAN OUT
	GATE VALVE & BOX
	FIRE HYDRANT
	IRRIGATION VALVE
	GATE VALVE & WELL
	SPRINKLER HEAD
	LIGHT/DECOR LAMP POLE
	GAS METER



Know what's below.
Call before you dig.



LOCATION MAP
Not to Scale

PRELIMINARY - NOT FOR CONSTRUCTION

SIDWELL # 14-13-300-008



ARCHITECTS ENGINEERS PLANNERS
OHM ADVISORS.COM

CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION
3350 E SEYBURN DR. AUBURN HILLS, MI 48326
ENGINEERING PLAN

C-140

JOB BENCHMARK #204
ARROW ON FIRE HYDRANT IN THE
NORTH EAST CORNER OF AUBURN HILLS
COMMUNITY CENTER PLAYGROUND.
ELEV 954.19

JOB BENCHMARK #207
CHIEFED SQUARE ON SOUTH WESTERLY
CORNER OF CONCRETE PAD IN THE
SOUTHWEST CORNER OF THE AUBURN
HILLS COMMUNITY CENTER.
ELEV 922.21

TRAVERSE POINT #102
N 430417.81 ELEV 943.66
E 1343025.81 ELEV 943.66

TRAVERSE POINT #104
N 43066.46 ELEV 925.20
E 1343015.09 ELEV 925.20

TRAVERSE POINT #105
N 43086.71 ELEV 931.74
E 1343008.67 ELEV 931.74

TRAVERSE POINT #106
N 43061.24 ELEV 935.70
E 1343023.31 ELEV 935.70

TRAVERSE POINT #107
N 430872.49 ELEV 921.83
E 1343050.25 ELEV 921.83

TRAVERSE POINT #108
N 430183.10 ELEV 926.17
E 1343047.12 ELEV 926.17

BENCHMARK ELEVATIONS NOTE:
BENCHMARK ELEVATIONS SHOWN ON
THESE PLANS ARE BASED ON
NAVD83 DATUM.



LEGEND

B/C BACK OF CURB
EA EDGE OF ASPH
ES EDGE OF SHOULDER
G GUTTER
EW EDGE OF WALK
T/CAST TOP OF CAST
HP/LP HIGH POINT/LOW POINT

PROPOSED

CURB AND GUTTER, SPILLOUT
CURB AND GUTTER, STD
ASPHALT
CONCRETE
SQUARE INLET/CATCH BASIN

GRADING

FLOW DIRECTION
EXISTING SPOT GRADE
749.25 FG PROPOSED SPOT GRADE
885 EXISTING CONTOUR
840 PROPOSED CONTOUR



Know what's below.
Call before you dig.

GRAPHIC SCALE: HALF INCH = 10 FEET
0 10 20 30 40 50

PRELIMINARY - NOT FOR CONSTRUCTION
SHEET # 14-13-300-008



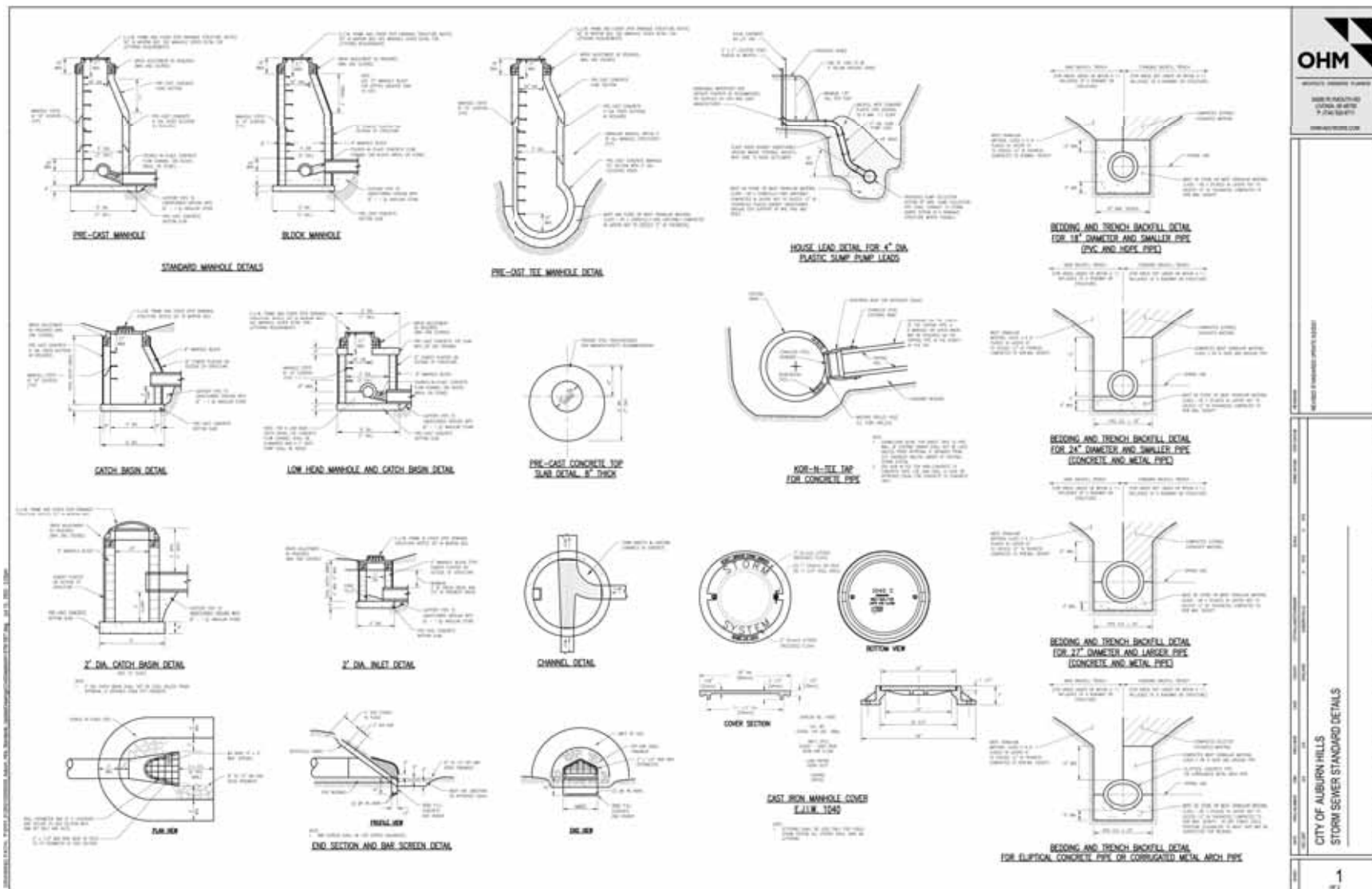
DESIGNED FOR: SEE PLAN APPROVAL
REVISION: 08-20-2017

CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION
3350 E SEYBURN DR. AUBURN HILLS, MI 48326

GRADING PLAN

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C-170



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FOR CONSTRUCTION**
SIDWELL / 14-13-300-008

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CITY OF AUBURN HILLS STORM SEWER STANDARD DETAILS

C-510



ENTER WINN NOTES

800.448.2622

- [illegible]



OHM

— ASSOCIATED BUILDERS PLANNING —

DESIGNED BY NARCISSE AND
A. SCHWAB, ARCHITECTS
P.O. BOX 100000

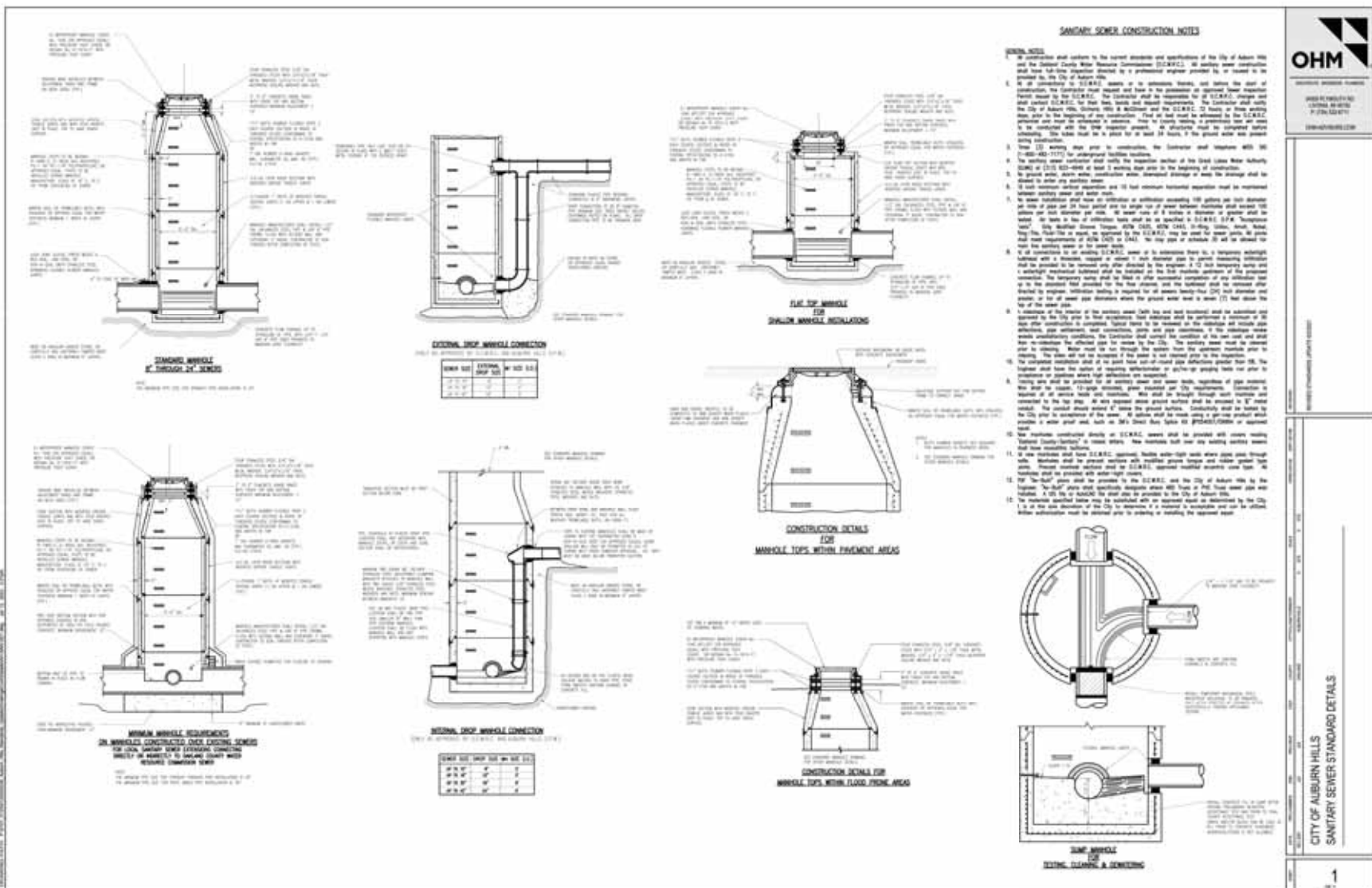
2004-2005 DESIGN CONCEPT

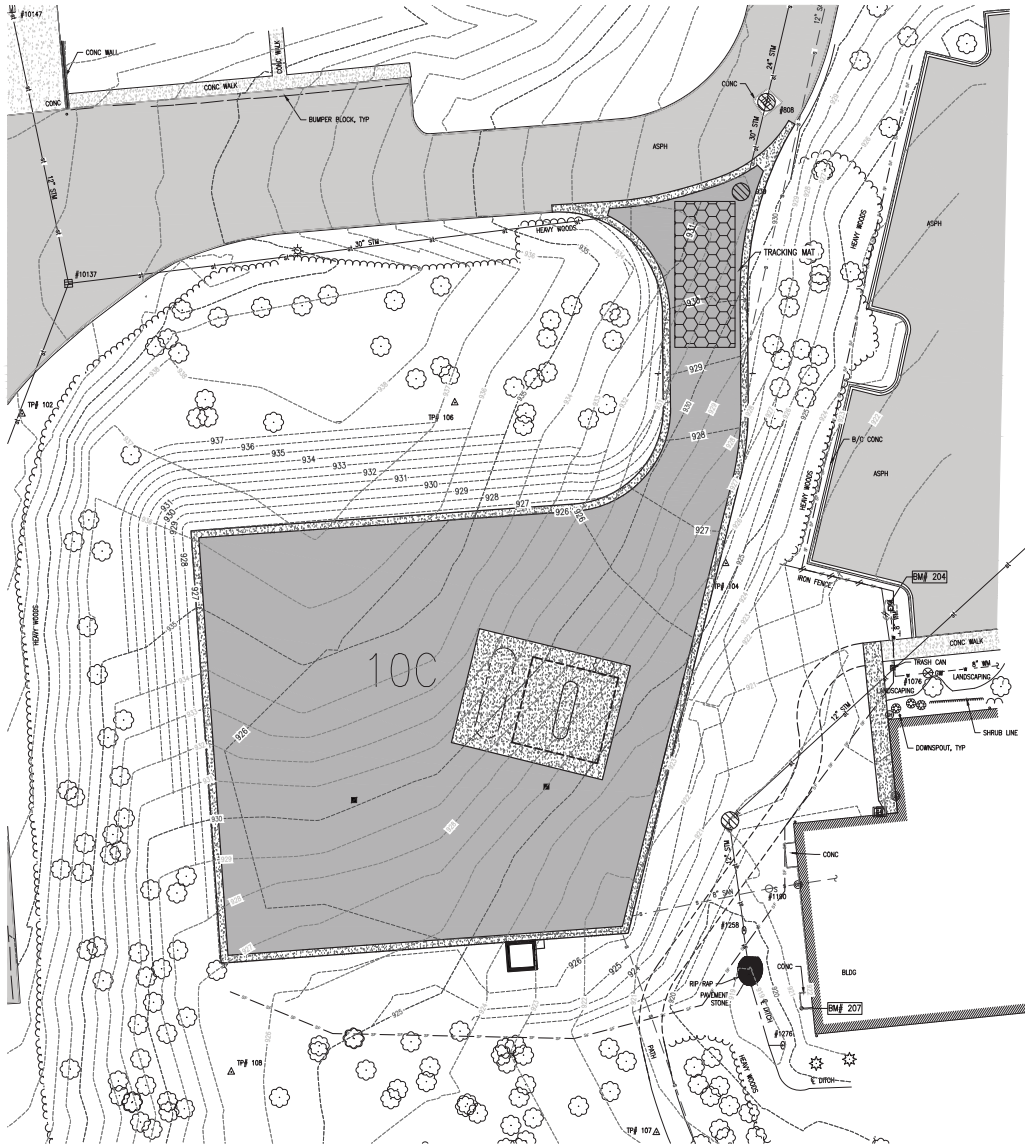
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DATE	WELL NUMBER	DEP	WELL TYPE	STATUS
1-1-00		FEET		
CITY OF AUBURN HILLS				
WATER MAIN STANDARD DETAILS				

3

**PRELIMINARY - NOT
FOR CONSTRUCTION**
SIDWELL 14-13-300-008





--- SILT FENCE
 (Symbol) INLET FILTER

SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE

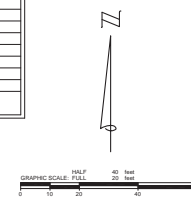
IN ACCORDANCE WITH RULE 1709 PROMULGATED UNDER THE AUTHORITY OF PART 91, SOIL EROSION AND SEDIMENTATION CONTROL, OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT, 1994 PA 451, AS AMENDED, AND IN ADDITION TO THE INFORMATION IN THE PROJECT PLANS AND SPECIFICATIONS, THE FOLLOWING GENERAL CONDITIONS APPLY TO THE EARTH CHANGE AUTHORIZED BY THIS DOCUMENT:

1. DESIGN, CONSTRUCT, AND COMPLETE THE EARTH CHANGE IN A MANNER THAT LIMITS THE EXPOSED AREA OF DISTURBED LAND FOR THE SHORTEST PERIOD OF TIME.
2. REMOVE SEDIMENT CAUSED BY ACCELERATED SOIL EROSION FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH CHANGE.
3. TEMPORARY OR PERMANENT CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED TO CONVEY WATER AROUND, THROUGH OR FROM THE EARTH CHANGE AT A NON-EROSIVE VELOCITY.
4. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING LANDSCAPING DURING THE WARRANTY PERIOD. AFTER THE WARRANTY HAS EXPIRED, THE PERMANENT SESS MEASURES WILL BE MAINTAINED BY THE OWNER'S REPRESENTATIVE AS APPROPRIATE.

USGS SOIL ABBREVIATION	SOIL DESCRIPTION
10C	WARTLE SANDY LOAM 6 TO 12 PERCENT SLOPES

SOIL EROSION AND SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV
TEMPORARY EROSION CONTROL MEASURES											
CLEARING A TREE REMOVAL											
STRIP & STOCKPILE TOPSOIL / GRADING											
SITE UTILITY CONSTRUCTION											
ADJUSTABLE BRIDGE, CURB & PREMENT											
PERMANENT EROSION CONTROL MEASURES											
FINISH GRADING, LANDSCAPING & RESTORATION											
SOIL STABILIZATION AND CLEAN UP											

SOIL EROSION AND SEDIMENTATION CONTROL MAINTENANCE SCHEDULE						
TASK	FREQUENCY	TRACKING MAT	SILT FENCE	VEGETATION	INLET FILTERS	DETENTION
INSPECT FOR SEDIMENT ACCUMULATION	WEEKLY	X	X		X	X
REMOVE ACCUMULATED SEDIMENT	AS NEEDED		X		X	X
INSPECT FOR FLUSHWAYS AND BARRIERS	WEEKLY				X	X
REMOVE FLUSHWAYS AND BARRIERS	AS NEEDED				X	X
INSPECT FOR PERMIT CONFORMANCE	AFTER RAIN	X	X		X	X
RESTORE TO PERMIT CONFORMANCE	AS NEEDED	X	X		X	X
INSPECT FOR SOIL EROSION	AFTER RAIN			X		
RESTORE TO PREVENT EROSION	AS NEEDED			X		
SCRAPE STREET/DRIVES	DAILY					
SWEEP STREET/DRIVES	WEEKLY					



811
 Know what's below.
 Call before you dig.

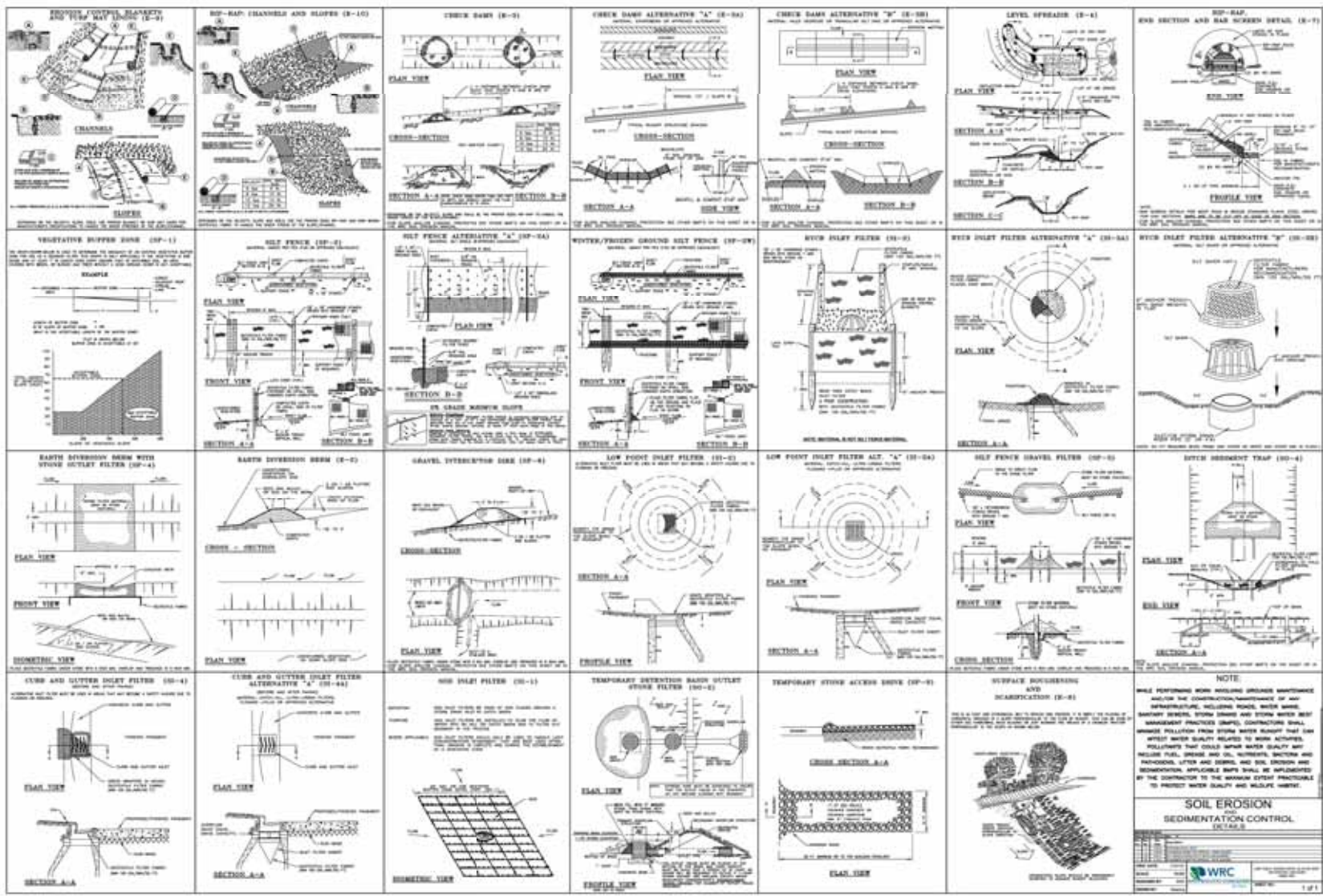
PRELIMINARY - NOT
 FOR CONSTRUCTION
 SOWELL # 14-13-300-008

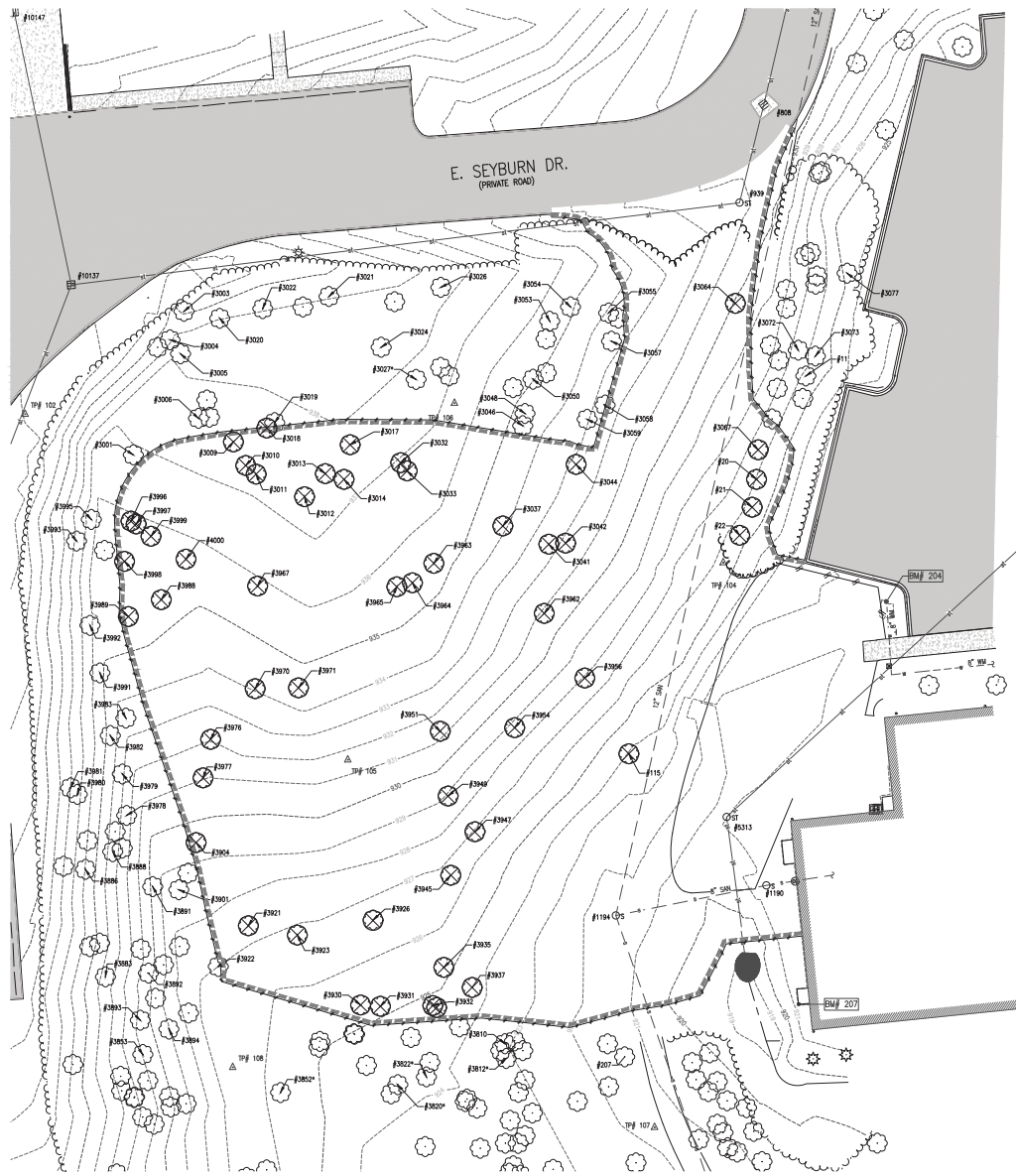


DESIGNED FOR: SEE PLAN, LANDSCAPE ARCHITECT	DATE
CHECKED FOR: SEE PLAN, LANDSCAPE ARCHITECT	DATE
DATE	DATE

CITY OF AUBURN HILLS
 CITY CAMPUS FUELING STATION
 3350 E SEVYBURN DR, AUBURN HILLS, MI 48326
 SOIL EROSION AND SEDIMENTATION CONTROL PLAN

C-701





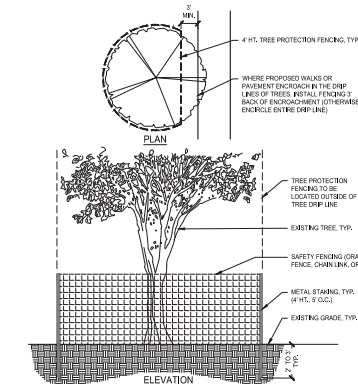
TREE PROTECTION LEGEND

- TREE PROTECTION FENCING - SEE DETAIL THIS SHEET
- REFER TO SHEET C-111 - TREE SURVEY
- SURVEYED TREE TO REMAIN
- TREE TO BE REMOVED

CITY OF AUBURN HILLS TREE PROTECTION NOTES

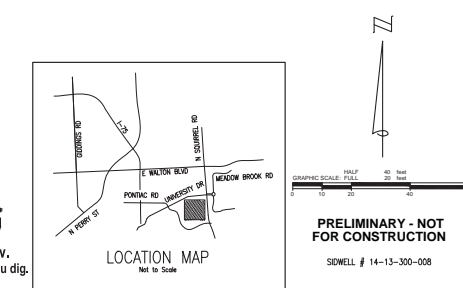
- IDENTIFY ON SITE ALL TREES OR AREAS OF TREES WHICH ARE BEING PROPOSED TO BE PRESERVED WITH FLUORESCENT ORANGE SPRAY PAINT (CHALK BASE) OR BY RED FLAGGING TAPES.
- ERECT BARRIERS OF FOUR (4) FOOT HIGH FENCING STAKED WITH METAL "T-POSTS" FIVE (5) FEET ON CENTER OF ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN.
- PROTECTIVE BARRIERS ARE TO BE ERECTED PRIOR TO ANY CLEARING OR GRUBBING ON THE SITE AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
- KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER.
- DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE FENCE LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, BOLLERS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
- NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.

ROOT ZONES OF PARTICULARLY HIGH VALUE LANDMARK TREES NOTED WITH ASTERISKS (*) ON THE PLAN ARE NOT TO BE DISTURBED.

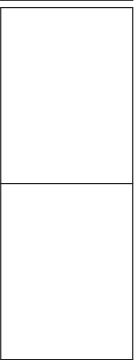


- NOTES:
- ALL TREE PROTECTION SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES. RESPECTIVE SHALL BE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
 - MINIMAL CONSTRUCTION ACTIVITY SHALL TAKE PLACE WITHIN THE DRIP LINE OF ANY TREE TO REMAIN (GRADING, ORIGINAL MATERIAL STORAGE, ETC).
 - ANY REQUIRED SEGMENT AND EROSION CONTROL MEASURES SHALL BE LOCATED OUTSIDE THE TREE PROTECTION FENCING.
 - NO MATERIALS OR EQUIPMENT STORAGE OR VEHICLE PARKING IS PERMITTED WITHIN TREE PROTECTION FENCING.
 - MAINTAIN PROTECTION FENCING FOR THE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL PROTECT EXISTING TREES ADJACENT TO REMAIN AND BE RESPONSIBLE FOR DAMAGE FROM CONSTRUCTION ACTIVITIES.
 - DAMAGE TO EXISTING TREES TO REMAIN SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.

TREE PROTECTION NOT TO SCALE



Know what's below.
Call before you dig.



DESIGNED FOR: SEE PLAN, LANDSCAPE ARCHITECT	DESIGNATION	DATE

PROJECT NUMBER: 14-13-300-008
DATE: 03-20-2015

CITY OF AUBURN HILLS
CITY CAMPUS FUELING STATION
3350 E. SEYBURN DR., AUBURN HILLS, MI 48326

TREE PROTECTION PLAN

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L-141

1. STRIP TOPSOIL FROM EXISTING LAWN AREAS WITHIN PROJECT WORK LIMITS EXCEPT IN TREE PROTECTION ZONES. REMOVE ALL GRASS, WEEDS, OR VEGETATION OVER THE AREA BEFORE STRIPPING.
2. ASSUMED EXISTING TOPSOIL AVERAGE DEPTH IS 6 INCHES.
3. DO NOT STRIP TOPSOIL DEEPER THAN 6 INCHES. IF SOIL IS STONY, MUDDY, OR EXCESSIVELY WET, TOP SURFACE TO BE REMOVED TO A MINIMUM DEPTH OF 2 INCHES. REMOVE STONES LARGER THAN 1-1/2 INCHES IN ANY DIMENSION AND STICKS, ROOTS, BRUMBS, AND OTHER EXTRANEOUS MATERIAL, AND LEGALLY DISPOSE OF THEM OFF THE PROJECT SITE. PLACE TOPSOIL TO A DEPTH OF 6" AFTER COMPACTION AND GRADE TOPSOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. ROLL AND REMOVE RIDGES, AND FLAT PRESSURES TO MEET FINISH GRADES.
4. EXCESS TOPSOIL TO BE LEGALLY REMOVED FROM SITE.
5. COST FOR ALL WORK, LABOR, EQUIPMENT, AND MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE FOR THIS ITEM.

1. WORK SHALL INCLUDE FURNISHING AND PLACING PLANTING SOIL IN PROPOSED PLANTING BEDS PER PLANTING DETAILS.
2. FURNISHED PLANTING SOIL SHALL MEET THE FOLLOWING REQUIREMENTS. PROVIDE TEST REPORT.

- 2A. LOOSE, FRACTION, NATURAL, FERTILE SOIL, FREE OF STONES, CLAY LUMPS, ROOTS, AND FOREIGN OR TOXIC MATTER. MIX SHALL BE CLASSIFIED IN THE "USDA SOIL TEXTURAL TRIANGLE. THE FRACTION PASSING THE #10 SIEVE SHALL MEET THE FOLLOWING MECHANICAL ANALYSIS:
- 10% TO 20% CLAY,
60% TO 75% SAND,
20% TO 30% SILT.
- 2B. CONTAIN 5-15% ORGANIC MATTER AS DETERMINED BY LOSS OF IGNITION OF SAMPLES OVEN DRYED TO CONSTANT WEIGHT AT 212 DEG F.
- 2.C HAVE A PH LEVEL BETWEEN 6.3 AND 7.5.
- 2.D BE SCREENED THROUGH A 1-1/4" SCREEN.

3. PLACING PLANTING SOIL OVER/UPON SUBGRADE: APPLY MANUFACTURED SOIL, ON-SITE IN ITS FINAL BLENDED CONDITION, DO NOT PLACE MATERIALS OR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MOIST, OR EXCESSIVELY MUD. TILL SUBGRADE TO A MINIMUM OF 4 INCHES (10 CM) DEEP AND 4 INCHES (10 CM) WIDE. REMOVE ALL STONES, LIMESTONE, LIMESTONE CHIPS, AND OTHER EXCESSIVE MATERIAL, AND LEGALLY DISPOSE OF THEM OFF PROJECT SITE. WHERE PROPOSED TPOF DEPTHS ARE GREATER THAN 6 INCHES, APPLY PLANTING SOIL IN LIFTS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH. SPREAD TPOF TO DEPTH OF TPOF, OR EXCESSIVELY MUD; GRADE PLANTING SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE, ROOT AND HAWK, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
4. PROTECTION: PROTECT AREAS IN-PLACE SOIL FROM ADDITIONAL COMPACTION, DISTURBANCE, AND CONTAMINATION. IF TPOF OR SUBGRADE IS EXPOSED TO COMPACTION, DISTURBANCE, OR CONTAMINATION, REMOVE EXPOSED MATERIALS OR LIQUIDS, REMOVE THE TPOF AND CONTAMINATION, RESTORE THE SUBGRADE, AND REPLACE COMPACTIONED SOIL WITH NEW PLANTING SOIL.

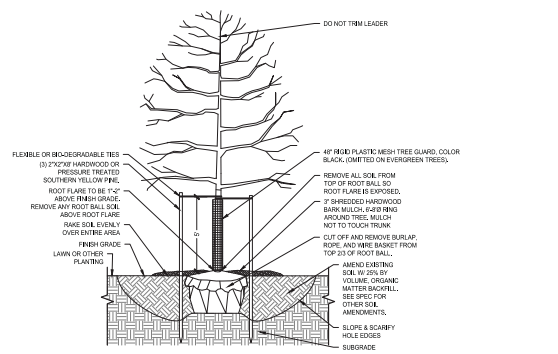
1. EXCEPT AS MODIFIED HEREIN, WORK SHALL INCLUDE SEEDING AND MULCHING PROPOSED LAWN AND DISTURBED LAWN AREAS.
2. PROVIDE SEED OF GRASS SPECIES AS LISTED BELOW, WITH NOT LESS THAN 85% GERMINATION, NOT LESS THAN 95% PURE SEED, AND NOT MORE THAN 0.5% WEED SEED. PROPORTIONED MIX BY WEIGHT AS FOLLOWS:

- SEED MIX
- 70-30 TURF TALL FESCUE (MINIMUM OF 4 CULTIVARS)
- 20-30C SCORPION BLUEGRASS (PAPA PRATENSIS)
3. SEED SOWING RATE: 5-8 LB/100 SQ. FT.
4. SEEDING: SOW WITH SPREADER OR SEEDING MACHINE, EVENLY DISTRIBUTE SEED BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS. SEEDING RATE: 1/2 LB. PER 100 SQ. FT. OF SEED. SEED THAT IS MOISTLY OR DAMAGED, RATE SEED LIGHTLY INTO TOP 1/8" OF SOILS, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
5. SEED PROTECTION: PROTECT SEEDING AREA BY SPREADING STRAW, SPREAD UNIFORMLY TO FORM A CONTINUOUS 1-1/2" BLANKET IN THICK LAYERS. ANCHOR STRAW BY CHAIRING INTO SOIL OR BOND WITH ASPHALT EMULSION.
6. MAINTENANCE: MAINTAIN ESTABLISHED LAWN FORKED FERTILIZER, NITROGEN, 3% PHOSPHORUS, AND 0.5% POTASH BY WEIGHT (18-24-6), OR SIMILAR APPROVED COMPOSITION, APPLY AT MANUFACTURER'S RECOMMENDED RATE.
7. MAINTENANCE: MAINTAIN AND ESTABLISH SEEDING LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIBRANT LAWN. PROVIDE THOROUGHLY WATERING TO KEEP SEED BED MOIST AND SOIL COOL. WATER LAWN FREQUENTLY TO KEEP SOIL MOIST AT A MINIMUM RATE OF 1 INCH PER WEEK UNLESS RAINFALL PRECIPITATION IS ADEQUATE. MOW TURF AS SOON AS TROPIC GROWTH IS TALL ENOUGH TO CUT. REFRAIN MOWING TO MAINTAIN SPECIFIED HEIGHT WITHOUT CUTTING MORE THAN ONE-THIRD OF GRASS HEIGHT. DO NOT DELAY MOWING UNTIL GRASS BECOMES 4 INCHES OR MORE TALL. DO NOT MOW WHEN GRASS IS WET. SCHEDULE LATE AND SUBSEQUENT MOWINGS TO MAINTAIN A GRASS HEIGHT OF 2 TO 3 INCHES.
8. 30 DAYS AFTER SEEDING: PROVIDE A POST 30 DAY FERTILIZER CONTAINING 3% NITROGEN, 3% PHOSPHORIC ACID, AND 10% POTASH BY WEIGHT (18-24-6), OR SIMILAR APPROVED COMPOSITION, APPLY AT MANUFACTURER'S RECOMMENDED RATE.
9. SATISFACTORY SEEDING LAWN: AT TIME OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT ABOVE ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES. USE SPECIFIED MATERIALS TO REESTABLISH LAWN THAT DOES NOT COMPLY WITH SPECIFICATIONS FOR MAINTENANCE.
10. COST FOR ALL WORK, LABOR, EQUIPMENT, AND MATERIAL, SHALL BE INCLUDED IN THE UNIT PRICE FOR THIS ITEM.

1. PROVIDE ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS CONSISTING OF:
100% DOUBLE SHREDDED HARDWOOD BARK MULCH WITH NO FILLERS OR COMPOST.
3 INCHES MAXIMUM, 1/2" MINIMUM SIZE RANGE.
NATURAL COLOR (NO DYES).
2. COST FOR ALL WORK, LABOR, EQUIPMENT, AND MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE FOR THIS ITEM.

THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING AS FOLLOWS:

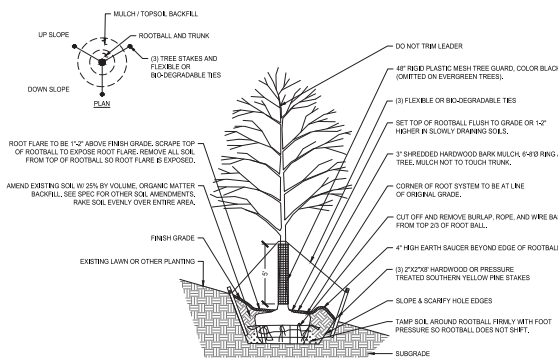
- [illegible]



NOTE

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| <p>NOTES:</p> <p>1. THOROUGHLY TILL AREA EQUAL TO 3 TIMES THE DIAMETER OF THE ROOT BALL AND TO THE DEPTH OF THE ROOT BALL PRIOR TO TILLING. REMOVE ANY EXISTING LAWN OR VEGETATION.</p> <p>2. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).</p> <p>3. HANDLE THE TREE BY ROOT BALL ONLY, DO NOT LIFT OR LEVERAGE TREE BY TREE TRUNK.</p> | | <p>4. BACKFILL AROUND TREE WITH TILLED SOIL AND "WATER IN BACKFILL IN 1" LIFTS TO SETTLE THE BACKFILL. INSTALL SACKS OF MULCH DEEPER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.</p> <p>5. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN BRANCHES ONLY, AND SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS.</p> <p>6. REMOVE STAKES AND BRACE TREES AFTER ONE YEAR, UNLESS DIRECTED OTHERWISE.</p> | |
|--|--|---|--|

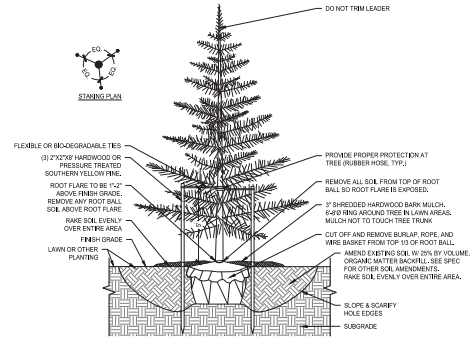
NOT TO SCALE



NOTE

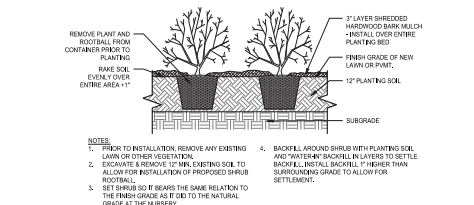
- NOTES:
1. THOROUGHLY TILL AREA EQUAL TO 2.5 TIMES THE DIAMETER OF THE ROOT BALL MIN. AND TO THE DEPTH OF THE ROOT BALL, PRIOR TO TILLING. REMOVE ANY EXISTING OR NEW VEGETATION.
 2. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).
 3. HANDLE THE TREE BY ROOTBALL ONLY. DO NOT LIFT OR MOVE TREE BY TRUNK.
 4. BACKFILL AROUND TREE WITH TILLED SOIL, AND "WATER IN" BACKFILL IN 4" LAYERS TO SETTLE IN BACKFILL. INSTALL BACKFILL 1' HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.
 5. PRUNE DEAD, DISEASED, OR BROKEN LIMBS ONLY IN ACCORDANCE WITH ANSI Z20.1.
 6. REMOVE STAKES AND FLEXIBLE TIES AFTER ONE YEAR, UNLESS DIRECTED OTHERWISE.

NOT TO SCALE

NO⁺

- NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 2. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE IT TO FACE NORTH AT THE SITE (WHENEVER POSSIBLE).
 3. PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN A LANDSCAPE ARCHITECT.
 4. THE PLANTING HILL AREA EQUALS TO 3 TIMES THE DIAMETER OF THE ROOT BALL AND TO THE DEPTH OF THE ROOT BALL, PRIOR TO INSTALL. REMOVE ANY EXISTING LAWN OR VEGETATION.
 5. THE PLANTING HILLS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).
 6. HANDLE THE TREE BY ROOT BALL AND DO NOT LIFT OR LEVERAGE TREE BY TRUNK.
 7. BACKFILL AROUND TREE WITH TILLED SOIL AND "WATER IN BACKFILL" IN 1" LIFTS TO SETTLE IN BACKFILL. INSTALL BACCOLL "H" ANDER BACCOLL "H" TO PROTECT THE ROOT BALL.
 8. PRUNING SHALL BE LIMITED TO DEAD, DISEASED OR BROKEN LIMBS.
 9. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 10. REMOVE EXISTING ROOTS PRIOR TO EACH YEAR, UNLESS DIRECTED OTHERWISE.

NOT TO SCALE



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NOT TO SCALE

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DISSEMINATED, OR DISCLOSED WITHOUT PRIOR WRITTEN CONSENT OF CHM

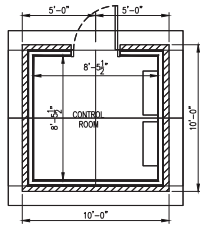
ISSUED FOR SITE PLAN APPROVAL	2015/09/04
REVISION	DATE
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WORK OF OHW AND THE SAME MAY NOT BE DUPLICATED.

BEIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED

LS
NG STATION
MI 48326

LANDSCAPE DETAILS



1 CONCEPTUAL FLOOR PLAN - CONTROL ROOM
1/4" = 1'-0"

GENERAL PROJECT INFORMATION:
USE: U (SINGLE USE)
TYPE OF CONSTRUCTION: VB

CONTROL BUILDING:
GROSS FLOOR AREA: 100 S.F.
USABLE FLOOR AREA: 71.5 S.F.
NON-SPRINKLERED
PEAK HEIGHT: 12'-4"
BUILDING HEIGHT: 10'-8"

FUELING CANOPY:
AREA UNDER ROOF: 900 S.F. (GROSS)
SUPPRESSED PER FUELING STATION REQUIREMENTS
PEAK: 22'-0"
BUILDING HEIGHT: 22'-3"

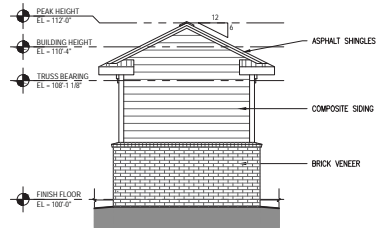
ANY MODIFICATIONS TO THE FACADE PLAN (INCLUDING COLOR) MUST BE RESUBMITTED TO THE CITY OF AUBURN HILLS FOR REISED APPROVAL. THE USE OF NEON, FLAGS, OR ANY OTHER TYPE OF UNAPPROVED SIGNAGE SHALL BE PROHIBITED PER SITE PLAN REVIEW.



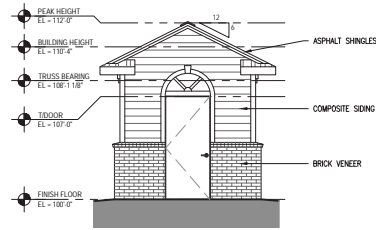
A EXISTING COMMUNITY CENTER
NONE



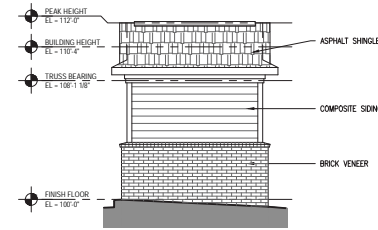
B EXISTING COMMUNITY CENTER
NONE



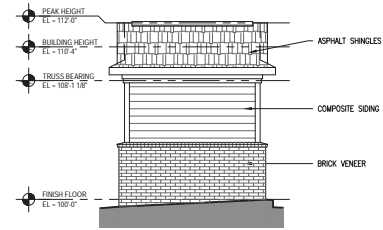
2 SOUTH ELEVATION
1/4" = 1'-0"



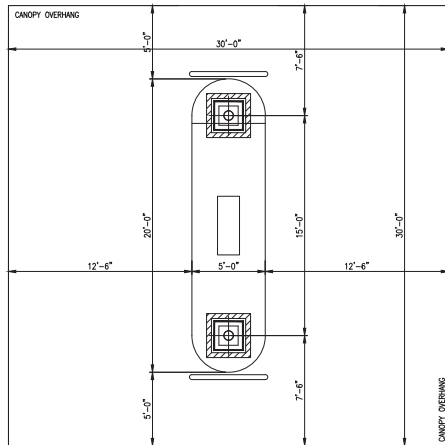
3 NORTH ELEVATION
1/4" = 1'-0"



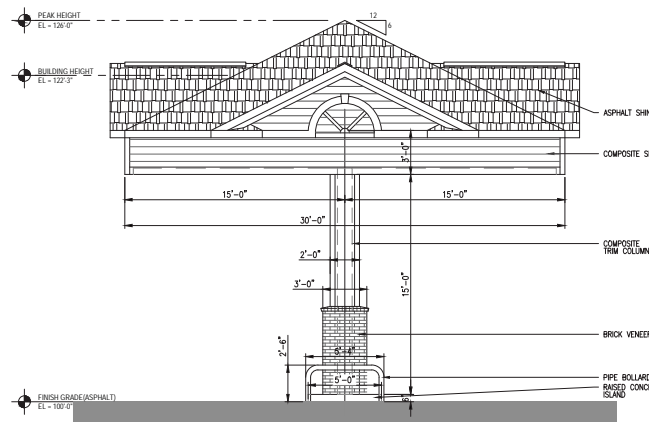
4 EAST ELEVATION
1/4" = 1'-0"



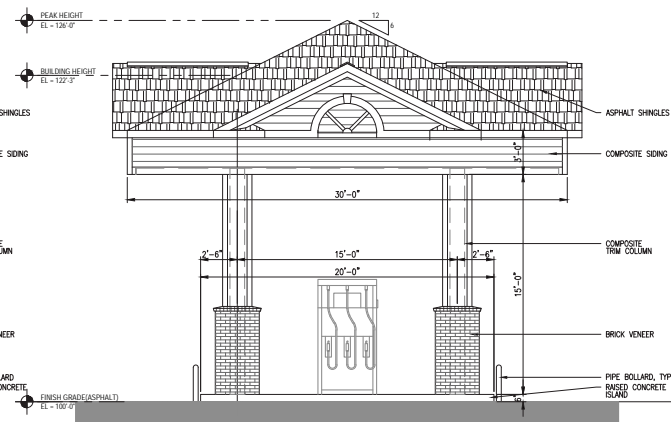
5 WEST ELEVATION
1/4" = 1'-0"



6 CONCEPTUAL FLOOR PLAN - CANOPY
1/4" = 1'-0"



7 NORTH & SOUTH ELEVATION
1/4" = 1'-0"



8 EAST & WEST ELEVATION
1/4" = 1'-0"



CITY OF AUBURN HILLS

PLANNING COMMISSION AGENDA

MEETING DATE: SEPTEMBER 10, 2025

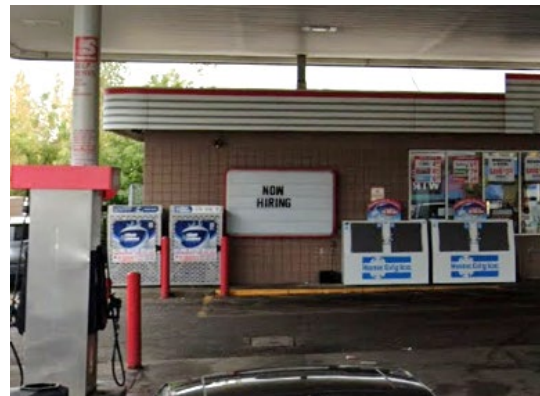
AGENDA ITEM NO 5b.

COMMUNITY DEVELOPMENT

To: Chairperson Greg Ouellette and the Planning Commission
From: Steven J. Cohen, AICP, Director of Community Development
Submitted: September 4, 2025
Subject: Text Amendment to the Zoning Ordinance
Public Hearing / Motion - Recommendation to City Council for approval of a text amendment to amend Article IX. B-2, General Business Districts of the Zoning Ordinance

INTRODUCTION AND HISTORY

The attached revision to the Zoning Ordinance has been drafted to permit the outdoor storage of ice chests and propane tanks at gasoline service stations, provided they are screened from view with a masonry enclosure. Although the outdoor storage and sale of merchandise and materials are prohibited at gasoline service stations, the issue has become an ordinance enforcement challenge for the City, as these bulky items are often pushed outside by proprietors over time to create more space inside the convenience store for selling food, beverages, and merchandise. Conditions evolve, and these items are often placed on the sidewalk in front of the convenience store, which the Zoning Ordinance prohibits.



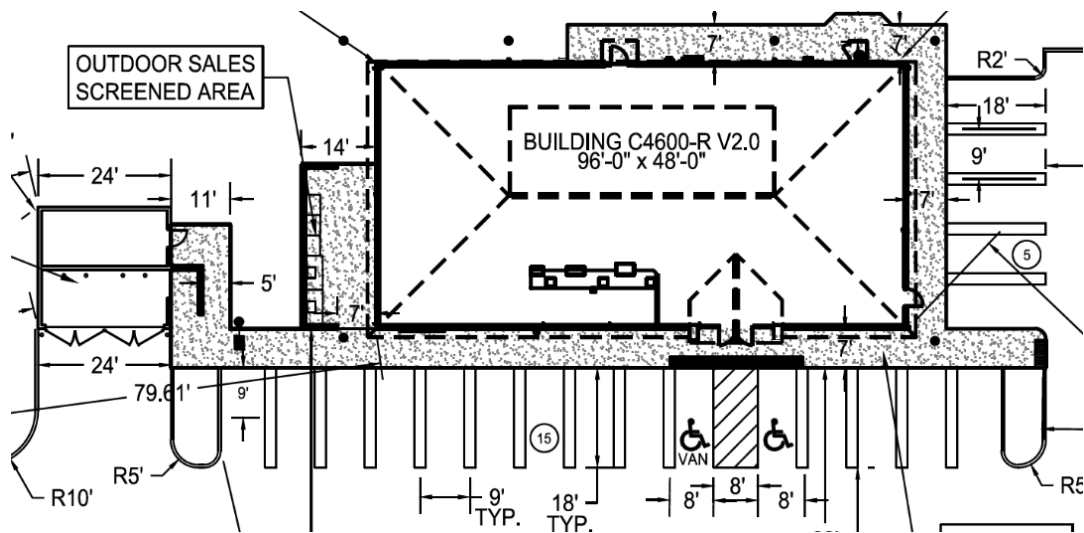
This text amendment has been proposed to proactively address the condition shown in the photos above, where site conditions evolve over time and equipment is placed outside on the sidewalk of the convenience store.

In 2019, Speedway proposed the enclosure solution outlined in this ordinance amendment to the Zoning Board of Appeals for its University Drive store, which was well-received. The City Council approved the project a few months later, but, unfortunately, that rebuild project was a casualty of the COVID-19 pandemic and did not move forward. The same solution was proposed via the Planned Unit Development Option for a new Speedway (2019), later changed to Mobil (2024), on the west side of Joslyn near I-75. That project is preparing to begin construction.

Proposed Amendment:

All storage of material, merchandise, and equipment shall be within the building, with the exception that a screened outdoor sales enclosure area may be provided for patrons to access immediately adjacent to the convenience store. The walls of the enclosure shall be designed with masonry material to match the retail store building façade and shall be at least one (1) foot taller than the items stored. Items stored within the screened outdoor sales enclosure area shall be limited to ice chests and propane tanks. All propane storage and handling shall comply with applicable state and local fire and building codes.

INTRODUCTION AND HISTORY (cont.)



Example design of a screened outdoor sales enclosure area

STAFF RECOMMENDATION

Staff recommends approval. City Attorney Brittney Ellis has reviewed and found the proposed text amendment acceptable from a legal standpoint. Staff believes this amendment is a good solution for these businesses, whether new or retrofitted, to address ice and propane tank sales in a clean and orderly way.

RECOMMENDED ACTION

Move to recommend to the City Council approval of the enclosed Text Amendment to Article IX. B-2, General Business Districts of the Zoning Ordinance.



Planning Commission Public Notice

Meeting Date, Time, and Location:	Wednesday, September 10, 2025 at 7:00 p.m. City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Applicant:	City of Auburn Hills
Nature of the Request:	Recommendation to City Council for approval of a text amendment to amend Article IX. B-2, General Business Districts of the Zoning Ordinance.
City Staff Contact:	Steven J. Cohen, AICP Director of Community Development - 248-364-6941
<p>The proposed amendments can be inspected during regular City business hours before the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326.</p> <p>Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Steve Cohen, Director of Community Development, at the above address.</p> <p>Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 - 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.</p>	

**CITY OF AUBURN HILLS
COUNTY OF OAKLAND
STATE OF MICHIGAN
ORDINANCE NO. 25-947**

TEXT AMENDMENT TO ZONING ORDINANCE

**AN ORDINANCE TO AMEND ARTICLE IX. B-2, GENERAL
BUSINESS DISTRICTS OF THE AUBURN HILLS ZONING
ORDINANCE NO. 372 ADDRESSING THE STANDARDS FOR
GASOLINE SERVICE STATIONS**

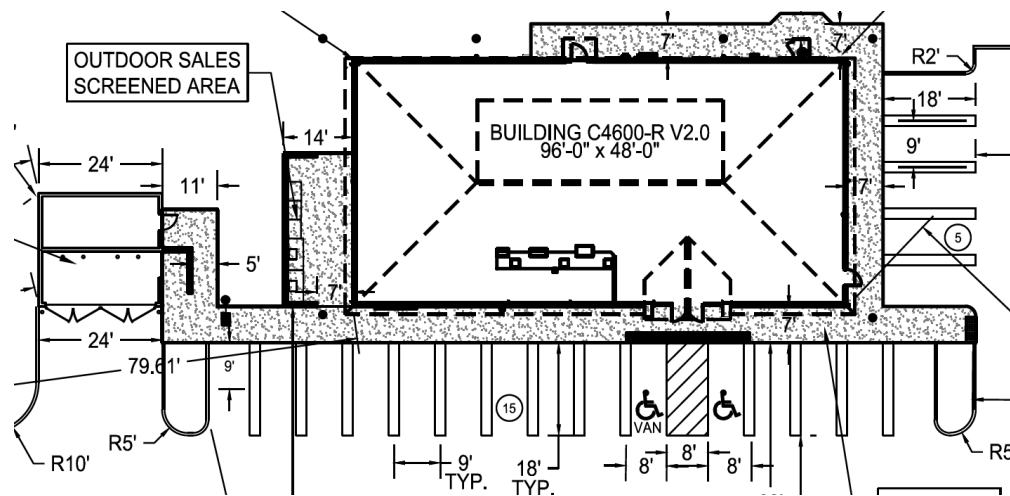
THE CITY OF AUBURN HILLS ORDAINS

Section 1.

Section 902. Special Land Uses Permitted of Article IX. B-2, General Business Districts, of Auburn Hills Zoning Ordinance No. 372, as amended, is hereby amended to revise Subsection 19 to read as follows:

19. Gasoline service stations, subject to the following provisions:
 - A. The minimum road frontage shall be one hundred and fifty (150) feet and the minimum lot area shall be one (1) net acre. The site shall be so arranged that ample space is available for vehicles which are required to wait.
 - B. Canopy structures and gasoline pumps shall be set back not less than forty (40) feet from all street right-of-way lines to allow adequate access around the pumps. Air and water hose stands and other appurtenances shall be set back not less than twenty (20) feet from all street right-of-way lines, where appropriate.
 - C. Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building. The canopy structure shall be attached to and made an integral part of the principal building, wherever possible.
 - D. Accessory auto related facilities located on the premises such as wash facilities and vehicle repair are permitted on gas service station sites, however each use must obtain a separate special land use permit as provided for in this Article and shall only be permitted on gas service station sites containing one and one-half (1½) net acres.
 - 1) Major engine and body repair, steam cleaning, and undercoating are expressly prohibited except within a completely enclosed building.

- 2) The storage of damaged or wrecked vehicles, or those waiting for minor repair or service, shall be obscured from public view in an area provided for such purpose on the site, and no vehicle of any kind shall be stored in the open for a period exceeding one (1) week. In no instance shall more than five (5) vehicles be allowed to accumulate on the site at any one (1) time, and the storage area shall be kept free of trash and debris in designed in accordance with Section 1807, Item 3, Open Storage.
- E. All storage of material, merchandise, and equipment shall be within the building, with the exception that a screened outdoor sales enclosure area may be provided for patrons to access immediately adjacent to the convenience store. The walls of the enclosure shall be designed with masonry material to match the retail store building façade and shall be at least one (1) foot taller than the items stored. Items stored within the screened outdoor sales enclosure area shall be limited to ice chests and propane tanks. All propane storage and handling shall comply with applicable state and local fire and building codes.



Example design of a screened outdoor sales enclosure area

- F. The sale or rental of new or used cars, trucks, trailers, and any other vehicles on the premises shall be prohibited.
- G. Fueling operations designed to accommodate tractor trailer trucks shall be prohibited.

Section 2. Repealer.

All Ordinances or parts of Ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. Severability.

If any section, clause, or provision of this Ordinance shall be declared to be unconstitutional, void, illegal, or ineffective by any Court of competent jurisdiction, such section, clause, or provision declared to be unconstitutional, void, or illegal shall thereby cease to be a part of this Ordinance, but the remainder of this Ordinance shall stand and be in full force and effect.

Section 4. Savings.

The proceedings pending and all rights and liabilities existing, acquired, or incurred at the time this Ordinance takes effect are saved and may be consummated according to the law when they were commenced.

Section 5. Effective Date.

The provisions of this Ordinance are hereby ordered to take effect upon publication in the manner prescribed by the Charter of the City of Auburn Hills.

Section 6. Adoption.

This Ordinance is hereby declared to have been adopted by the City Council of the City of Auburn Hills at a meeting thereof duly called and held on the 22nd day of September and ordered to be given publication in a manner prescribed by the Charter of the City of Auburn Hills.

AYES:

NAYES:

ABSTENTIONS:

STATE OF MICHIGAN)

) ss.

COUNTY OF OAKLAND)

I, the undersigned, the duly qualified Clerk of the City of Auburn Hills, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of Ordinance No. 25-947 adopted by the Auburn Hills City Council on the 22nd day of September the original of which is in my office.

LAURA PIERCE, City Clerk

DRAFT
9-04-25

MARKED UP COPY

Removed

Added

ARTICLE IX B-2, GENERAL BUSINESS DISTRICTS

PREAMBLE

The B-2 General Business Districts are intended to serve the overall shopping needs of residents both within and beyond the City including convenience, comparison and highway needs.

SECTION 900. PRINCIPAL USES PERMITTED:

In the B-2 General Business Districts no building or land shall be used and no building shall be erected except for one (1) or more of the following specified uses, unless otherwise provided for in this Ordinance:

1. Any Principal Uses Permitted in the O Office Districts or B-1 Limited Business Districts.
2. Any generally recognized retail business which supplies commodities on the premises, such as, but not limited to, groceries, meats, dairy products, baked goods or other foods, drugs, dry goods, notions or hardware, and household goods or products such as furniture, carpeting and lighting fixtures.
3. Any personal service establishment which performs services on the premises, such as, but not limited to, shoe repair shops, tailor shops, beauty parlors, or barber shops.
4. Professional offices of doctors, lawyers, dentists, chiropractors, osteopaths and similar or allied professions.
5. Banks with drive-in facilities may be permitted when said drive-in facilities are incidental to the principal function, and subject to the following conditions:
 - A. Drive-up windows shall provide at least ten (10) queuing spaces eighteen (18) feet long by ten (10) feet wide for each station. The lane containing the queuing spaces shall be separate and distinct from other access drives and maneuvering lanes for parking spaces. The queuing space lane shall have a clear width of ten (10) feet and be physically separated from access drives, maneuvering lanes and parking spaces with a landscaped area five (5) feet wide with raised curbs on all sides.
 - B. Drive-up stations shall provide at least five (5) queuing spaces eighteen (18) feet long by ten (10) feet wide for each station. The lane containing the queuing spaces shall be separate and distinct from other access drives and maneuvering lanes for parking spaces. The queuing space lane shall have a clear width of ten (10) feet and be physically separated from access drives, maneuvering lanes and parking spaces with a landscaped area five (5) feet wide with raised curbs on all sides.
6. Any retail business, service establishments or processing uses such as the following:
 - A. Any retail business whose principal activity is the sale of new merchandise in any enclosed building.
 - B. Any service establishment of an office-showroom or workshop nature of an electrician, decorator, dressmaker, tailor, shoemaker, baker, printer, upholsterer, or an establishment doing radio, television or home appliance repair, photographic reproduction, and similar establishments that require a retail adjunct.
7. Restaurants, or other places serving food or beverage (without drive-through or drive-in facilities), when located within a planned shopping center.
8. Accessory buildings and accessory uses customarily incidental to any of the above principal uses permitted.
9. Uses determined to be similar to the above principal permitted uses in accordance with the criteria set forth in Section 1827 and which are not listed below as special land uses.

(Amended: 11-11-02 per Ordinance No. 710)

(Amended: 5-15-06 per Ordinance No. 779)

SECTION 901. REQUIREMENTS FOR ALL PRINCIPAL USES:

1. All business establishments, including contractors or builders, shall be retail or service establishments dealing directly with consumers, and without wholesale outdoor storage activities on site. All goods produced on the premises shall be sold at retail on the premises where produced. Uses with incidental wholesale activities shall be considered to be Special Land Uses and shall meet the requirements of Section 1818.
2. All business, except for off-street parking and loading, shall be conducted within a completely enclosed building. No outdoor storage shall be allowed.
3. All business uses adjacent to freeway feeder roads shall meet the following additional requirements:
 - A. Barriers: All development shall be physically separated from the feeder road by a curb, planting strip or other suitable barrier. Such barrier shall effectively eliminate unchanneled vehicle ingress or egress except for authorized accessways.
 - B. Accessways: Each separate use, grouping of buildings, or grouping of uses as a part of a single planned development shall not have more than two (2) accessways from a feeder road. Such accessways shall not be located closer than three hundred (300) feet to the point of an intersection of an entrance or exit ramp baseline and the feeder road centerline. In cases where the ramp baseline and the feeder road centerline do not intersect, no accessway shall be located closer than three hundred (300) feet from point of tangency of the ramp baseline and the feeder road pavement. In those instances where properties fronting on a feeder road are of such width or are in multiple ownership, and accessways to the property cannot be provided in accordance with the minimum three hundred (300) foot distance from the intersection of feeder road and entrance or exit ramps, a marginal access road shall be provided to service such properties.
4. Cross-Access Interior Drives: Cross-access interior drives, or drives that will allow vehicles to move from one site to another without entering the frontage street, are strongly encouraged and may be required at the discretion of the City Council.

(Amended: 11-11-02 per Ordinance No. 710)

SECTION 902. SPECIAL LAND USES PERMITTED:

The following uses may be permitted under the purview of Section 1818 by the City Council, after site plan review and Public Hearing by the Planning Commission, and subject further to such other reasonable conditions which, in the opinion of the City Council, are necessary to provide adequate protection to the health, safety, general welfare, morals and comfort of the abutting property, neighborhood and City of Auburn Hills:

1. Any Principal Uses Permitted which require outdoor storage of materials or equipment. Such uses shall meet the requirements of Section 1807.
2. Funeral homes subject to the following requirements:
 - A. The site shall be so arranged that adequate assembly area is provided off-street for vehicles to be used in a funeral procession. This assembly shall be provided in addition to any required off-street parking area.
 - B. The site shall be located so as to have at least one (1) property line abutting a major thoroughfare having an existing or proposed right-of-way of at least one hundred and twenty (120) feet, and all ingress and egress for the site shall be directly onto said major thoroughfare, or an adjacent marginal access service drive.
 - C. Points of ingress and egress for the site shall be so laid out as to minimize possible conflicts between traffic on adjacent thoroughfares and funeral processions, or visitors entering or leaving the site.

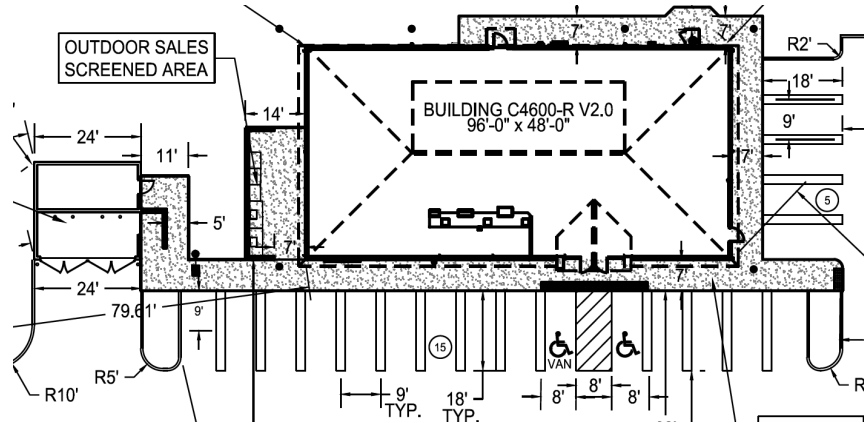
- D. No building shall be located closer than fifty (50) feet to the outer perimeter (property line) of the District when said property line abuts any residential district.
 - E. A caretaker's residence may be provided within the main building of the mortuary establishment.
 - F. Loading and unloading area used by ambulance, hearse, or other such service vehicles shall be obscured from all residential view with a solid masonry wall, fence or greenbelt in accordance with Section 1808.
3. Commercially used outdoor recreational space for adult or children's amusement parks, carnivals, rebound tumbling facilities, miniature golf course, and golf driving ranges, subject to the following:
- A. Children's amusement parks must be screened on all sides with a minimum four foot six inch (4'6") wall or other screening in accordance with Section 1808.
 - B. Rebound tumbling facilities must be fenced on all sides used for trampoline activity. Said fence shall be no less than six (6) feet high and shall have a capping which provides safety. Pits shall not exceed four (4) feet in depth, shall be drained at all times and filled with earth to grade when the use is discontinued. All manufacturer's specifications for spacing, safety and construction shall be complied with.
 - C. No loudspeaker or public address system shall be used except with City Council approval wherein it is deemed that no public nuisance or disturbance will be established.
4. Indoor Family Theaters.
5. Open air business uses when developed in a planned relationship with the B-2 General Business District such as retail sales of plant material not grown on the site, and sales of lawn furniture, playground equipment, and other garden supplies.
6. Bowling alleys, and other indoor recreation uses such as billiard parlors, pinball arcades, video arcades and similar electronic amusement devices, and racquetball courts. Such use shall be located at least one hundred (100) feet from any front, rear or side yard of any residential lot or parcel in an adjacent residential district.
7. New motels, hotels, and conference centers, or the expansion of existing motels, hotels, and conference centers, shall only be permitted in the B-2, General Business Districts via Section 1830. Planned Unit Development Option. The decision to approve a Planned Unit Development allowing a motel, hotel, and/or conference center, or the expansion of an existing motel, hotel, and/or conference center, in the B-2, General Business Districts shall be at the sole discretion of the City Council, after recommendation from the Planning Commission. An applicant shall not have the right to seek relief from this section to the Zoning Board of Appeals. Motels, hotels, and conference centers approved by the City Council in the B-2, General Business Districts before February 17, 2020 shall be considered legally conforming and subject to the Zoning Ordinance standards and conditions in effect at the time of the City approval.
8. Veterinary hospitals or clinics, provided all activities are conducted within a totally enclosed building, and provided further that no abutting property shall be zoned R, RM, MHP, or residential uses in the SP Special Purpose District.
9. Utility and public service facilities and uses (without storage yard) such as gas regulator stations and electrical substations only when operating requirements necessitate the locating of such facilities within the District in order to serve the immediate vicinity.
10. Sport stadiums or arenas, provided the following conditions are met:
- A. All planned stadium sites shall be located on parcels capable of providing paved parking for a minimum of two thousand five hundred (2,500) spectator vehicles.
 - B. All sites shall have direct access to major thoroughfares of at least one hundred and twenty feet (120') in existing or proposed right-of-way.
 - C. All sports stadiums or arenas shall be an integral part of a planned complex or integrated site plan which shall contain ancillary activities such as restaurants, hotels, motels, or offices.
11. Residential uses as part of a building in a business zone shall be allowed upon issuance of a Certificate of Occupancy from the Community Development Department, and provided that the minimum floor areas of the RM Districts shall be met.

12. Bus passenger stations and parking garages provided that parking garages are located at least two hundred (200) feet from any R, RM, MHP or residential uses in the SP Special Purpose District, and seventy-five (75) feet from the intersection of any two (2) street right-of-way lines.
13. Overnight camping facilities for tents, campers, and travel trailers shall be allowed provided the following conditions are met:
 - A. There shall be no permanent storage of tents, campers, and travel trailers; and mobile home units will not be allowed in the development.
 - B. Sanitary facilities must meet the minimum requirements of the Oakland County Health Department and any other responsible health agency.
 - C. Any commercial facility in the development must meet the requirements of Area and Bulk.
14. Trailer or automobile rental facilities.
15. Automobile laundries provided such uses shall be at least seventy-five (75) feet from the intersection of any two (2) street right-of-way lines, and two hundred (200) feet from any adjacent R, RM, or MHP District, or residential uses in the SP Special Purpose District.
16. New automobile dealerships.
17. Outdoor sales space for the exclusive sale of secondhand automobiles, travel trailers or mobile homes, subject to the following:
 - A. No major refinishing shall be done on the lot.
18. Automotive service centers, only when planned as an integral part of a larger planned shopping center.
19. Gasoline service stations, subject to the following provisions:
 - A. The minimum road frontage shall be one hundred and fifty (150) feet and the minimum lot area shall be one (1) net acre. The site shall be so arranged that ample space is available for vehicles which are required to wait.
 - B. Canopy structures and gasoline pumps shall be set back not less than forty (40) feet from all street right-of-way lines to allow adequate access around the pumps. Air and water hose stands and other appurtenances shall be set back not less than twenty (20) feet from all street right-of-way lines, where appropriate.
 - C. Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building. The canopy structure shall be attached to and made an integral part of the principal building, wherever possible.
 - D. Accessory auto related facilities located on the premises such as wash facilities and vehicle repair are permitted on gas service station sites, however each use must obtain a separate special land use permit as provided for in this Article and shall only be permitted on gas service station sites containing one and one-half (1½) net acres.
 - (1) Major engine and body repair, steam cleaning, and undercoating are expressly prohibited except within a completely enclosed building.
 - (2) The storage of damaged or wrecked vehicles, or those waiting for minor repair or service, shall be obscured from public view in an area provided for such purpose on the site, and no vehicle of any kind shall be stored in the open for a period exceeding one (1) week. In no instance shall more than five (5) vehicles be allowed to accumulate on the site at any one (1) time, and the storage area shall be kept free of trash and debris in designed in accordance with Section 1807, Item 3, Open Storage.
 - E. All storage of material, merchandise, and equipment shall be within the building, **with the exception that a screened outdoor sales enclosure area may be provided for patrons to access immediately adjacent to the convenience store. The walls of the enclosure shall be designed with masonry material to match the retail store building façade and shall be at least one (1) foot taller than the items stored. Items stored within the screened outdoor sales enclosure area shall be limited to ice chests and propane tanks. All propane storage and handling shall comply with applicable state and local fire and building codes.**

See next page for graphic



New
graphic to
be included



Example design of a screened outdoor sales enclosure area

- F. The sale or rental of new or used cars, trucks, trailers, and any other vehicles on the premises shall be prohibited.
- G. Fueling operations designed to accommodate tractor trailer trucks shall be prohibited.
- 20. Nursery schools, day nurseries and child care centers, provided the following conditions are met:
 - A. Such facilities shall be located on major thoroughfares with an existing or proposed right-of-way of one hundred and twenty (120) feet.
 - B. Any area not used for parking in the front yard shall be kept in lawn and landscaped in accordance with Section 1808.
 - C. Outdoor play areas shall be in the side or rear yard in the amount of one hundred (100) square feet for each child cared for, but at least a minimum of one thousand two hundred (1,200) square feet.
 - D. Whenever the school or center abuts a residential district, parking, drop off, and play areas shall be screened with an obscuring six (6) foot fence or wall, four foot six inch (4'6") high berm with landscaping twenty (20') foot wide greenbelt landscaped in accordance with Section 1808, or a combination of the above, whichever in the opinion of the Planning Commission and City Council achieves the objective of screening and controlling noise levels.
 - E. Any other conditions which the Planning Commission and City Council deem necessary to assure that the character of the area shall be maintained.
- 21. Planned shopping centers over six hundred thousand (600,000) square feet in area, subject to the following:
 - A. Parking space depth and maneuvering lane width may vary from the dimensional standards of Section 1805 as follows:
 - 1) In the case of ninety (90°) degree parking layouts, the depth of a parking space may be reduced from twenty (20) feet to eighteen (18) feet provided that the maneuvering lane shall be a minimum of twenty-four (24) feet in width, or the depth of a parking space may be reduced from twenty (20) feet to nineteen (19) feet provided that the maneuvering lane shall be a minimum of twenty-two (22) feet in width.
 - B. Buildings and freestanding light poles may exceed the maximum height of the B-2 District of two (2) stories or thirty (30) feet, provided that freestanding light poles shall not exceed a height of sixty (60) feet.
 - C. Trash receptacles and compactors may be allowed in a front yard provided that such receptacles and compactors shall be, as nearly as is possible, totally screened from view with a wall or architectural feature the height of the container, and shall be aesthetically pleasing, and matching the architectural facade treatment of the main building(s), or the receptacles and compactors shall be screened with a berm or landscaping.
 - D. Loading and unloading areas may be allowed in a front yard provided that such loading and unloading areas shall be screened with a wall, architectural features, or plant

material, and shall be architecturally pleasing, and matching the architectural or landscape design and facade treatment of the main building(s). The location and area in square footage of such loading and unloading berths shall not be less than one (1%) percent of the Gross Leasable Area (GLA) of the main building(s).

- E. At least twenty (20) percent of the net site area (total area minus exterior right-of-way) shall be landscaped in accordance with Section 1808, except that there may be variations to the location and area of landscape islands and interior landscaping provided for in Section 1808, with the intent and purpose of allowing some degree of flexibility to the design and layout of parking spaces, maneuvering lanes and drives because of the large amount of parking area and number of spaces required for a regional shopping center.
- F. Non-freestanding mural signs may be allowed when considered as a separate special land use under the purview of Section 1818. Such signage will not be included in total site signage allocations.
- G. One (1) non-accessory (off-premise) identification pylon sign may be permitted, when considered as a separate special land use under the purview of Section 1818, provided the following conditions are met:
 - 1) The sign shall be limited to the name, logo, and description of the planned shopping center.
 - 2) The sign shall be located on a site zoned B-2 District or an "I" District.
 - 3) The setback of the sign shall be a minimum of ten (10) feet from adjacent property lines.
 - 4) The height of the sign shall not exceed one-hundred and five (105) feet.
 - 5) The area of the sign shall not exceed one-thousand five-hundred (1,500) square feet.
 - 6) In addition to the permitted signage, an LED digital display (automatic changeable copy sign) may be utilized on the pylon sign provided:
 - a. The display sign area shall not exceed one-thousand six-hundred (1,600) square feet; which would be permitted in addition to the sign area allowed under subsection G(5).
 - b. The display shall have a pixel pitch of twenty-five (25) mm or less.
 - c. The display will not use animation, flashing, scrolling, or blinking and will display only static messages.
 - d. The rate of change between static messages will not exceed more than one (1) change per eight (8) seconds.
 - e. The display shall be equipped with photosensitive equipment which automatically adjusts the brightness and contrast of the sign in direct relation to the ambient outdoor illumination. If complaints arise in regard to display brightness, the property owner of the planned shopping center shall work in good faith with the City to address the concerns in a timely fashion.
 - f. The property owner of the planned shopping center shall coordinate with the City of Auburn Hills Police Department and/or other local authorities to display, when appropriate, emergency information important to the traveling public including, but not limited to Amber Alerts or alerts concerning terrorist attacks or natural disasters. Emergency information messages shall remain in the advertising rotation according to the protocols of the governmental agency that issues the information.
 - g. The property owner of the planned shopping center shall provide to the City of Auburn Hills Police Department and Community Development Department contact information for person(s) who will be available to be contacted at any time and who are able to turn off the electronic sign promptly if a malfunction occurs.
 - h. Twenty-four (24) hour operation of the display shall be permitted.
 - i. The sign shall be limited to the advertising of tenants and available goods and services within the planned shopping center, planned

- shopping center events and promotions, and other messages specifically authorized by the City of Auburn Hills.
- j. The sign will not be permitted to advertise for high-proof liquor, any sexually oriented business, or other objectionable uses set forth in the development agreement approved pursuant to subsection G(6)k.
 - k. Approval of the display shall be subject to submittal, and acceptance by the City Council, of a development agreement detailing the conditions relating to the use restrictions of the sign.
- H. Freestanding tenant identification signs may be permitted, when considered as a separate special land use under the purview of Section 1818, provided the following conditions are met:
- 1) The planned shopping center shall be limited to eight (8) total freestanding tenant identification signs.
 - 2) The signs shall only be permitted along interstate freeway frontage.
 - 3) The setback of the sign shall be a minimum of twenty (20) feet from adjacent property lines.
 - 4) The height of the sign shall not exceed fifty (50) feet.
 - 5) The area of each sign shall not exceed one hundred and seventy-five (175) square feet.
 - 6) Each sign shall be limited to the name of a single tenant selected at the discretion of the property owner of the planned shopping center, which may change from time to time, upon administrative sign permit approval from the Community Development Department.
 - 7) A surveyed plan shall be provided showing the location of the signs.
 - 8) Uplighting may be used to illuminate the signs provided the lighting does not cause glare onto adjoining properties or onto public or private roads, or otherwise create a nuisance or a safety hazard.
- I. A tenant wall mounted sign on the planned shopping center may exceed the size requirements of Section 1811, provided no single wall sign exceeds five hundred (500) square feet in size. When considered as a separate special land use under the purview of Section 1818, the City Council may allow an increase in sign area larger than five hundred (500) square feet in size after a detailed review and evaluation. Whenever the City Council modifies this requirement, it shall find that the following standards have been met:
- 1) The signage is for a tenant of a size equal or greater than twenty thousand (20,000) square feet. The tenant space shall abut a perimeter wall of the planned shopping center and have an exterior exit designed for general public use.
 - 2) The signage is compatible with and sensitive to the immediate environment of the site relative to architectural design, scale, bulk, building height, disposition and orientation of buildings.
 - 3) The allotted sign area for the planned shopping center, as a whole, is not exceeded.
- J. The total sign area for the planned shopping center shall not exceed one hundred (100) square feet per net acre.
- K. Outdoor seating or outdoor facilities for the serving and/or consumption of food or beverages for restaurants and other similar uses where food and/or beverages are served and/or consumed may be permitted when considered as a separate special land use under the purview of Section 1818, subject to the criteria outlined in Section 902(23).
22. Private paramedical emergency facilities subject to the following conditions:
- A. Such facilities shall be located only on collector thoroughfares or major thoroughfares as indicated on the adopted Major Thoroughfare Plan of the City of Auburn Hills.
 - B. All ingress and egress on the site shall be located at least fifty (50) feet from any adjacent property line or right-of-way line.
 - C. If not in existence, a passing lane shall be provided opposite the ingress/egress route used for paramedical and such other emergency vehicles in addition to the required

acceleration and deceleration lanes. The passing lane is required to insure that the purpose and intent of this Zoning Ordinance is met and is deemed necessary to prevent traffic congestion in order to assure proper egress for fast moving and accelerating emergency vehicles in order to protect the health and safety of the citizens of Auburn Hills and abutting areas.

- D. All such facilities shall be developed on sites of at least one (1) acre in area.
23. Outdoor seating or outdoor facilities for the serving and/or consumption of food or beverages for restaurants and other similar uses where food and/or beverages are served and/or consumed, subject to the following criteria:
- A. Outdoor seating areas or outdoor facilities shall be attached structurally to and/or located directly adjacent to, or upon, the principal building to which they are accessory.
- B. Outdoor seating areas or outdoor facilities shall be completely enclosed by masonry walls and/or decorative fencing a minimum of three (3) feet in height, unless a taller height is required per the Building Code for safety purposes (e.g., decks, elevated areas, etc.). The enclosure shall be extended from the principal building and shall be capable of entry only from the interior of the principal building unless determined otherwise by the City Council. The enclosure shall be fixed in place and designed in a manner that maintains a minimum pathway width of five (5) feet (e.g., clear of structures such as light poles, trees, hydrants, etc.) along the sidewalk so as not to interfere with pedestrian traffic.
- C. All lighting shall be shielded downward and away from adjacent properties and rights-of-way in accordance with Section 1810.
- D. Parking spaces shall be provided for the proposed outdoor seating area or outdoor facility in addition to that required for the principal building or use and shall be calculated as required for the principal building or use.
- E. Music, loudspeakers, public address systems and other types of outdoor entertainment uses and/or activities may be permitted subject to the following criteria:
1. Any/all proposed sound system or other entertainment use/activity area(s) shall be clearly detailed on a site plan.
 2. The outdoor seating area shall be designed so as to minimize the level of noise generated from the uses/activities conducted in the outdoor seating or outdoor facility area. Such design alternatives include, but are not limited to, sound deadening construction materials, volume limitations on sound systems, directional/location limitations on speaker/public address system locations, and landscaping.
 3. The City may review the Special Land Use in one (1) year to determine if there are any noise-related problems regarding the outdoor seating area or outdoor facility. In reviewing the Special Land Use, the Community Development Department may consult with other applicable City departments or agencies. Reports from these departments or agencies, along with any public comment, shall be the basis for any subsequent decision(s) by the Community Development Department.
 4. The Community Development Department may require that additional measures be taken by the owner to reduce and/or eliminate any noise-related problem in accordance with Item E.2 above.
- F. Adequate facilities shall be provided for the convenient and sanitary disposal of refuse within and around the outdoor seating area or outdoor facility.
- G. The fire marshal shall review the proposed outdoor seating area or facility and shall provide a written report to the Community Development Department as to the conformance of any proposed plans with applicable fire safety codes.
- H. The Police Department shall review the proposed outdoor seating area and shall provide a written report to the Community Development Department regarding public health, safety and welfare concerns.
- I. The Planning Commission may recommend and the City Council may require other conditions to ensure that the outdoor seating area or outdoor facility is designed and operated to have the minimum impact on adjacent properties visually as well as with regard to noise. The City Council may consider all applicable factors such as, but not

- limited to, visual relationships, natural and/or manmade transition zones, limitations on types of activities permitted, hours of operation, parking and circulation needs and proposed method of winterization (if applicable).
24. Multi-use automobile service facilities such as the installation of vehicular phones, auto glass, and tire, battery and accessory facilities.
 25. Wireless communication facilities in accordance with the standards and requirements listed in Section 1832. Wireless Communication Facilities, except for co-location applications which are subject to the administrative review provisions listed in Section 1832, Item K.
 26. Restaurants, including drive-in and drive-through restaurants, or other places serving food or beverage subject to the following provisions:
 - A. Restaurants with drive-in or drive-through facilities shall only be permitted on sites containing one and one-half (1½) net acres, and having one hundred and fifty (150) feet of road frontage width. The Site Plan shall clearly reflect that the queuing lane and parking maneuvering lane are not in conflict, and will not inhibit safe ingress and egress from/to the main access thoroughfare.
 - (1) Gas service stations and restaurants with drive-in or drive-through facilities, proposed jointly on the same site, shall only be permitted on sites containing a minimum of two and one-half (2½) net acres, and having two hundred (200) feet of road frontage width. The Site Plan shall clearly reflect that the queuing lane, parking maneuvering lane, and gas pumps areas are not in conflict, and will not inhibit safe ingress and egress from/to the main access thoroughfare.
 - (2) Restaurants with drive-through facilities shall provide at least ten (10) vehicle queuing spaces eighteen (18) feet long by ten (10) feet wide from the order station. The lane containing the queuing spaces shall be separate and distinct from other access drives and maneuvering lanes for parking spaces. The queuing space lane shall have a clear width of ten (10) feet and be physically separated from access drives, maneuvering lanes and parking spaces with a landscaped area five (5) feet wide with raised curbs on all sides.
 27. Private clubs, fraternal organizations and lodge halls.
 28. Churches and places of worship.
 29. Accessory buildings and accessory uses customarily incidental to any of the above special land uses permitted.
 30. Special land uses determined to be similar to the above special land uses in accordance with the criteria set forth in Section 1828.

(Amended: 11-11-02 per Ordinance No. 710)
(Amended: 9-19-05 per Ordinance No. 759)
(Amended: 5-15-06 per Ordinance No. 779)
(Amended: 8-17-09 per Ordinance No. 820)
(Amended: 11-23-09 per Ordinance No. 823)
(Amended: 4-19-10 per Ordinance No. 829)
(Amended: 10-04-10 per Ordinance No. 830)
(Amended: 2-17-20 per Ordinance No. 913)

SECTION 903. REQUIREMENTS FOR ALL SPECIAL LAND USES:

1. All business establishments shall be retail or service establishments dealing directly with consumers (who may be contractors or builders). All goods produced on the premises shall be sold at retail on the premises where produced.
2. There shall be provided on those sites abutting or adjacent to a residential district or use a greenbelt, wall, berm or landscaping in accordance with Section 1808.
3. All business uses adjacent to freeway feeder roads shall meet the following additional requirements:
 - A. Barriers: All development shall be physically separated from the feeder road by a curb and planting strip or other suitable barrier. Such barrier shall effectively eliminate unchanneled vehicle ingress or egress except for authorized accessway.

- B. Accessways: Each separate use, grouping of buildings, or grouping of uses as a part of a single planned development, shall not have more than two (2) accessways from a feeder road. Such accessways shall not be located closer than three hundred (300) feet to the point of intersection of an entrance or exit ramp baseline and the feeder road centerline. In cases where the ramp baseline and the feeder road centerline do not intersect, no accessway shall be located closer than three hundred (300) feet from point of tangency of the ramp baseline and the feeder road pavement. In those instances where properties fronting on a feeder road are of such width or are in multiple ownership, and accessways to the property cannot be provided in accordance with the minimum three hundred (300) foot distance from the intersection of feeder road and entrance or exit ramps, a marginal access road shall be provided to service such properties.
4. Cross-Access Interior Drives: Cross-access interior drives, or drives that will allow vehicles to move from one site to another without entering the frontage street, are strongly encouraged and may be required at the discretion of the City Council.

(Amended: 11-11-02 per Ordinance No. 710)

SECTION 904. AREA AND BULK REQUIREMENTS:

See Article XVII, Schedule of Regulations, Limiting the height and bulk of buildings.

(Amended 1-24-05 per Ordinance No. 745)

SECTION 905. OTHER USES PERMITTED BY THE CITY COUNCIL ON CERTAIN PROPERTIES:

Adult use marihuana establishments, which term includes marihuana retail establishments, located in the City of Auburn Hills shall be limited to a total of four (4) adult use marihuana establishments. Three (3) of the four (4) locations shall be permitted on property in the B-2, General Business Districts as set forth in this Section, as approved by the City Council, and said locations must be in compliance with the November 8, 2022 voter-approved Initiated Ordinance.

Three (3) of the four (4) permitted adult use marihuana establishments within the City of Auburn Hills shall be located on the following three (3) parcels of property, with one (1) adult use marihuana establishment to be located on each parcel of property, as approved by and subject to the conditions imposed by the City Council: Parcel 1 - tax identification number 14-02-100-019; Parcel 2 - tax identification numbers 14-11-352-013, 014, 015, and 016, and Parcel 3 - tax identification number 14-11-353-003.

This Section, Section 804 of the Zoning Ordinance, and the Initiated Ordinance shall establish the locations for the adult use marihuana establishments in the City of Auburn Hills for the purposes of Ordinance No. 22-934.

(Amended: 11-11-24 per Ordinance No. 943)