



AUBURN HILLS MEETING SCHEDULE

248-370-9402 | WWW.AUBURNHILLS.ORG

MAY 2025

DAY	TITLE	TIME	LOCATION
5	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
7	Planning Commission	7:00 PM	Council Chamber 1827 N. Squirrel Road
8	Zoning Board of Appeals	7:00 PM	CANCELLED
12	City Council Goals & Objectives Workshop	5:30 PM	Community Center Seyburn Room A, 3350 E. Seyburn Dr.
12	Downtown Development Authority	5:30 PM	CANCELLED
12	Library Board	7:00 PM	Auburn Hills Public Library 3400 Seyburn Drive
13	Tax Increment Finance Authority	4:00 PM	Administrative Conference Room 1827 N. Squirrel Road
19	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
20	Brownfield Redevelopment Authority	6:00 PM	Administrative Conference Room 1827 N. Squirrel Road
27	Public Safety Advisory Committee	5:00 PM	Public Safety Building 1899 N. Squirrel Road

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248.370.9402 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements. PLEASE BE ADVISED, DUE TO A LACK OF AGENDA ITEMS, SOME MEETINGS MAY BE CANCELED.



AUBURN HILLS MEETING SCHEDULE

248-370-9402 | WWW.AUBURNHILLS.ORG

JUNE 2025

DAY	TITLE	TIME	LOCATION
2	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
4	Planning Commission	7:00 PM	CANCELLED
9	Library Board	7:00 PM	Auburn Hills Public Library 3400 Seyburn Drive
10	Tax Increment Finance Authority	4:00 PM	Administrative Conference Room 1827 N. Squirrel Road
11	Pension Board	3:00 PM	Administrative Conference Room 1827 N. Squirrel Road
11	Retiree Health Care	Immediately following the Pension Board meeting	Administrative Conference Room 1827 N. Squirrel Road
12	Zoning Board of Appeals	7:00 PM	Council Chamber 1827 N. Squirrel Road
16	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
17	Brownfield Redevelopment Authority	6:00 PM	Administrative Conference Room 1827 N. Squirrel Road

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248.370.9402 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements. PLEASE BE ADVISED, DUE TO A LACK OF AGENDA ITEMS, SOME MEETINGS MAY BE CANCELED.



CITY OF AUBURN HILLS

MONDAY, MAY 19, 2025

Regular City Council Meeting ♦ 7:00 PM

Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

248-370-9402 ♦ www.auburnhills.org

1. MEETING CALLED TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL OF COUNCIL

4. APPROVAL OF MINUTES

4a. City Council Regular Meeting Minutes, May 5, 2025

4b. City Council Goals & Objectives Workshop Minutes, May 12, 2025

5. APPOINTMENTS AND PRESENTATIONS

6. PUBLIC COMMENT

7. CONSENT AGENDA

All items listed are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Council Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

7a. Board and Commission Minutes

7a1. Tax Increment Finance Authority, April 8, 2025

7a2. Planning Commission, May 7, 2025

7b. Motion – To approve the purchase of a 2025 Jeep Wagoneer SSV.

7c. Motion – To adopt a Proclamation designating the week of May 18 – May 24, 2025, as National Public Works Week in Auburn Hills.

8. UNFINISHED BUSINESS

9. NEW BUSINESS

9a. Motion – To approve the Special Land Use Permit and Revised Site Plan Approval / Chillbox Corporate Headquarters – 3378 E. Walton Boulevard.

9b. Motion – To accept the Third Quarter 2024, Fourth Quarter 2024, and First Quarter 2025 Monitoring Network Review Summaries, along with the 2024 Annual Monitoring Network Review Summary for the Oakland Heights Development Landfill.

9c. Motion – To award the 2025 Butler Road Improvements Bid Award, Construction Engineering/Observation and Contract Administration Services to OHM Advisors, and Material Testing Services to G2 Consulting.

10. COMMENTS AND MOTIONS FROM COUNCIL

11. CITY ATTORNEY REPORT

12. CITY MANAGER REPORT

13. ADJOURNMENT

City Council meeting minutes are on file in the City Clerk's Office. NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248.370.9402 or the City Manager's Office at 248.370.9440 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 4A

CITY COUNCIL



CITY OF AUBURN HILLS REGULAR CITY COUNCIL MEETING **DRAFT** MINUTES

MAY 5, 2025

CALL TO ORDER & Mayor Marzolf at 7:00 PM.

PLEDGE OF ALLEGIANCE:

LOCATION: Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

ROLL CALL: Present: Council Members Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, and Verbeke

Absent: None

Also Present: City Manager Tanghe, Assistant City Manager Skopek, City Attorney Kelly, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Director of Recreation & Senior Services Adcock, DPW Director Baldante, Deputy Treasurer Jones, Asst to the Mgr Hagge, Engineer Driesenga

13 Guests

4. APPROVAL OF MINUTES

4a. City Council Regular Meeting Minutes, April 21, 2025

Moved by Knight, Seconded by Verbeke.

RESOLVED: To approve the City Council Regular Meeting Minutes of April 21, 2025.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

Resolution No. 25.05.083

Motion Carried (7 - 0)

5. APPOINTMENTS AND PRESENTATIONS

6. PUBLIC COMMENT

Ms. Karen Johnson, 1889 Ludgate Lane, thanked City Council for their attention to the concern regarding Taylor Road.

Mr. Jeff Meyer Jr, 1654 Taylor Road, shared his concerns regarding the driving conditions on Taylor Road.

Chief Gagnon explained the measures taken to address the concerns on Taylor Road, which included selected enforcement to reduce speeds, a portable radar trailer and traffic counters to analyze data. Chief Gagnon will look into the weight restrictions for Taylor Road.

7. CONSENT AGENDA

7a. Board and Commission Minutes

7a1. Downtown Development Authority, April 14, 2025

RESOLVED: To receive and file the Board and Commission Minutes.

7b. Motion – To adopt the 2025 Local Support Emergency Operations Plan to supplement Oakland County’s Emergency Operations Plan.

RESOLVED: To adopt the 2025 Local Support Emergency Operations Plan (EOP), revised from 2021, in support of the Oakland County Emergency Operations Plan.

7c. Motion – To receive and file the Mariner Consulting 1st Quarter Cash Management Investment Performance Review.

RESOLVED: To receive and file the Mariner Consulting 1st quarter Cash Management Investment Performance Review.

7d. Motion – To amend the 2025 General Fund Seniors Department revenue and appropriation.

RESOLVED: To amend the 2025 General Fund Senior department budget increasing both revenue and appropriations by \$30,000.

7e. Motion – To approve State of Michigan Board of County Road Commissioners, Oakland County, Agreement for traffic control devices for installation and maintenance of a traffic signal at N Squirrel Road and Shimmons Road.

RESOLVED: To approve State of Michigan Board of County Road Commissioners, Oakland County, Agreement for Traffic Control Devices for installation and maintenance of a traffic signal located at N. Squirrel Road and Shimmons Road.

Moved by Verbeke, Seconded by Ferguson.

RESOLVED: To approve the Consent Agenda.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

Resolution No. 25.05.084

Motion Carried (7 - 0)

8. UNFINISHED BUSINESS

8a. Motion – To consider renewal of Suburban Studio’s hotel license.

Ms. Pierce provided an update regarding the length of stay violation and the progress being made at this location.

Mr. Matt Odish, General Manager for Suburban Studio commented on the progress they have made correcting the length of stay violations as well as the interior maintenance items.

Moved by Ferguson, Seconded by Hawkins.

RESOLVED: To issue a conditional one-year license to Suburban Studios, 1180 Doris Road to expire on December 31, 2025.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

Resolution No. 25.05.085

Motion Carried (7 - 0)

9. NEW BUSINESS

9a. Motion – To approve the purchase and installation of two on-site generators for sewage lift stations.

Mr. Baldante presented the need to purchase and install sewage lift stations in the low-lying areas within the City. He commented that the stations are extremely important to the health, vitality and growth of these areas. The projected lifetime expectancy of this equipment is 25-30 years.

Moved by Ferguson, Seconded by Knight.

RESOLVED: To approve the contract with DES Electric to purchase and install 2 on-site generators for 2 sewage lift stations in the amount of \$261,339.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

Resolution No. 25.05.086

Motion Carried (7 - 0)

10. COMMENTS AND MOTIONS FROM COUNCIL

Mr. Knight shared that there are residential complaints at Juniper Road and Auburn Road regarding the limited visibility looking westbound.

Mr. Ferguson remarked that he appreciated the cleanliness of the parks.

Mr. Hawkins also commented on the cleanliness of the parks and thanked DPW for their hard work at keeping the parks clean.

Mayor Marzolf shared the Memorial Day Parade event details.

11. CITY ATTORNEY REPORT

12. CITY MANAGER REPORT

13. ADJOURNMENT

Moved by Hawkins Seconded by Ferguson.

RESOLVED: To adjourn the meeting.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

Resolution No. 25.05.087

Motion Carried (7 - 0)

The meeting was adjourned at 7:24 PM.

Brian W. Marzolf, Mayor

Laura M. Pierce, City Clerk



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 4B

CITY COUNCIL



CITY OF AUBURN HILLS CITY COUNCIL WORKSHOP MINUTES

MAY 12, 2025

CALL TO ORDER & Mayor Marzolf at 5:30 PM

PLEDGE OF ALLEGIANCE:

LOCATION:

Community Center, 3350 E. Seyburn Dr, Auburn Hills, MI 48326

Present: Mayor Marzolf, Council Members Ferguson, Fletcher, Hawkins, Knight, Verbeke

Absent: Council Member McDaniel

Also Present: City Manager Tanghe, Assistant City Manager Skopek, City Attorney Kelly, City Clerk Pierce, Director of Recreation and Senior Services Adcock, DPW Director Baldante, Community Development Director Cohen, Chief of Police Gagnon, Assessor Griffin, Assistant to the Manager Hagge, Mgr. of Fieldstone Golf Course Hierlihy, City Engineer Juidici, Fire Chief Massingill, Finance Director/Treasurer Schulz

2 Guests

Workshop Topic: 2026 Goals & Objectives Discussion and Formation

Dr. Douglas Carr facilitated the discussion on the City's 2026 Goals & Objectives. He reviewed the City's Mission, Vision and Values, along with the five existing goals. The Council Members agreed to maintain the same goals in the current order. Council reviewed the objectives associated with each goal. Several new objectives were proposed and several existing ones were modified. (Attachment A)

The meeting adjourned at 7:47 PM.

Brian W. Marzolf, Mayor

Laura M. Pierce, City Clerk

ATTACHMENT A



FY 2026 Strategic Goals & Objectives

I. Focus relentlessly on fiscal and operational sustainability

- Pursue creative opportunities to fund projects and pursue grants, such as grants from the State and from foundations
- Effectively leverage existing resources, such as managing workloads
- Plan for infrastructure development & maintenance
- Leverage opportunities created through external partnerships
- Continue planning for the sunset of TIF revenue in Dec 2031 and the DDA tax capture sunset in 2029
- Require consistent departmental budget implementation & accountability
- Reduce use of paper where possible and practical

II. Deliver outstanding city services

- Invest in pedestrian facilities
- Effectively manage stormwater and pursue funding solutions
- Continue educating residents about transportation options
- Deliver outstanding public safety
- Respond to the needs of seniors
- Explore developing an accessible playground
- Evaluate recreational needs of the community and consider options for more robust recreational opportunities

III. Drive strategic community development

- Pursue redevelopment opportunities and incentivizing redevelopment; plan for potential changes with existing commercial properties
- Pursue strategic traffic improvements
- Explore opportunities for repurposing hotels

IV. Continue to grow and support a vibrant, sustainable, safe & connected community

- Continue to keep Auburn Hills friendly and livable for all ages
- Leverage to the greatest degree our natural resources, parks, pathways, and waterways
- Focus on proactive patrols in neighborhoods
- Conduct semi-annual police community engagement meetings with neighborhoods

V. Retain & attract high quality employees

- Maintain and grow a talented, customer-focused workforce
- Develop strategies for attracting and retaining employees, by city department
- Invest in employees through ongoing training & development
- Focus continuously on succession & business continuity planning



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 7A1

TAX INCREMENT FINANCE AUTHORITY

**“Not Yet Approved”
CITY OF AUBURN HILLS
TAX INCREMENT FINANCE AUTHORITY MEETING**

April 8, 2025

CALL TO ORDER: Chairman Kneffel called the meeting to order at 4:00 PM.

ROLL CALL: Present: Kneffel, Goodhall, Eldredge, Gudmundsen, Moniz, Ferro
Absent: Waltenspiel, Fletcher, Barash
Also Present: Brandon Skopek, Assistant City Manager/Executive Director; Andrew Hagge,
Assistant to the City Manager
Guests: None

LOCATION: Administrative Conference Room, 1827 N. Squirrel Road, Auburn Hills, MI 48326

PERSONS WISHING TO BE HEARD

A. Introduction of Joe Ferro

Mr. Ferro was recently appointed to the TIFA Board of Directors. At the beginning of the TIFA meeting, Mr. Ferro introduced himself to the rest of the board, and provided background on his education, his work history, and his experience as an Auburn Hills resident. After Mr. Ferro introduced himself to the board, the rest of those in attendance introduced themselves to Mr. Ferro.

APPROVAL OF MINUTES

A. TIFA Regular Meeting Minutes – March 11, 2025

There was no discussion on the approval of the minutes.

Moved by Mr. Goodhall to approve the TIFA Board of Directors Regular Meeting Minutes from March 11, 2025, as presented.

Seconded by Mr. Moniz

Yes: Kneffel, Goodhall, Eldredge, Gudmundsen, Moniz, Ferro
No: none

CORRESPONDENCE AND PRESENTATIONS

None

CONSENT AGENDA

A. FY 2025 Adopted Budget and YTD Summary – March 31, 2025

RESOLVED: To receive and file the financial report for the period ending March 31, 2025.

Moved by Mr. Moniz to approve the Consent Agenda.
Seconded by Mr. Goodhall

Yes: Kneffel, Goodhall, Eldredge, Gudmundsen, Moniz, Ferro
No: none

Motion carried

UNFINISHED BUSINESS

None

NEW BUSINESS

A. Budget Amendment for the University Drive Water Main Extension Project

Mr. Skopek presented the agenda item regarding the water main extension to the TIFA Board. Mr. Skopek explained that the project was delayed, due to easement issues, and therefore was not able to be completed in 2024, which is when funding was budgeted to complete the project. Now that the project is ready to move forward, Mr. Skopek explained that the budgeted funds in 2024 should now be rolled over into 2025, requiring a budget amendment.

Moved by Mr. Moniz to approve a budget amendment increasing appropriations by \$280,643.50 in the 2025 TIF-B budget in support of the water main extension project at 1500 University Drive.
Seconded by Mr. Ferro

Yes: Kneffel, Goodhall, Eldredge, Gudmundsen, Moniz, Ferro
No: None

Motion Carried

EXECUTIVE DIRECTOR REPORT

Mr. Skopek provided an update on the Public Square project. The project now has an expected completion date of Monday, May 26th. Furthermore, city staff are working to schedule and plan two ribbon cutting and dedication events regarding the project, one event being private and the other being open to the public.

Mr. Skopek explained to the Board that ownership at Larco. Bros. Pizzeria have plans to renovate their restaurant to include dine-in service, an expanded menu, as well as offering alcoholic options.

BOARD MEMBER COMMENTS

The Board inquired about the status of the movable wall replacement project in the banquet rooms of the Auburn Hills Community Center. The project was brought to the TIFA Board at a prior meeting in 2025, however no action was taken as the Board requested additional information prior to making a decision. Mr. Skopek explained to the Board that the banquet rooms in the Community Center are booked through the Fall, so the project will have to be delayed until the fourth quarter of 2025.

ANNOUNCEMENT OF NEXT MEETING

The next regularly scheduled TIFA Board of Directors meeting is scheduled for Tuesday, May 13, 2025, at 4:00 p.m. in the Administrative Conference Room in City Hall at, 1827 N. Squirrel Road, Auburn Hills, Michigan 48326.

ADJOURNMENT

Moved by Dr. Eldredge to adjourn the TIFA Board meeting.

Seconded by Mr. Moniz

Yes: Kneffel, Goodhall, Eldredge, Gudmundsen, Moniz, Ferro

No: None

Motion carried

The TIFA Board of Directors meeting adjourned at 4:38 p.m.

Steve Goodhall
Secretary of the Board

Andrew Hagge
Assistant to the City Manager



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 7A2
PLANNING COMMISSION



CITY OF AUBURN HILLS PLANNING COMMISSION MINUTES **NOT YET APPROVED**

May 7, 2025

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 7:00 p.m.

ROLL CALL: Present: **Carolyn Shearer, Darlene MacMillan, Jack Ferguson, Cynthia Pavlich, Raymond Saelens, Sam Beidoun, Dominick Tringali, Greg Ouellette**

Absent: None.

Also Present: Director of Community Development Steve Cohen, and Assistant to the Director of Community Development Devin Lang

Guests: 7

LOCATION: Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

3. PERSONS WISHING TO BE HEARD

4. APPROVAL OF MINUTES – March 5, 2025

Moved by Beidoun to approve the minutes of March 5, 2025.

Second by Ferguson.

VOTE: Yes: Shearer, MacMillan, Ferguson, Pavlich, Saelens, Beidoun, Tringali, Ouellette

No: None

Motion Carried (8-0)

5. PETITIONERS

5a. Chillbox Corporate Headquarters (7:01 p.m.)

Public Hearing/Motion – Recommendation to City Council for Special Land Use Permit and Revised Site Plan approval to repurpose the former North Oakland Family YMCA facility into an office building with an ancillary café with outside seating.

This is a request from Bazco Holdings, LLC for a Special Land Use Permit and Revised Site Plan approval to repurpose the former North Oakland Family YMCA recreational facility at 3378 E. Walton Boulevard into a corporate office building for its subsidiary Chillbox Convenience Stores, along with an ancillary café and associated outdoor seating.

The proposal includes a small ancillary retail store/café with outside seating on the east side of the building on the first floor. The space will replace the area formerly programmed by the YMCA for childcare and multi-purpose use. The café will serve coffee and dessert items to Chillbox staff and visitors and be open to the public. This new semi-covered patio seating area will accommodate up to 24 patrons. A four-foot-tall decorative fence will be added around the outside seating area to enclose the space and ensure the patrons' protection.

The gymnasium and locker rooms on the first floor will be kept "as is" for the company's employees, visitors, and the Chillbox for Kids Foundation. The swimming pool will be removed and filled for safety and cost reasons and converted into a multi-purpose room/exposition area. The space will be used for corporate and charitable foundation functions and potential office expansion space for employee growth.

The second floor will be converted into a corporate office and training space for Chillbox. This floor will retain the walking track that looks down into the first-floor gymnasium and former natatorium spaces. The smaller third floor will become the company's executive office suite.

Aly Bazzi, Bazco Holdings, LLC, 30825 26 Mile Road, New Haven, MI 48048 was available to answer any questions of the Commission.

The Commission asked about the following:

1. The use of volunteers in the company's charitable endeavors;
2. Bazco Holdings business activities;
3. The number of employees anticipated;
4. The speed of vehicles travelling past the proposed café area;
5. Hours anticipated for the café.

Mr. Bazzi stated that he does envision bringing volunteers and the community into the facility, but the facility will not be leased or offered for rent to outside entities. He further explained that their family has operated retail/gas station businesses since 1989. They operate multiple locations in southeast Michigan and plan to continue expanding. They also have a wholesale distribution segment. Their future growth is anticipated to be through Chillbox. They also assist small businesses, provide grants, and provide education. The transformation of the YMCA facility into the Chillbox Headquarters is expected to house 100 employees.

In addressing the concern regarding the speed of traffic past the café area, Mr. Cohen stated they have discussed traffic calming solutions along the north-south drive, which include additional stop signs in the area in front of the café's entrance.

Mr. Bazzi stated that the café's hours have not yet been determined, but it is expected to be generally open during business hours, with the exception of operating after 5 p.m. and seven days a week, depending on demand.

Mr. Ouellette opened the public hearing at 7:09 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 7:10 p.m.

Moved by Beidoun to recommend to City Council approval of the Special Land Use Permit and Revised Site Plan for Chillbox Corporate Headquarters subject to the conditions of the City's Administrative Review Team.

Second by Ferguson.

VOTE: Yes: Saelens, MacMillan, Beidoun, Pavlich, Shearer, Ferguson, Tringali, Ouellette

No: None Motion Carried (8-0)

6. UNFINISHED BUSINESS – None.

7. NEW BUSINESS

7a. Motion – Cancel the June 4, 2025 Auburn Hills Planning Commission Meeting

Moved by Beidoun to cancel the June 4, 2025 Auburn Hills Planning Commission Meeting.

Second by Pavlich.

VOTE: Yes: Shearer, MacMillan, Ferguson, Pavlich, Saelens, Beidoun, Tringali, Ouellette

No: None Motion Carried (8-0)

8. COMMUNICATIONS

9. NEXT SCHEDULED MEETING

The next scheduled meeting is on Wednesday, July 9, 2025 at 7:00 p.m. in the Auburn Hills Council Chambers.

10. ADJOURNMENT

There being no further business, Chairperson Ouellette adjourned the meeting at 7:13 p.m.

Submitted by:

Susan McCullough, MiPMC III, CMC

Recording Secretary



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 7B

DEPARTMENT OF PUBLIC WORKS

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Jason Hefner, Manager of Fleet & Roads
Submitted: May 9, 2025
Subject: Motion – Approve the purchase of a 2025 Jeep Wagoneer SSV

INTRODUCTION AND HISTORY

Included within the 2025 Fleet Operating Budget is the purchase of a large SUV to be utilized as the Fire Department's command vehicle. Staff began by researching the Tahoe as a possible purchase but allocations to dealers is significantly less than normal, meaning there are none available in 2025 and not likely in 2026. Stellantis began to build the Jeep Wagoneer in 2022 and began building a SSV model in 2025. Similar in size to the Tahoe, the Wagoneer claims more power while having a smaller engine and better fuel economy. Since the Wagoneer has the same engine as the new RAM 1500s, it uses the parts that the fleet department already stocks, keeping our inventory light. In addition to purchasing the Wagoneer, Stellantis offers the lights and siren to be installed through the build process by Ground Effects before the vehicle is delivered to the dealer and includes it within the MiDeal pricing. This eliminates extra time waiting for an upfitter and the need to bid the upfit separately. Because this option is new, it was not included within the 2025 budget. But many fleet vehicle purchases this year have been under budget, allowing no budget amendment to be needed for this purchase. The Fleet Department plans to shuffle the Fire Department's fleet around and will decommission and auction a 2015 RAM 1500 once this vehicle is in service.

Current electric vehicles on the market and the tasks asked of the current fleet were studied. At this time, the electric vehicles do not have the ability to run the continuous shifts that are sometimes required with Fire Department vehicles. The city has acquired and put into service a plug-in hybrid van for the community center and 13 Hybrid Mavericks over the last three years.

The new Wagoneer will be purchased under the MiDEAL contract #240000001206 (State of Michigan contract) with LaFontaine Chrysler Dodge Jeep Ram FIAT of Lansing, MI, for \$66,330.00. The Wagoneer has a 3-year/ 36,000-mile bumper to bumper warranty and a 5-year/ 60,000-mile powertrain warranty. We have used cooperative bids throughout the years to purchase a variety of items that include vehicles, equipment, and road salt. The cooperative bids that are used most often are the State of Michigan MiDEAL, the Oakland County Cooperative, Sourcewell, and the Rochester Hills Consortium. These cooperative bids are based on larger volumes which result in lower prices, a high-quality contract, and meet the spirit of the Purchasing Ordinance.

STAFF RECOMMENDATION

Staff recommends approval to purchase a 2025 Jeep Wagoneer SSV for \$66,330.00 from LaFontaine Chrysler Dodge Jeep Ram FIAT of Lansing, MI under the MiDEAL contract #240000001206. Funding for the purchase is available via account number 661-594-981.000.

MOTION

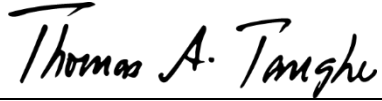
Move to approve the purchase of a 2025 Jeep Wagoneer SSV for \$66,330.00 from LaFontaine Chrysler Dodge Jeep Ram FIAT of Lansing, MI under the MiDEAL contract.

EXHIBIT

Exhibit 1 – Vehicle Quote

Exhibit 2 – Ground Effects Upfit Breakdown

I CONCUR:

A handwritten signature in black ink that reads "Thomas A. Tanghe". The signature is written in a cursive style with a large, sweeping 'T' and a long, trailing 'h'.

THOMAS A. TANGHE, CITY MANAGER

LaFontaine CDJR-Lansing

6131 S. Pennsylvania Ave.

Lansing, MI 48911

517-394-1022-Direct

517-394-1205-Fax

mdeacon@lafontaine.com

Name: City of Auburn Hills

Address: _____

City: _____ State: _____ Zip: _____

Contact: Jason Hefner

Phone: 248.364.6931

Email: jhefner@auburnhills.org

Date: 5/6/2025

Quote 050625

State of Michigan Contract 240000001206		
WSJM	2025 Jeep Wagoneer L 4x4	\$56,895.00
25E	3.0L I6 Hurricane	
PW7	Bright White	
ALX7	Black Leather	
Special Equipment Ground Effects		\$9,245.00
Per contract delivery is \$2.00 a mile one way mileage.		\$190.00
95 x 2.00 = 190.		
By signing the purchase agreement you agree to purchase of the vehicle or vehicles X _____		
Total Cost:		\$66,330.00

Signed Michelle Deacon

Please note payment is due within 30 days of delivery. Any invoices paid after 30 days may be subject to a 1.5% late fee

GROUND EFFECTS LLC (USA)
4505 RHODES DRIVE,
WINDSOR ONTARIO N8W 5R8
CANADA

Phone: 519-944-3800

Fax: 519-944-5334

Quote Number: 500661

QUOTE

Page: 1 of 3

Quote To:

Michelle Deacon
Misc. Sales
UNITED STATES

Phone: (517) 325-5103 Fax:
mdeacon@Lafontaine.com

Date: 4/25/2025

Expires: 6/24/2025

Reference:

Sales Person: Scott Keefer

Fax:
skeefer@gfxltd.com

*Quote for Michelle Deacon - Municipal Fleet Manager
LaFontaine CDJR of Lansing
6131 S Pennsylvania Ave, Lansing, MI 48911
For the Auburn Hills FD*

*Wagoner Upfit - Special Equipment Code 99813A
color of lights to be determined*

USD - U.S. DOLLARS

Line	Part Description	Rev Drawing	Expected Qty	Unit Price	Ext. Price
1	JWS-EAPEB1A WIRING - WAGONEER - EMERGENCY ELECTRICAL EQUIPEMENT HARNESS, PDC-L - QUANTITY BREAKS -	19	1.00 EA	1,840.00	1,840.00
		Quantity	Unit Price		
		1.00 EA	1,840.00 /1		
2	JWS-EWSTQQ1C SIREN SYSTEM - EXO - WHELEN CENCOM CORE - CANPORT - HAND HELD CONTROLLER - C399, C399SP, CCTL5 - QUANTITY BREAKS -	19	1.00 EA	1,510.00	1,510.00
		Quantity	Unit Price		
		1.00 EA	1,510.00 /1		

Quote Number: 500661

QUOTE

Page: 2 of 3

3 JWS-EWLGT1RB 19 1.00EA 619.00 619.00
LIGHTS - GRILLE - INTERNAL -
WHELEN MINI T-ION (4) - DRV-RED-
PASS-BLUE
- QUANTITY BREAKS -

Quantity	Unit Price
1.00 EA	619.00 /1

4 JWS-EWLQE1RB 19 1.00EA 582.00 582.00
LIGHTS - REAR - QUARTER WINDOW
- WHELEN T ION SOLO TLI* - DRV-
RED & PASS-BLUE
- QUANTITY BREAKS -

Quantity	Unit Price
1.00 EA	582.00 /1

5 JWS-EWLDZ1AX 19 1.00EA 1,483.00 1,483.00
LIGHTBAR - DECK - WHELEN RST
INNER EDGE DUO, WCX - 10 LAMP
BS44Z - DRV-(5)RA PASS-(5)BA
- QUANTITY BREAKS -

Quantity	Unit Price
1.00 EA	1,483.00 /1

6 JWS-EWSGB1A 19 1.00EA 315.00 315.00
SPEAKER - INTERNAL HIGH MOUNT -
WHELEN 01-0887874-000 (1)
- QUANTITY BREAKS -

Quantity	Unit Price
1.00 EA	315.00 /1

7 RDT-EWLAW1AX 19 1.00EA 2,896.00 2,896.00
LIGHT BAR - EXO - WHELEN LIBERTY
II , WCX, W'PC, TD, ALLEY -
BW2BRBR - RED/BLUE
- QUANTITY BREAKS -

Quantity	Unit Price
1.00 EA	2,896.00 /1

GROUND EFFECTS LLC (USA)
4505 RHODES DRIVE,
WINDSOR ONTARIO N8W 5R8
CANADA

Phone: 519-944-3800
Fax: 519-944-5334

Quote Number: 500661

QUOTE

Page: 3 of 3

Lines Total	9,245.00
Total Taxes	0.00
Line Miscellaneous Charges	0.00
Quote Miscellaneous Charges	0.00
Quote Total	9,245.00



CITY OF AUBURN HILLS

CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 7C

DEPARTMENT OF PUBLIC WORKS

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Stephen Baldante, Public Works Director
Submitted: May 13, 2025
Subject: Motion – to Adopt a Proclamation Designating the week of May 18 – May 24, 2025, as National Public Works Week in Auburn Hills

INTRODUCTION AND HISTORY

Since 1960, the American Public Works Association (APWA) has sponsored National Public Works Week (NPWW). Across North America, more than 30,000 members in the U.S. and Canada use this week to energize and educate the public on the importance of public works in their daily lives and improving everyday quality of life. Public works services such as providing clean water, disposing of solid waste, building roads and bridges, planning, and implementing mass transit, removing snow on roadways, and devising emergency management strategies determine a society's quality of life.

In Auburn Hills, the Department of Public Works (DPW) is one team composed of seven divisions including Fleet & Roads, Municipal Properties (Facilities, Parks, & Grounds), and Public Utilities (Sewer & Water). The City's mission is to be stewards for the community through a connected, transparent, and efficient government - this is the purpose of the DPW. The City's values of Attentive Service, Diversity, Excellence, Fiscal Responsibility, Humility, and Safety guide how the DPW provides its services. The City's vision is for Auburn Hills to be a community with the heart of a small town that operates with the excellence of a world-class city - this is the driving force behind the work of the DPW.

Some highlights regarding the scope of services managed and maintained include:

- Facilities is responsible for the maintenance and management of 45 buildings, 22 additional structures, over 1,400 street and parking lot lights, and assist with Miss Dig electrical staking.
- Parks and Grounds are responsible for the maintenance of more than 460 acres of City lands including all City parks and rights-of-way, forestry, over 120,000 square feet of landscape beds, and 127 acres of turf maintenance at 62 different sites.
- Fleet is responsible for the maintenance and management of more than 125 fleet units and over 175 pieces of equipment.
- Roads is responsible for the maintenance and management of more than 90 miles of roadway, over 120 miles of pathway, nearly 225 miles of storm mains, more than 2,750 catch basins, and all City signage.
- Utilities are responsible for over 180 miles of water main, nearly 120 miles of sewer main, more than 2,600 water system valves, over 2,500 hydrants, over 2,900 sewer manholes, four sanitary sewer lift stations, 10 pressure reducing valves, a booster station, and a water tower. Additionally, Utilities is responsible for the City's Cross Connection Control Program, construction related inspections for water and sewer services, and metering water usage for utility billing.

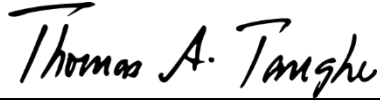
STAFF RECOMMENDATION

Staff recommend approval of the proposed Proclamation designating the week of May 18th through May 24th National Public Works Week.

MOTION

Move to adopt the proposed Proclamation designating the week of May 18th through May 24th 2025, National Public Works Week.

I CONCUR:

A handwritten signature in black ink that reads "Thomas A. Tanghe". The signature is written in a cursive style with a horizontal line underneath it.

THOMAS A. TANGHE, CITY MANAGER



PROCLAMATION

PROCLAMATION IN RECOGNITION OF NATIONAL PUBLIC WORKS WEEK MAY 18, 2025 – MAY 24, 2025

WHEREAS, public works professionals support the infrastructure, facilities, and services that are of vital importance to sustainable and resilient communities and to the public health, high quality of life, and well-being of the people within the communities they serve; and

WHEREAS, in Auburn Hills, these infrastructure, facilities, and services could not be provided without the dedicated efforts of public works professionals, who are engineers, managers, technicians, and employees at all levels of government and the private sector, who are responsible for building, improving, and protecting our nation's transportation, water supply, water treatment and solid waste systems, public buildings, and other structures and facilities essential for our citizens; and

WHEREAS, it is in the public interest for our citizens, adults and children alike, and civic leaders in the City of Auburn Hills to gain knowledge of and to maintain a progressive interest and understanding of the importance of public works and its many responsibilities; and

WHEREAS, 2025 marks the 65th annual National Public Works Week sponsored by the American Public Works Association.

THEREFORE, BE IT RESOLVED that I, Brian Marzolf, Mayor of the City of Auburn Hills, do hereby designate the week of May 18 – 24, 2025 as National Public Works Week and urge all citizens to join with representatives of the American Public Works Association and government agencies in activities, events, and ceremonies designed to honor our public works professionals, engineers, managers, and employees, and to recognize the substantial contributions they make to protecting our health, safety, and quality of life.

Hereby presented on this 19th day of May, 2025,
on behalf of the Auburn Hills City Council.

Brian W. Marzolf, Mayor



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 9A

COMMUNITY DEVELOPMENT

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Steven J. Cohen, AICP, Director of Community Development
Submitted: May 13, 2025
Subject: Chillbox Corporate Headquarters – 3378 E. Walton Boulevard
Motion – Approval of Special Land Use Permit and Revised Site Plan Approval

INTRODUCTION AND HISTORY

This is a request from Aly Bazzi, representing Bazco Holdings, LLC, for Special Land Use Permit and Revised Site Plan approval to repurpose the former North Oakland Family YMCA recreational facility at 3378 E. Walton Boulevard into a corporate office building for its subsidiary Chillbox Convenience Stores, along with an ancillary café and associated outdoor seating. The 61,756-square-foot building has been unoccupied since October 6, 2020.



A recent photo of the building from the parking lot adjacent to Walton Boulevard

In addition to the property's purchase price, Mr. Bazzi intends to spend approximately \$2 million renovating the building into the company's headquarters and addressing deferred maintenance items. The facility is anticipated to employ over 100 people. The site's redevelopment will place the tax-exempt property on the tax rolls.

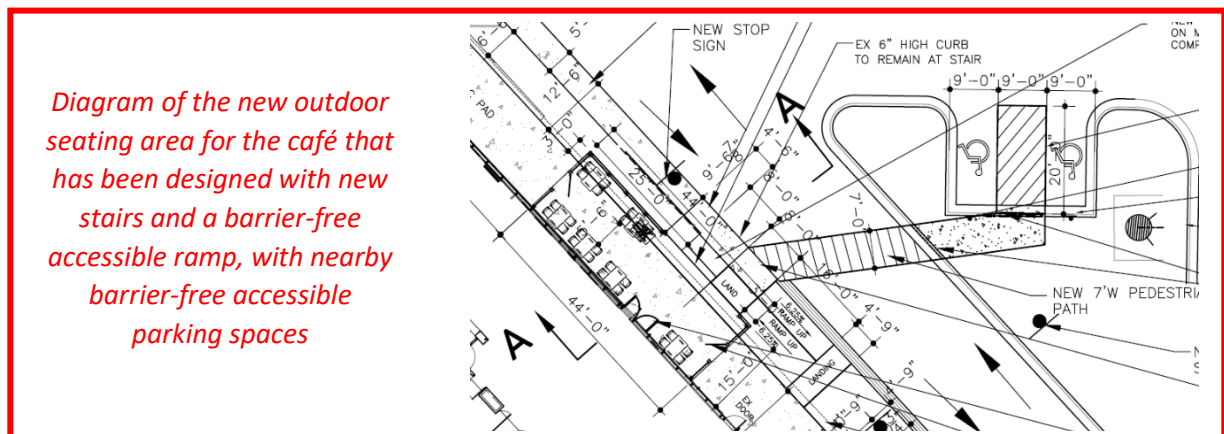
KEY ISSUES

1. Café with Outdoor Seating – First Floor

The proposal includes a small ancillary café with outside seating on the east side of the building on the first floor. The space will replace the area formerly programmed by the YMCA for child care and multi-purpose use. The café will serve coffee and dessert items to Chillbox staff and visitors and be open to the general public.



Photo of the location of the proposed café and outside seating area



The new semi-covered patio seating area will accommodate up to 24 patrons. The existing elevated sidewalk directly abutting the building will be slightly enlarged, and new steps and a barrier-free accessible ramp will be provided for improved public access to the new café entrance/exit.

A four-foot-tall decorative fence will be added around the outside seating area to enclose the space and ensure the patrons' protection. Outdoor speakers are not currently proposed for the area. Staff will work with Mr. Bazzi to administratively permit small shrubs and flower beds in the greenbelt adjacent to the new café entrance to add visual interest after the new site work is completed.



Rendering of the renovation of the former YMCA child care and multi-purpose space into a café

KEY ISSUES

2. Multi-Purpose Uses – First Floor

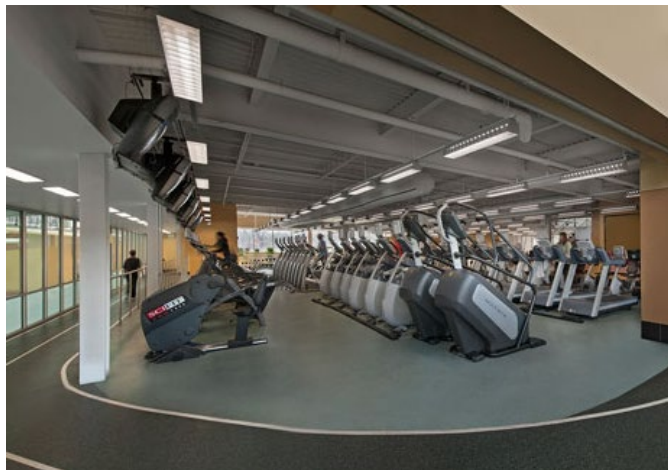
Mr. Bazzi plans to keep the gymnasium and locker rooms on the first floor “as is” for the company’s employees, visitors, and the Chillbox for Kids Foundation. The swimming pool will be removed and filled for safety and cost reasons, and converted into a multi-purpose room/exposition area. Staff discussed and brainstormed with Mr. Bazzi and his team about the potential for the first floor as a small banquet hall or rentable programable space, like 2Gather. Ultimately, Mr. Bazzi decided he did not want the building open to the public in that fashion. Instead, he would use the space for corporate and charitable foundation functions and potential office expansion space for employee growth. *It is noted that a Special Land Use Permit and Revised Site Plan would be required if Mr. Bazzi or a successor in interest ever desired to open the area for public assembly/space rental or any use that is not associated with or ancillary to corporate operations in the future.*



Photos of what the gym and pool on the first floor of the YMCA looked like before it was closed

3. Corporate Office Use – Second and Third Floors

Mr. Bazzi also envisions converting the second floor into a corporate office and training space for Chillbox. The YMCA originally programmed the area as a wellness center with a bridge to an aerobics room. This floor will retain the walking track that looks down into the first-floor gymnasium and former natatorium spaces. The smaller third floor will become the company's executive office suite.



Photos of what the second floor of the YMCA looked like before it was closed

KEY ISSUES (cont.)

Below are artist renderings of what the second and third floor corporate offices for Chillbox are envisioned to look like when renovations are completed.



Rendering of the renovation of the former second-floor wellness center and aerobics room into office space



Rendering of the renovation of the third floor into executive office space

STAFF RECOMMENDATION

Please be advised that the City's Administrative Review Team has reviewed this project and recommended approval.

Staff recommend Conditional Approval of the Special Land Use Permit request to allow for a cafe with an outdoor seating area and offer the following discretionary findings of fact:

1. The location of the use will not negatively impact adjacent areas, which are zoned residential to the west (across Joswick Road) and non-residential to the north, south, and east.
2. The land will be used in accordance with its immediate character, which is planned and zoned for non-residential development.
3. The requirements of Section 1818 in the City's Zoning Ordinance will be met.
4. The use will promote the purpose and intent of the City's Zoning Ordinance.
5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills and the purpose and intent of the City's Zoning Ordinance.
6. The requirements of Section 902, Item 23 in the City's Zoning Ordinance will be met.

We recommend Conditional Approval of the Revised Site Plan and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance, can be met as follows:
 - a. All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
 - b. Safe, convenient vehicle and pedestrian ingress/egress have been depicted; primary vehicle access will be to Five Points Drive and Walton Boulevard through existing driveways.
 - c. Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
 - d. A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
 - e. The proposed use will not have an unreasonable, detrimental, or injurious effect upon the natural characteristics of the subject parcel or the adjacent area.
3. Based on the building's floor plan, 298 spaces are required, and 315 parking spaces will be provided.
4. The parking layout meets minimum requirements, and 12 barrier-free parking spaces are required and provided. Four van-accessible spaces will also be provided.
5. Building and parking setback requirements will be met.
6. Greenbelts are provided along Five Points Drive and Walton Boulevard.
7. Landscape requirements will be met, and calculations have been submitted.
8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. The existing light poles and light pole fixtures are proposed to remain.
9. A note indicates that signs shall meet the requirements of the Zoning Ordinance. A Special Land Use Permit was previously approved for the electronic changeable copy signs on the property. The existing signs shall be operated per the City's Zoning Ordinance requirements.
10. A note indicates that parking spaces shall be double-striped.
11. Ground-mounted and roof-mounted mechanical equipment will be screened.
12. A note indicates that there will be no pallet storage, overnight vehicles, or trailer storage.
13. Eight-foot pathways exist along Five Points Drive and Walton Boulevard. A complete streets pedestrian connection exists between the building and the pathway along Five Points Drive.
14. A Tree Removal Permit is not required. No trees are proposed to be removed. Any dead or damaged trees found after an inspection by the City's Woodland Consultant will be required to be replaced.

STAFF RECOMMENDATION (cont.)**Conditions:**

1. Bazco Holdings, LLC agrees to address all deferred maintenance and associated repairs at the building and property and obtain all necessary permits to comply with the YMCA's original approved Site Plan (March 18, 2002) and associated Revised Site Plan. The building shall not be occupied, and the café may not operate until all maintenance, repairs, and improvements are completed as determined by City staff and consultants.
2. Bazco Holdings, LLC agrees that a Building Permit and associated trade permits (e.g., electrical, mechanical, plumbing, fire suppression, etc.) will be required to reoccupy the building, including construction drawings with an updated building code analysis for the structure's new uses.
3. Bazco Holdings, LLC agrees to comply with the requirements of Section 2007. Performance Guarantees of the Zoning Ordinance.
4. Bazco Holdings, LLC agrees that the demolition of the pool in the existing natatorium will comply with the City's requirements and that the pool, including any below-grade walls, will be entirely removed.
5. Bazco Holdings, LLC agrees that the City's approval of the Revised Site Plan only permits the gym and multi-purpose room (former natatorium) to be utilized for the internal company and foundation-related activities. Public assembly/space rental, or any use not associated with or ancillary to corporate operations, is not authorized unless said use is granted and approved by the City Council via future application.
6. Bazco Holdings, LLC agrees to complete exterior maintenance, repairs, and improvements to the property by November 30, 2025, and the overall project by May 19, 2026.
7. The City's approval shall be based on Bazco Holdings, LLC representations, as documented in this report, submittal materials, and the public meeting minutes.

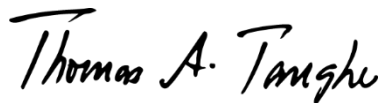
PLANNING COMMISSION RECOMMENDATION

Recommended Approval on May 7, 2025 (8-0 vote)

MOTION

Move to accept the Planning Commission's recommendation and approve the Special Land Use Permit and Revised Site Plan for Chillbox Corporate Headquarters at 3378 E. Walton Boulevard subject to the conditions of the City's Administrative Review Team.

I CONCUR:



THOMAS A. TANGHE, CITY MANAGER



CITY OF AUBURN HILLS
PLANNING COMMISSION
MINUTES
NOT YET APPROVED - EXCERPT

May 7, 2025

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 7:00 p.m.

ROLL CALL: Present: **Carolyn Shearer, Darlene MacMillan, Jack Ferguson, Cynthia Pavlich, Raymond Saelens, Sam Beidoun, Dominick Tringali, Greg Ouellette**
Absent: None.
Also Present: Director of Community Development Steve Cohen, and Assistant to the Director of Community Development Devin Lang
Guests: 7

LOCATION: Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

5. PETITIONERS

5a. Chillbox Corporate Headquarters (7:01 p.m.)

Public Hearing/Motion – Recommendation to City Council for Special Land Use Permit and Revised Site Plan approval to repurpose the former North Oakland Family YMCA facility into an office building with an ancillary café with outside seating.

This is a request from Bazco Holdings, LLC for a Special Land Use Permit and Revised Site Plan approval to repurpose the former North Oakland Family YMCA recreational facility at 3378 E. Walton Boulevard into a corporate office building for its subsidiary Chillbox Convenience Stores, along with an ancillary café and associated outdoor seating.

The proposal includes a small ancillary retail store/café with outside seating on the east side of the building on the first floor. The space will replace the area formerly programmed by the YMCA for childcare and multi-purpose use. The café will serve coffee and dessert items to Chillbox staff and visitors and be open to the public. This new semi-covered patio seating area will accommodate up to 24 patrons. A four-foot-tall decorative fence will be added around the outside seating area to enclose the space and ensure the patrons' protection.

The gymnasium and locker rooms on the first floor will be kept "as is" for the company's employees, visitors, and the Chillbox for Kids Foundation. The swimming pool will be removed and filled for safety and cost reasons and converted into a multi-purpose room/exposition area. The space will be used for corporate and charitable foundation functions and potential office expansion space for employee growth.

The second floor will be converted into a corporate office and training space for Chillbox. This floor will retain the walking track that looks down into the first-floor gymnasium and former natatorium spaces. The smaller third floor will become the company's executive office suite.

Aly Bazzi, Bazco Holdings, LLC, 30825 26 Mile Road, New Haven, MI 48048 was available to answer any questions of the Commission.

The Commission asked about the following:

1. The use of volunteers in the company's charitable endeavors;
2. Bazco Holdings business activities;
3. The number of employees anticipated;
4. The speed of vehicles travelling past the proposed café area;
5. Hours anticipated for the café.

Mr. Bazzi stated that he does envision bringing volunteers and the community into the facility, but the facility will not be leased or offered for rent to outside entities. He further explained that their family has operated retail/gas station businesses since 1989. They operate multiple locations in southeast Michigan and plan to continue expanding. They also have a wholesale distribution segment. Their future growth is anticipated to be through Chillbox. They

also assist small businesses, provide grants, and provide education. The transformation of the YMCA facility into the Chillbox Headquarters is expected to house 100 employees.

In addressing the concern regarding the speed of traffic past the café area, Mr. Cohen stated they have discussed traffic calming solutions along the north-south drive, which include additional stop signs in the area in front of the café's entrance.

Mr. Bazzi stated that the café's hours have not yet been determined, but it is expected to be generally open during business hours, with the exception of operating after 5 p.m. and seven days a week, depending on demand.

Mr. Ouellette opened the public hearing at 7:09 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 7:10 p.m.

Moved by Beidoun to recommend to City Council approval of the Special Land Use Permit and Revised Site Plan for Chillbox Corporate Headquarters subject to the conditions of the City's Administrative Review Team.

Second by Ferguson.

VOTE: Yes: Saelens, MacMillan, Beidoun, Pavlich, Shearer, Ferguson, Tringali, Ouellette

No: None Motion Carried (8-0)



Development Application

Project Name: Chilbox Corporate HQ

General Project Location: 3378 E. Walton Blvd.

Parcel Size: 11.28 acres Zoning: B-2

Sidwell Number(s): 14-13-126-015-019, 022

Project Description: Former Ymca

Building Size (sq. ft.): 63,701

Check requested review(s)

☒ Site Plan

☐ Tree Removal Permit

☒ Special Land Use Permit(s) outside seating for cafe

☐ Land Division

☐ Land Exchange

☐ Subdivision

☐ Planned Unit Development - Step 1/Step 2/Combined

☐ Rezoning _____ to _____

☐ ZBA Variance or Interpretation
(see supplemental application)

☐ Other _____

PTR: 250003

City Use Only

Address:

3378 E Walton

Date Received:

4/10/25

Fees Paid:

6,339.00

SP #:

250008

SLU #(s):

250002

LD/LE/SUB #:

RZ #:

PUD #:

ZBA #:

Applicant

Name: B42CO Holdings, LLC Signature: Ben B423

Business Name and Address: Chilbox 30825 26 mile Rd

City: New Haven State: MT Zip Code: 48040 Phone Number: 586-531-6377

Fax Number: _____ Alt. Phone Number(s): 586-749-7444

Property Owner(s)

Name: Ymca of metro Detroit Signature: Paul

Business Name and Address: Ymca 1401 Broadway

City: DETROIT State: MT Zip Code: 48213 Phone Number: 313-267-5300 x 339
(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department,
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939
www.auburnhills.org

Bazco Holding LLC: Introduction and Project Overview

April 25, 2025

Bazco Holding LLC is the second-generation family organization of the Bazzi family, overseeing a diversified portfolio of businesses. The holding company comprises two key entities:

- **Bazco Oil** – A wholesale fuel distribution company dedicated to supplying independent business owners with reliable fuel solutions.
- **Chillbox** – Our independent Convenience store brand with a focus on innovation, which supports the **Chillbox for Kids Foundation**, which is committed to community enrichment.

The former YMCA building will primarily serve as the headquarters for Chillbox and the Chillbox for Kids Foundation. A small portion of the facility will also support Bazco Oil operations, including meetings for field teams and current or prospective clients.

Chillbox Convenience Stores: Fueled by Community

Chillbox Convenience Stores is more than just your neighborhood pit stop, we're a proud, family-owned business with deep roots and a big heart. Since our founding in 2015, we've expanded across Michigan with 40 thriving locations in cities like Ann Arbor, Chesterfield, Warren, Wixom, Ypsilanti, Farmington Hills, and many more.

At Chillbox, we're known for our wide selection of snacks, beverages, ready-to-eat meals, and fuel options—all served up with unbeatable value. But what truly sets us apart is our commitment to the communities we call home.

Explore our full list of locations at chillboxstore.com/locations.

The Heart of Chillbox: Giving Back Through the Chillbox for Kids Foundation

We're not just in the business of convenience—we're in the business of "giving back". Through the **Chillbox for Kids Foundation**, we invest in local programs that uplift and support the next generation. Here's how we're making a difference:

Chillbox Community Hero Mugs

We deliver special Hero Mugs monthly to local schools, police departments, and fire stations across Southeast Michigan. With unlimited free fill-ups of Chillbox coffee, ICEEs, or fountain drinks, these mugs are our heartfelt thanks to the everyday heroes who keep our communities safe and strong.

Sending Kids to Camp

In partnership with the Salvation Army Great Lakes Division, we help send kids from low-income families to summer camp. For one special week each year, all profits from ICEE and fountain drink sales go toward this life-changing initiative.

Angel Tree Holiday Program

Our partnership with the Salvation Army also extends to the holidays. Through the Angel Tree Program, we collect board games and gifts to ensure every child experiences the joy and magic of the season.

Coats for Kids

Winter warmth shouldn't be a luxury. That's why we team up with a local radio station to collect new coats, hats, and gloves for children in metro Detroit. Donations are accepted at all Chillbox locations, and every item helps a child stay warm during Michigan's coldest months.

Kids Club Reading Program

Reading is the key to opportunity. We support literacy in local schools with reading incentives: once students hit reading goals set by their teachers, they earn a certificate for a free personal pizza and small ICEE from Chillbox. This program is open to all schools, K–6.

School Sponsorships

We're proud sponsors of school athletic programs, providing donations that help fund everything from equipment to uniforms.

A New Chapter: Chillbox Headquarters Coming to Auburn Hills

We're thrilled to announce plans for our new headquarters at the former YMCA facility in Auburn Hills. This dynamic space will serve as the headquarters of Chillbox operations:

- **Second & Third Floors:** Renovated for our corporate and executive offices.
- **First Floor:** A vibrant café with outdoor seating—open to the public and perfect for Chillbox team gatherings.
- **Gym & Locker Rooms:** Preserved for foundation use and community programming.
- **Former Pool Area:** Reimagined as a multi-use room for company and foundation-related events and celebrations. These areas will not be made available for rent to the general public.

Our vision includes full exterior upgrades—parking, landscaping, sidewalks, signage, and more—all expected to be completed before we move in. The total investment in the site is estimated at \$2.0 million, reflecting our long-term commitment to Auburn Hills.

Construction will begin within 60 days of City Council approval. Exterior improvements/renovations are anticipated to be completed by **November 30, 2025**, and the project as a whole is expected to wrap up by **March 1, 2026**.

Chillbox is ready to bring new life to a beloved space and create new opportunities for the Auburn Hills community. We can't wait to be part of the neighborhood.

Below are artist renderings of our vision for repurposing the building.



SECOND FLOOR MEETING ROOM

'stixels



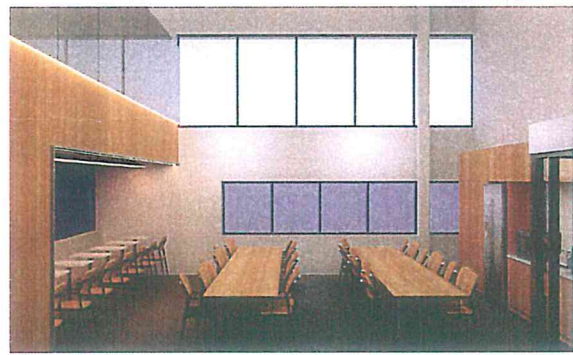
SECOND FLOOR KITCHEN

'stixels



SECOND FLOOR WORKSPACE

'stixels



SECOND FLOOR KITCHEN

'stixels



SECOND FLOOR MEETING ROOM

'stixels



SECOND FLOOR WORKSPACE

'stixels



SECOND FLOOR WORKSPACE

'stixels



SECOND FLOOR WORKSPACE

'stixels

Reverse For Additional Pictures

Below are artist renderings of our vision for repurposing the building.



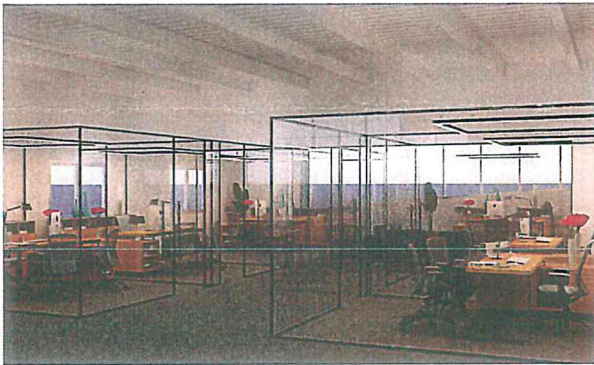
SECOND FLOOR KITCHEN

'stixels



3RD FLOOR HEADQUARTER

'stixels



3RD FLOOR HEADQUARTER

'stixels



3RD FLOOR HEADQUARTER

'stixels



3RD FLOOR HEADQUARTER

'stixels



FIRST FLOOR COFFEE SHOP PROPSAL

'stixels



FIRST FLOOR COFFEE SHOP PROPSAL

'stixels



FIRST FLOOR COFFEE SHOP PROPSAL

'stixels

NEW CHILLBOX HEADQUARTERS

AUBURN HILLS MI

BRIEF COMPANY DESCRIPTION

Bazco Holding LLC is a second-generation family business overseeing a diverse portfolio, including Bazco Oil—a wholesale fuel distributor—and Chillbox, an independent convenience store brand. The former YMCA building in Auburn Hills is being repurposed as the new headquarters for Chillbox and the Chillbox for Kids Foundation, with limited space dedicated to Bazco Oil meetings and operations.

Chillbox Convenience Stores, founded in 2015, has grown to 40 locations across Michigan. Known for affordable snacks, meals, and fuel, Chillbox stands out for its community-first approach. Through the Chillbox for Kids Foundation, the company supports a variety of charitable programs such as Hero Mugs for first responders, summer camp funding, holiday gift drives winter clothing collections, reading incentives for students, and school sponsorships.

The New Auburn Hills Headquarters will include corporate offices, a public café, Gym and locker rooms, and a multipurpose room for foundation and company use. With a \$2 million investment, renovations will feature full exterior upgrades and are expected to be completed by March 2026. Chillbox looks forward to revitalizing the space and deepening its community impact in Auburn Hills.

SCOPE OF WORK

1 – SITE WORK

- EXTEND EXISTING EXTERIOR PAD FOR EXTERIOR SEATING FOR THE NEW CAFE
- NEW RAILING AROUND THE PROPOSED EXTERIOR SEATING
- NEW ACCESSIBLE RAMP AND STAIR TO HE EXTERIOR SEATING
- REWORK EXISTING 3 PARKING STALLS TO FORM TWO ACCESSIBLE PARKING
- NEW PEDESTRIAN PATCH FROM THE ACCESSIBLE PARKING TO THE NEW EXTERIOR SEATING AND THE NEW CAFE

2 – EXISTING FIRST FLOOR

- CONVERT THE EXISTING NATATORIUM TO NEW MUTLI-PURPOSE ROOM/AREA
- CONVERT EXISTING AQUATICS DIRECTOR OFFICE AND EXISTING SHOWERS ROOM INTO DELIVERY AREA FOR READY TO EAT SNACKS AND REFRESHMENT DRINKS.
- FROM THE EXISTING NATATORIUM, REMOVE EXISTING SLIDES ,STAIRS AND DIVING BOARDS
- BACKFILL EXISTING SWIMMING POOL AND SLIDING POOL WITH CONCRETE FLOOR FINISH
- NEW CAFE WITH INTERIOR AND EXTERIOR SEATING IN THE EXISTING CHILD WATCH/EXISTING MULTI PURPOSE ROOM/EXISTING TEACHING KITCHEN AND EXISTING FAMILY CENTER

3 – EXISTING SECOND FLOOR

- CONVERT EXISTING AEROBICS INTO CONFERENCE ROOM
- CONVERT EXISTING SPINNING ROOM INTO TRAINING ROOM
- CONVERT STAFF ROOM TO NEW CAFETERIA AND DELI
- CONVERT EXISTING TREADMILL AREA TO OFFICE CUBICLE.

4 – EXISTING THIRD FLOOR

- CONVERT EXISTING OPEN OFFICE INTO NEW EXECUTIVE OFFICES. NEW WALLS AND BATHROOM

- ADDRESS ALL DEFERRED MAINTENANCE AND ASSOCIATED REPAIRS AND OBTAIN ALL NECESSARY PERMITS TO COMPLY WITH THE FORMER YMCA SITE PLAN AND THIS REVISED SITE PLAN



KEY PLAN – SITE



SHEET INDEX

I-1	COVER SHEET
SP-1	EXISTING SITE PLAN
SP-1	MODIFIED SITE PLAN
SP-3	PROPOSED EXTERIOR SEATING
A-1	EXISTING FIRST FLOOR PLAN
A-2	MODIFIED FIRST FLOOR PLAN
A-3	MULTI PURPOSE AREA
A-4	EXISTING SECOND FLOOR PLAN
A-5	MODIFIED SECOND FLOOR PLAN
A-6	EXISTING THIRD FLOOR PLAN
A-7	MODIFIED FIRST FLOOR PLAN
A-8	BUILDING SECTIONS
A-9	ELEVATIONS



ZIAD EL-BABA
ENGINEERING

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL : 313-938-8767
CELL - 519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
OWNER
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

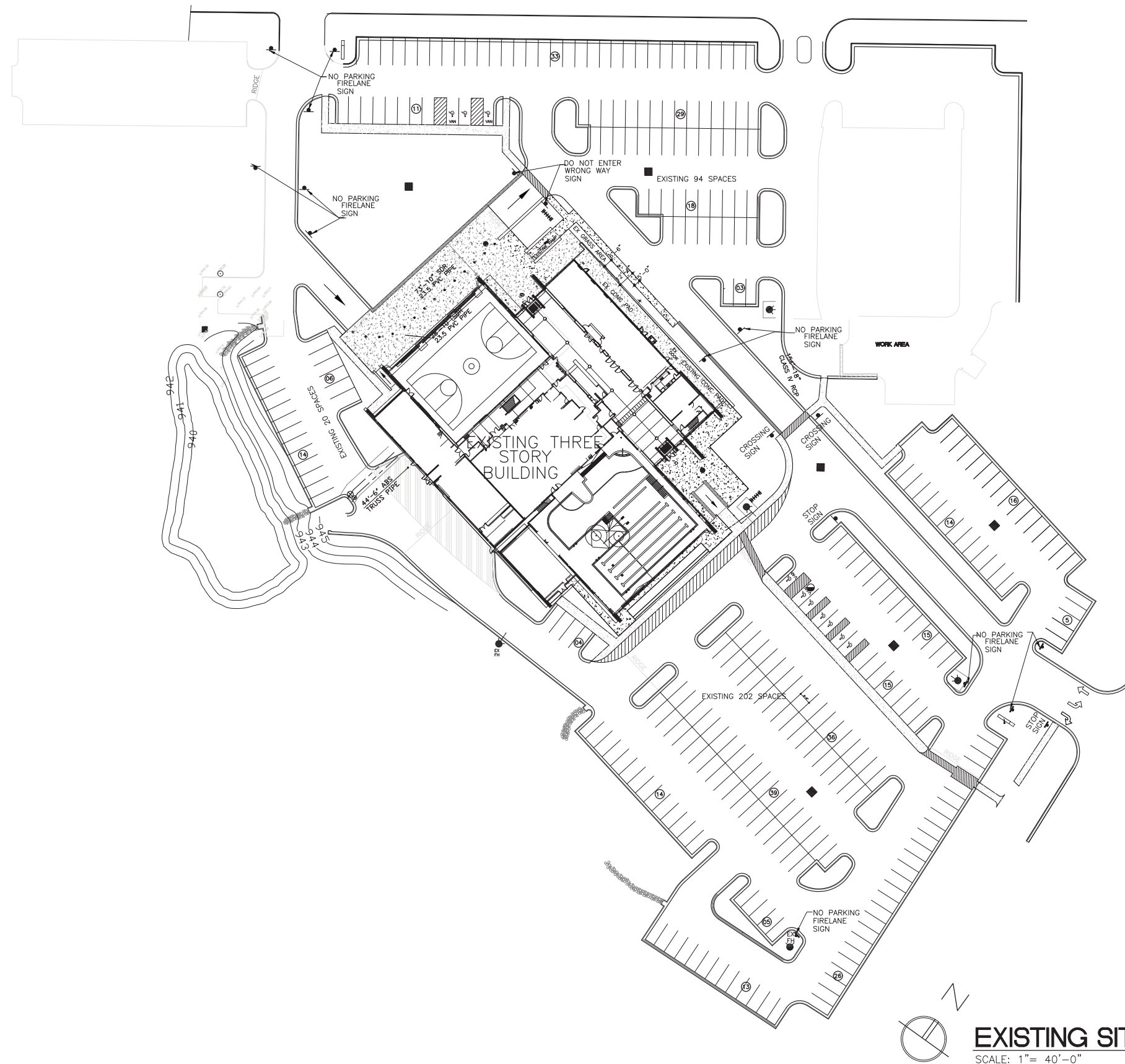
Drawing Title:
COVER SHEET

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

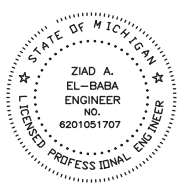
Drawing No.

I-1

WALTON BLVD



EXISTING SITE PLAN
SCALE: 1"= 40'-0"



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI

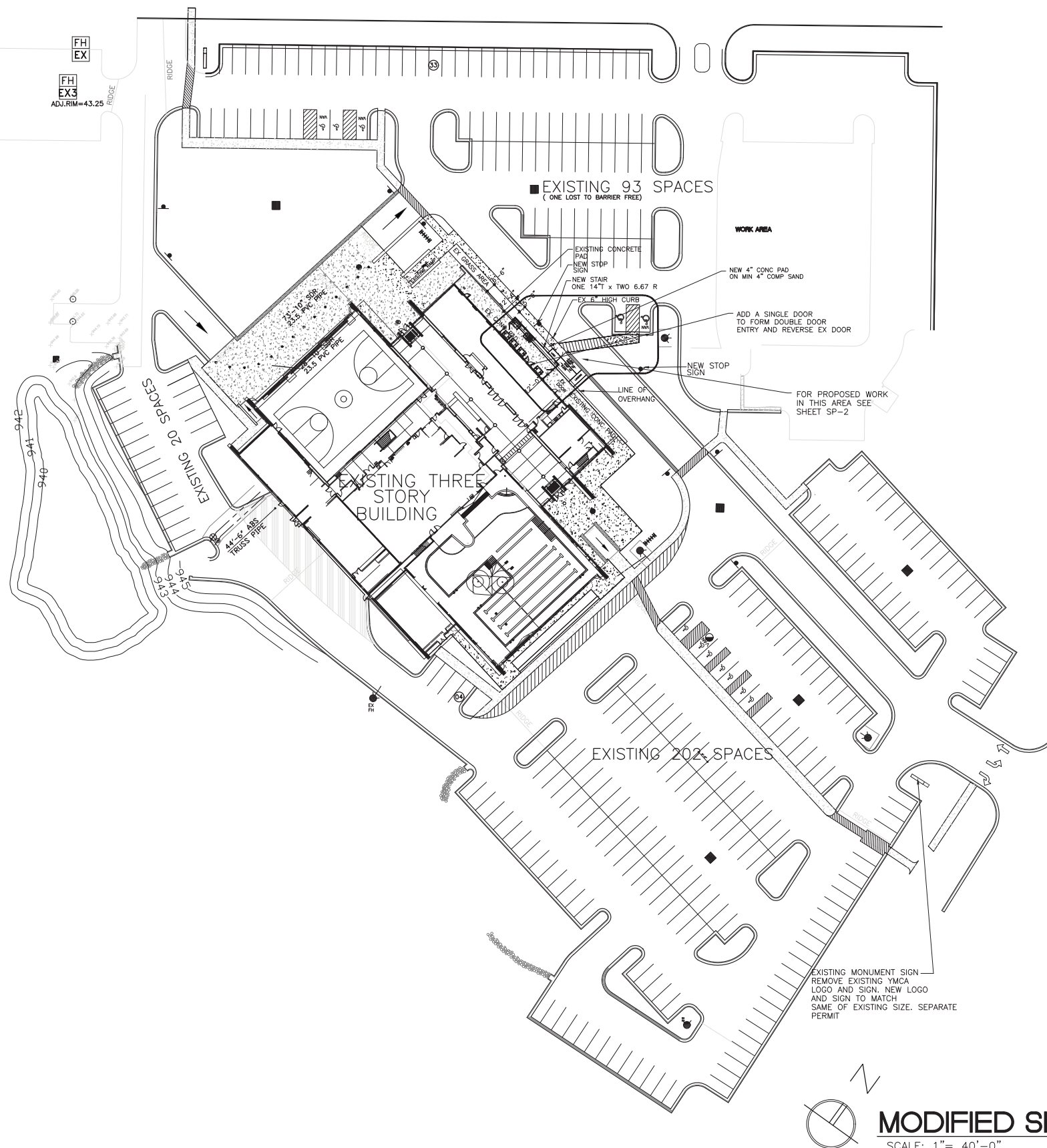
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
EXISTING SITE PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

SP-1



First Floor
Restaurant (including outdoor seating) – 3616 usable square feet
– required parking 1 space/50 square feet = 72 spaces
Office – 651 usable square feet
– required parking 1 space/200 sf = 3 spaces
Gymnasium – 6807 usable square feet
– required parking 1 space/ 3 people = 46 spaces
Occupant load is calculated at 1 person / 50 sf (136 persons)
Multipurpose Room / Exhibition Center (former Natatorium) – 8931 usable square feet
– required parking 1 space/ 3 people = 99 spaces
Occupant load is calculated at 1 person / 30 sf (297 persons)

Second Floor
Cubicle offices – required parking 1 space/cubicle = 68 spaces.

Third Floor
Executive Offices – required parking 1 space/office = 10 spaces

TOTAL REQUIRED

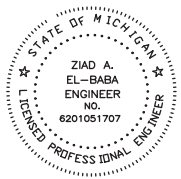
298 Spaces

TOTAL PROVIDED

315 SPACES
INCLUDING 12 BARRIER FREE (4 VAN ACCESSIBLE)

General Notes

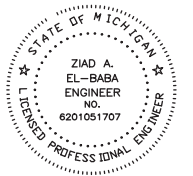
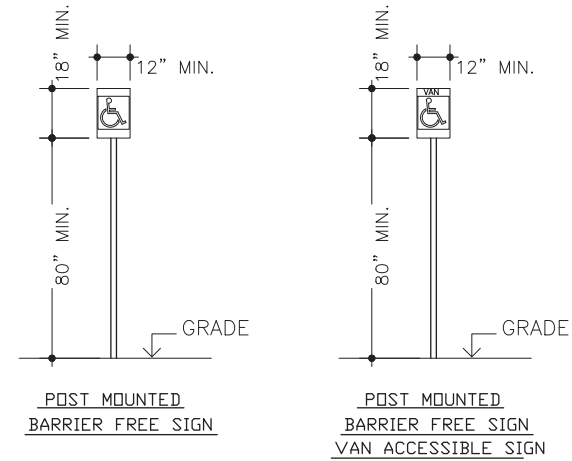
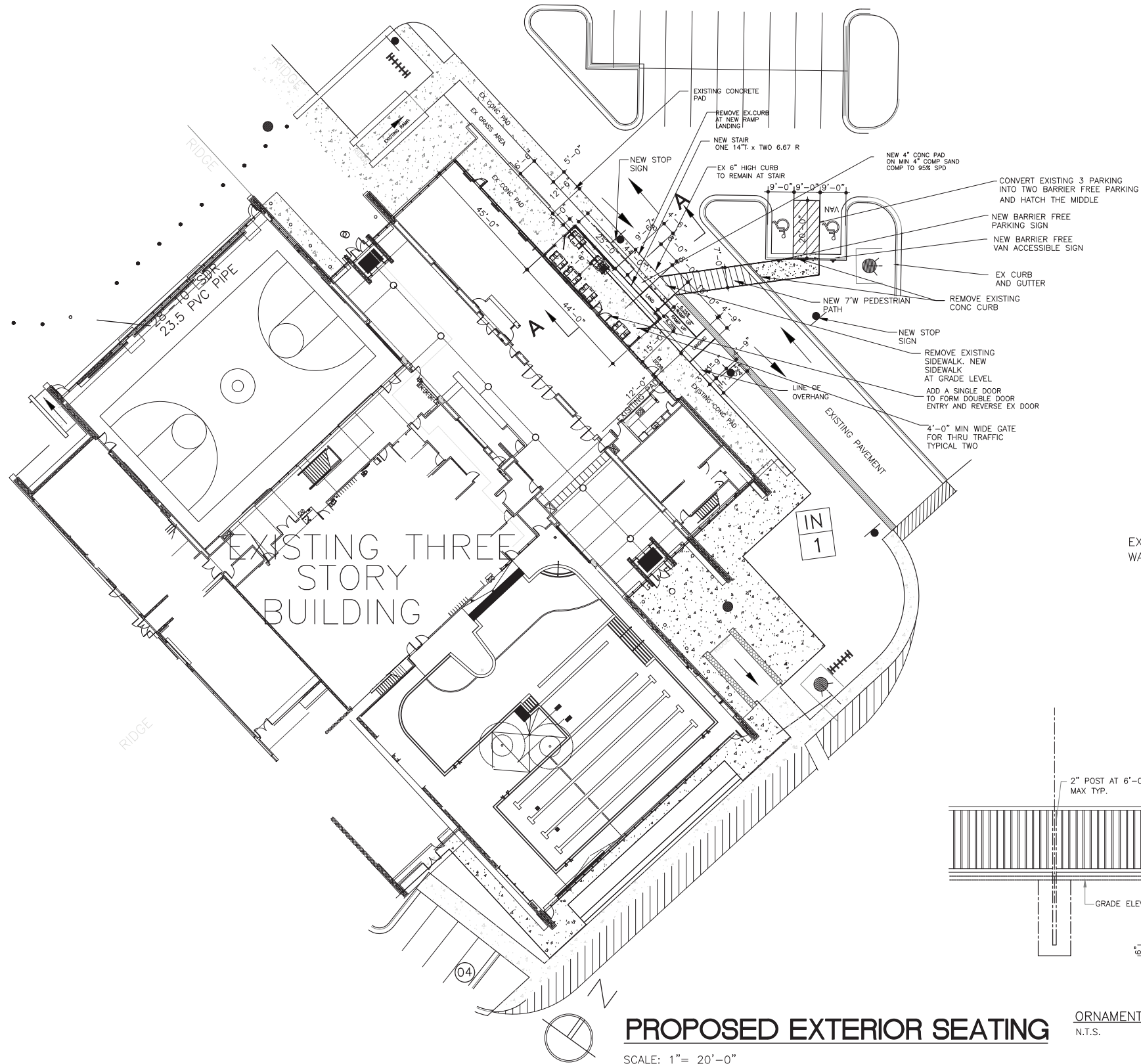
1. All lighting shall be shielded and directed downward and away from adjacent properties. Lighting shall meet the requirements of Zoning Ordinance No. 372.
2. Signs shall meet the requirements of Zoning Ordinance No. 372.
3. No outside storage will be allowed, which includes pallet storage, overnight vehicles, or trailer storage.
4. Ground-mounted transformers and roof-mounted mechanical equipment shall be screened per Zoning Ordinance No. 372.
5. Parking spaces shall be double-striped per Zoning Ordinance No. 372.
6. An Environmental Impact Statement is not required.
7. A Land Division or Combination is not required
8. A Special Land Use permit application is required for outside seating at the café.
9. No alterations, amendments, modifications, or revisions shall be made to the approved site plan during engineering and building plan submittal and review or during construction without prior approval from Community Development.
10. The Developer has agreed to prep the parking lot with the installation of electric stubs for future electric vehicle charging station locations adjacent to the barrier-free parking spaces and run conduit from the power source to the stubs to support future installation. The spaces designated with EV will be determined during construction in consultation with Community Development Department staff. They will be posted if and when charging stations are installed.



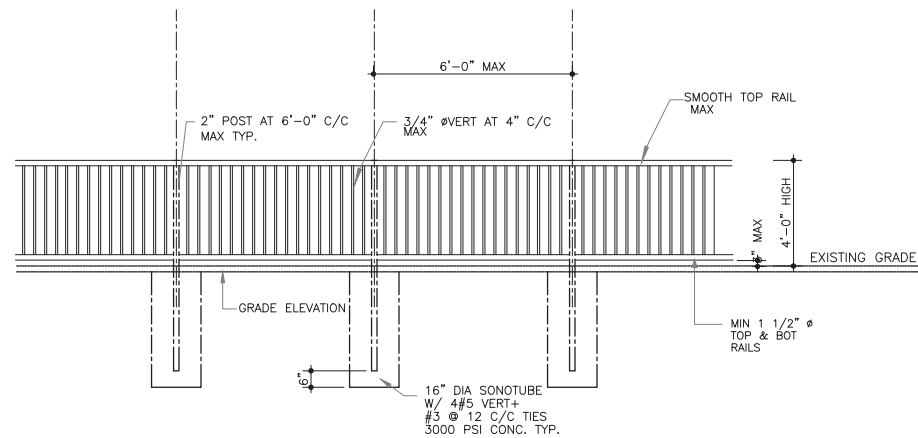
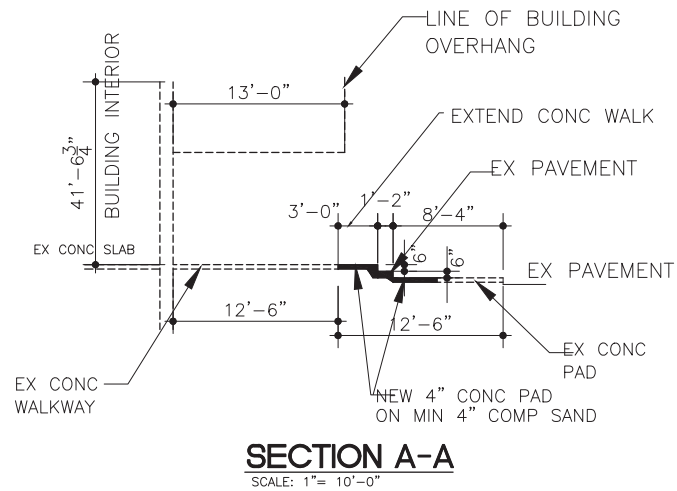
**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN
Project: INTERIOR RENOVATION 3378 E WALTON AUBURN HILLS MI		
CLIENT CHILLBOX HEADQUARTERS 30825 26 Mile Rd New Haven, MI 48048		
Drawing Title: EXISTING SITE PLAN		
Project Number		
Scale	AS NOTED	
Date		
Drawn By		
Checked By		
Drawing No. SP-2		



**ZIAD EL-BABA
ENGINEERING**
674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL :313-938-8767
CELL :519-796-9882



PROPOSED EXTERIOR SEATING

SCALE: 1" = 20'-0"

ORNAMENTAL FENCE ELEVATION
N.T.S.

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

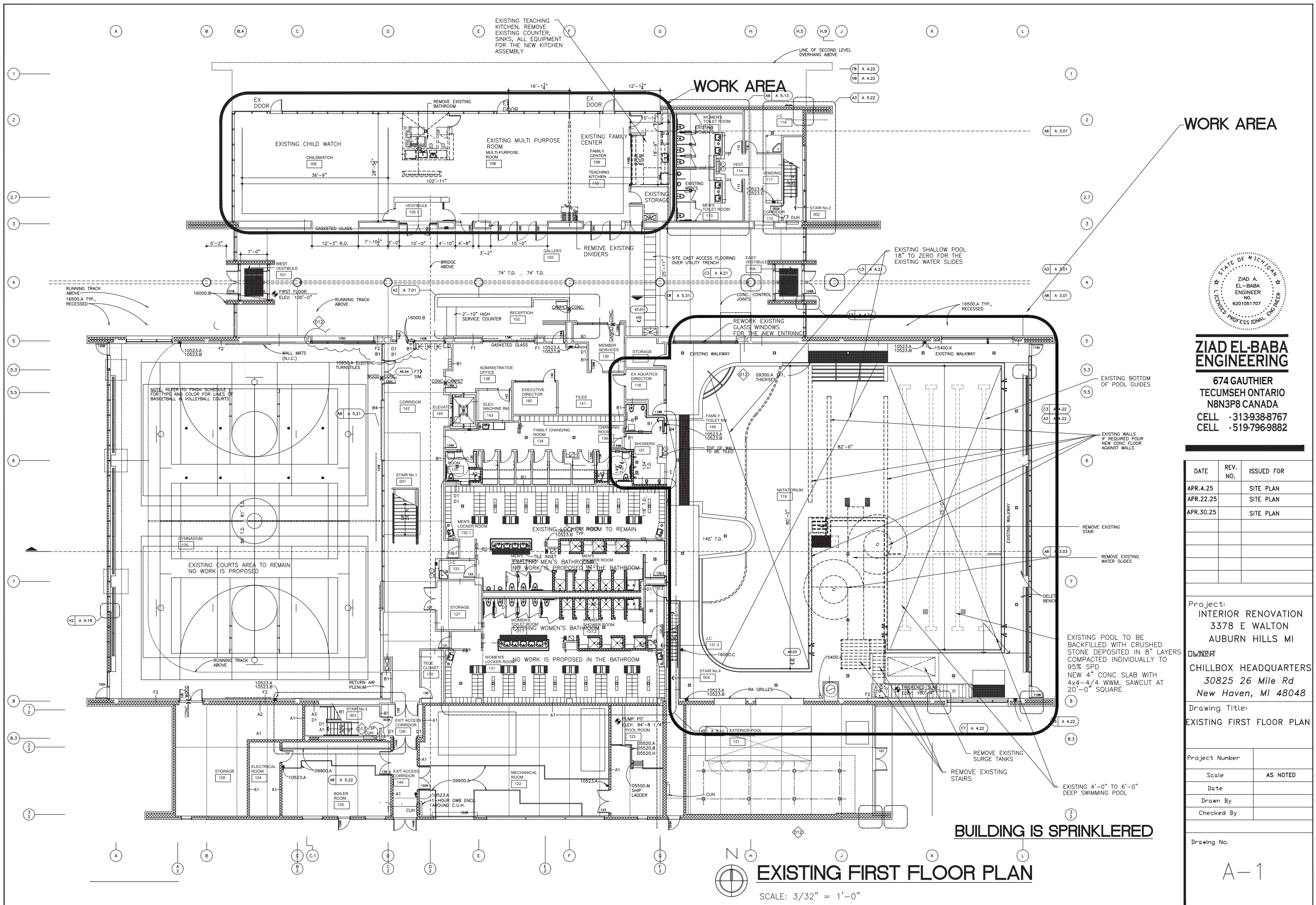
Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
EXTERIOR SEATING

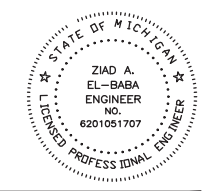
Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

SP-3



WORK AREA



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL :313-938-8767
CELL :519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

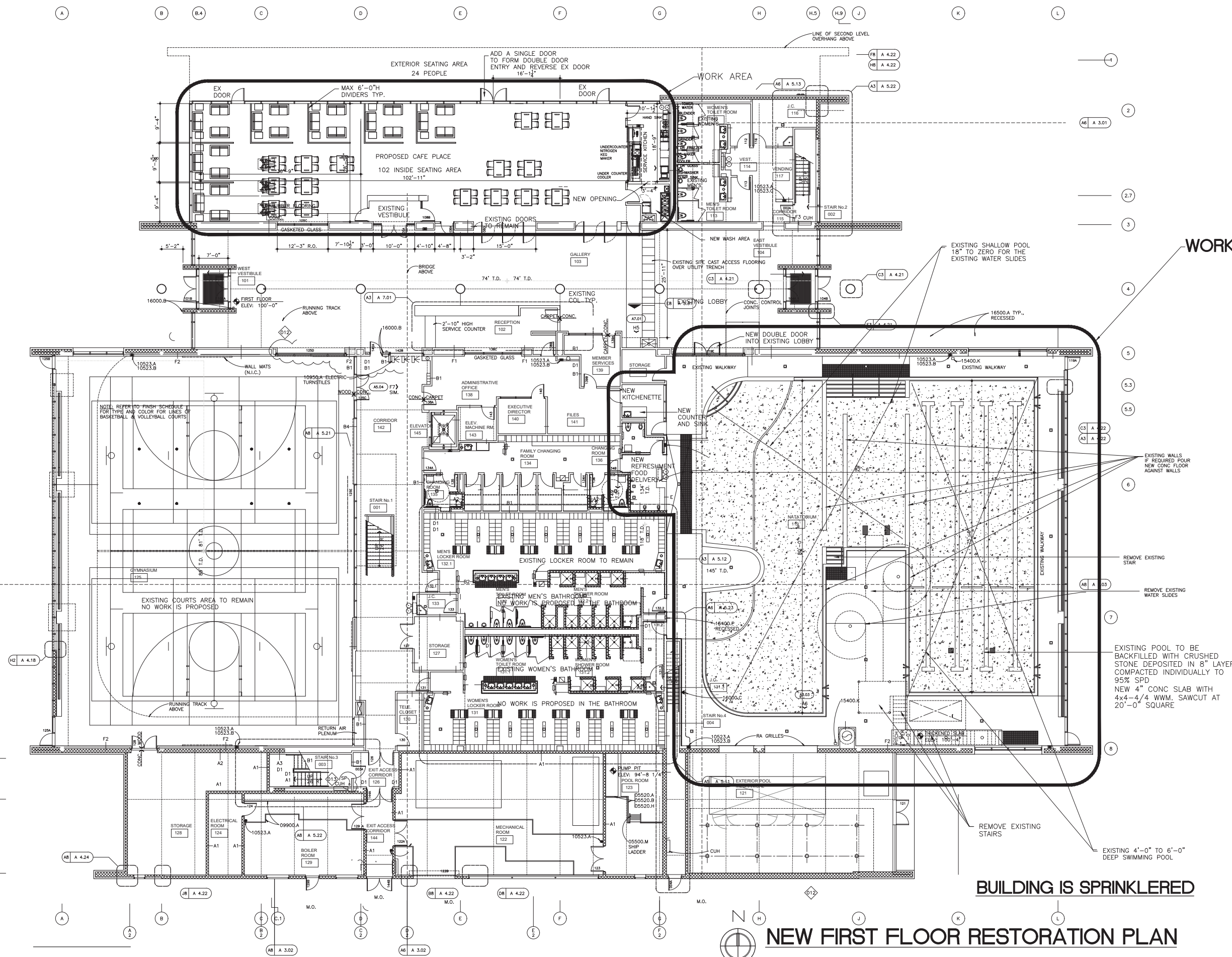
Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI

CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
EXISTING FIRST FLOOR PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.
A-1



WORK AREA



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL :313-938-8767
CELL :519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
MODIFIED FIRST FLOOR PLAN

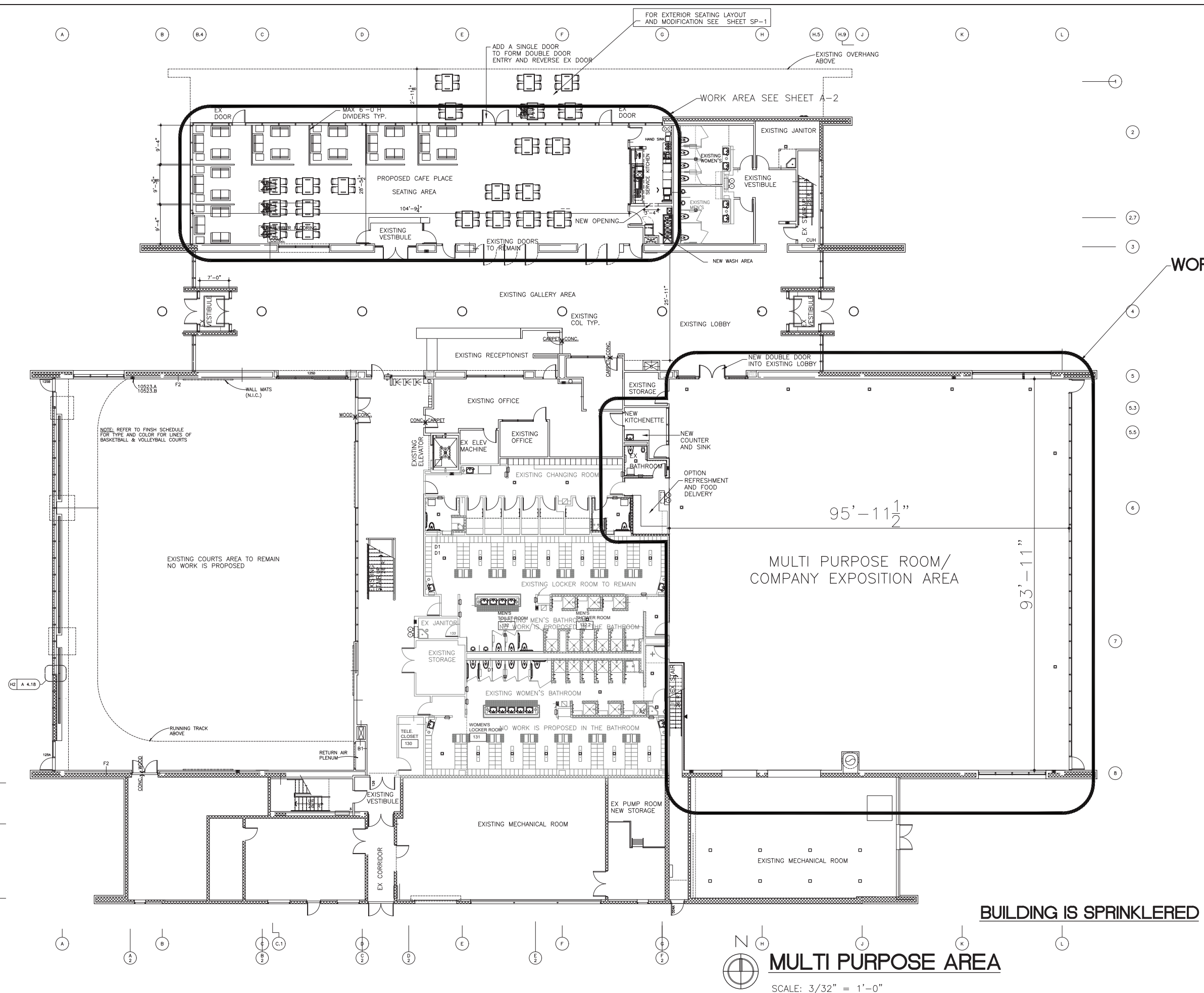
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Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

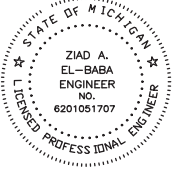
A-2

NEW FIRST FLOOR RESTORATION PLAN

SCALE: 3/32" = 1'-0"



WORK AREA



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

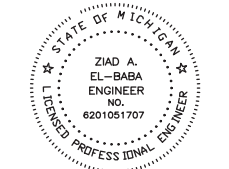
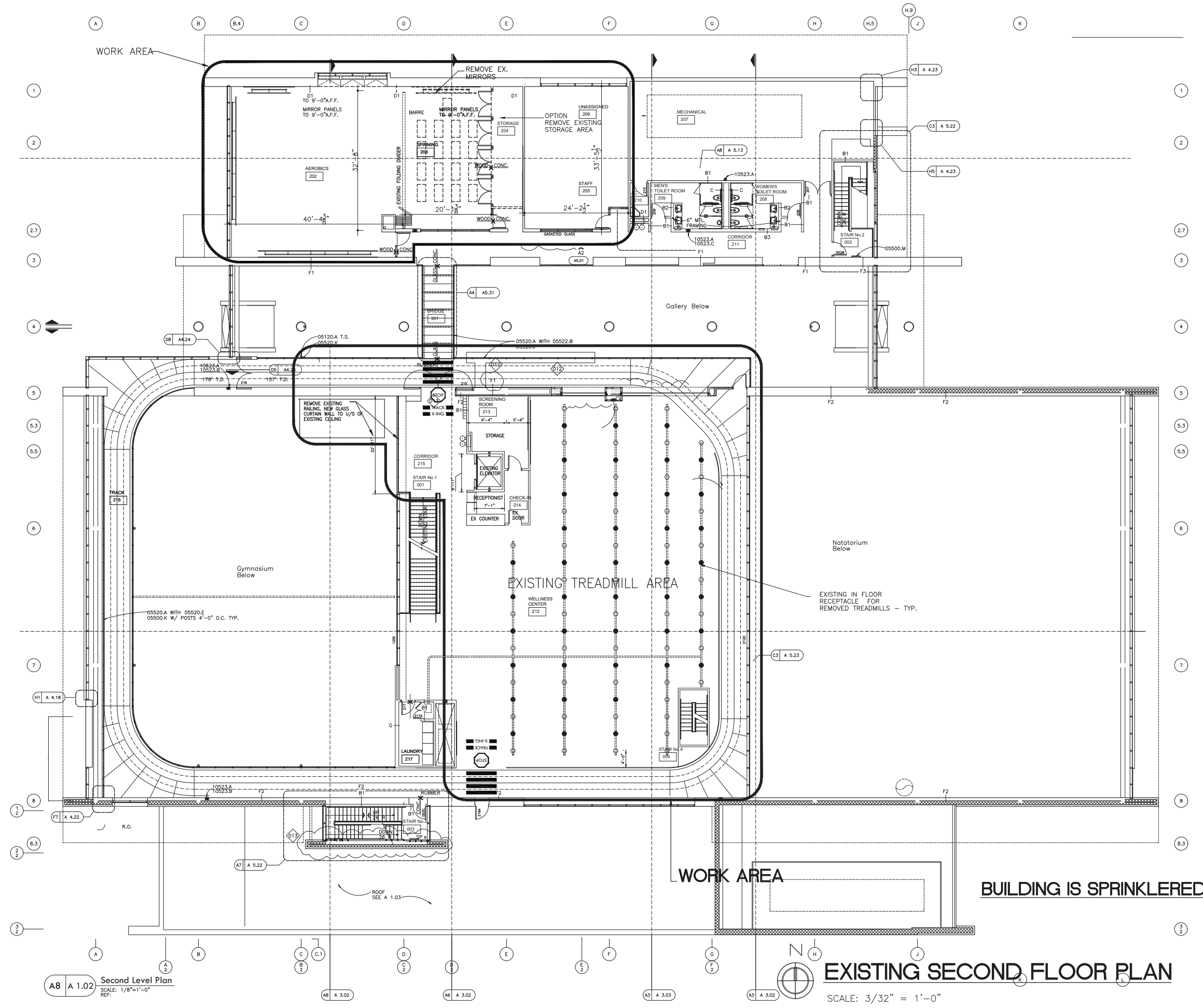
DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
MULTI PURPOSE AREA

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.
A-3



**ZIAD EL-BABA
ENGINEERING**

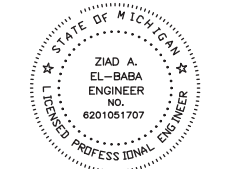
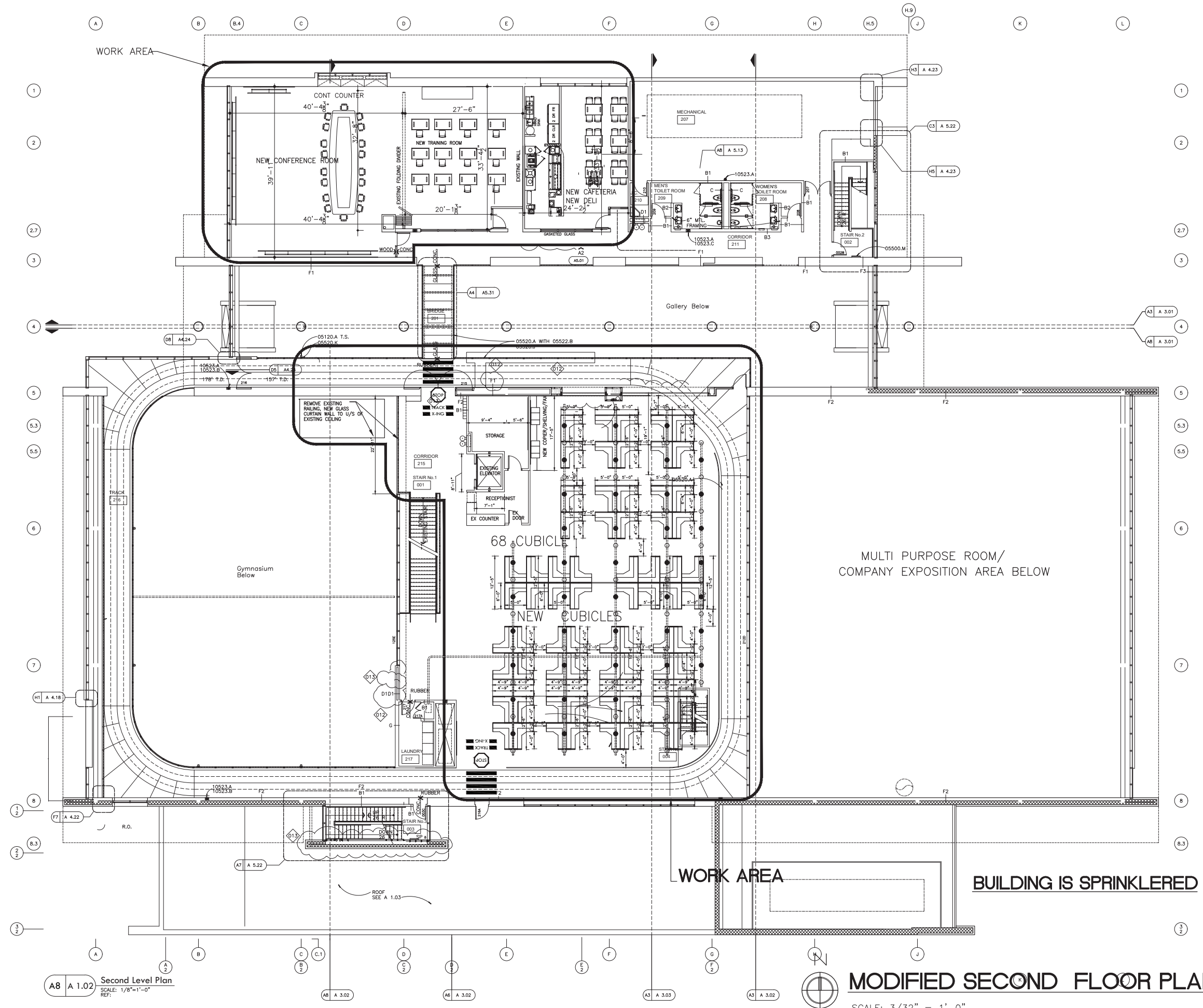
674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048
Drawing Title:
EXISTING 2ND FLOOR PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.
A-4



**ZIAD EL-BABA
ENGINEERING**
674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL :313-938-8767
CELL :519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN

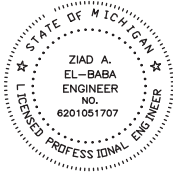
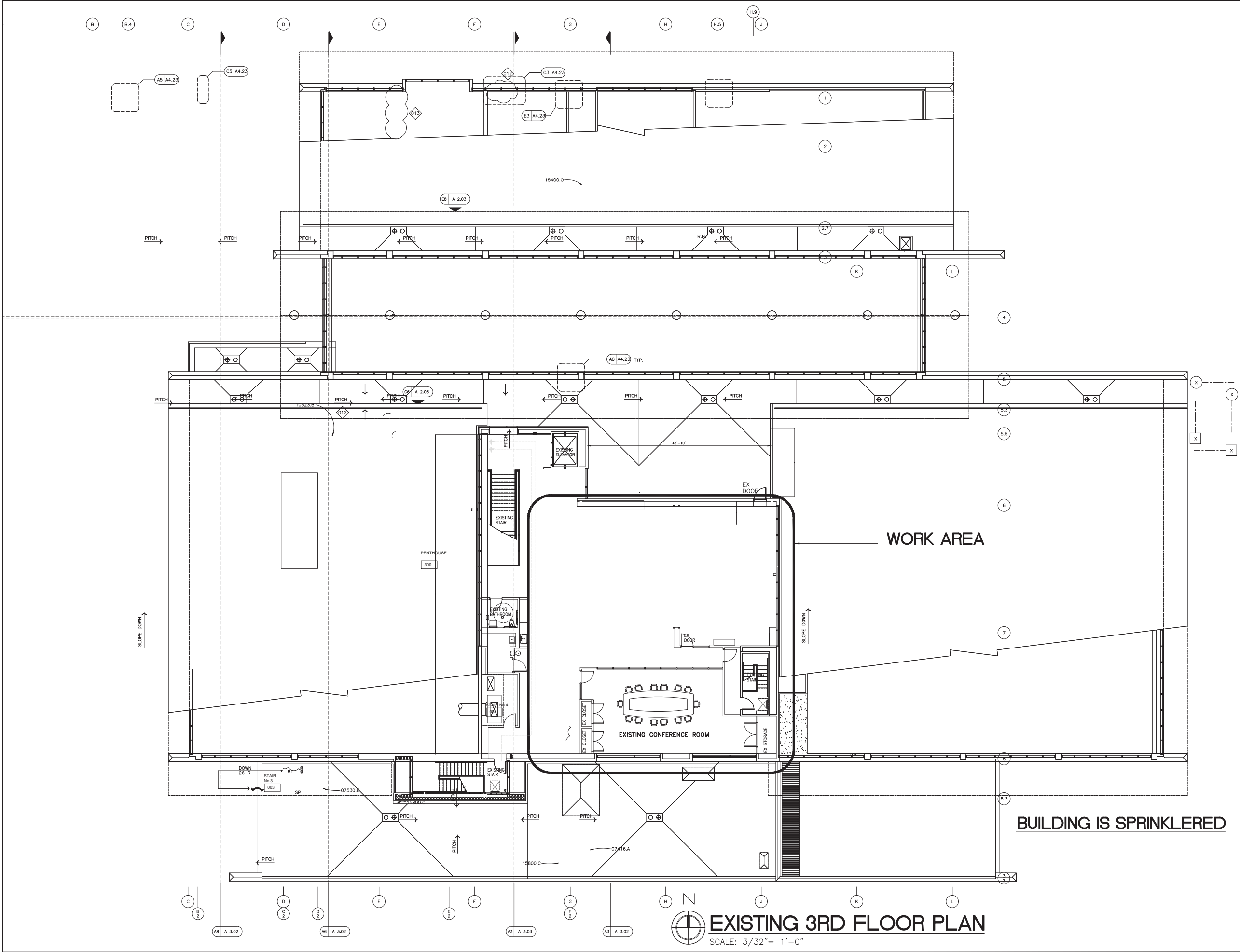
Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048
Drawing Title:
MODIFIED 2ND FLOOR PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.
A-5

A8 A 1.02 Second Level Plan
SCALE: 1/8"=1'-0"
REF:

MODIFIED SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI

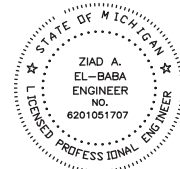
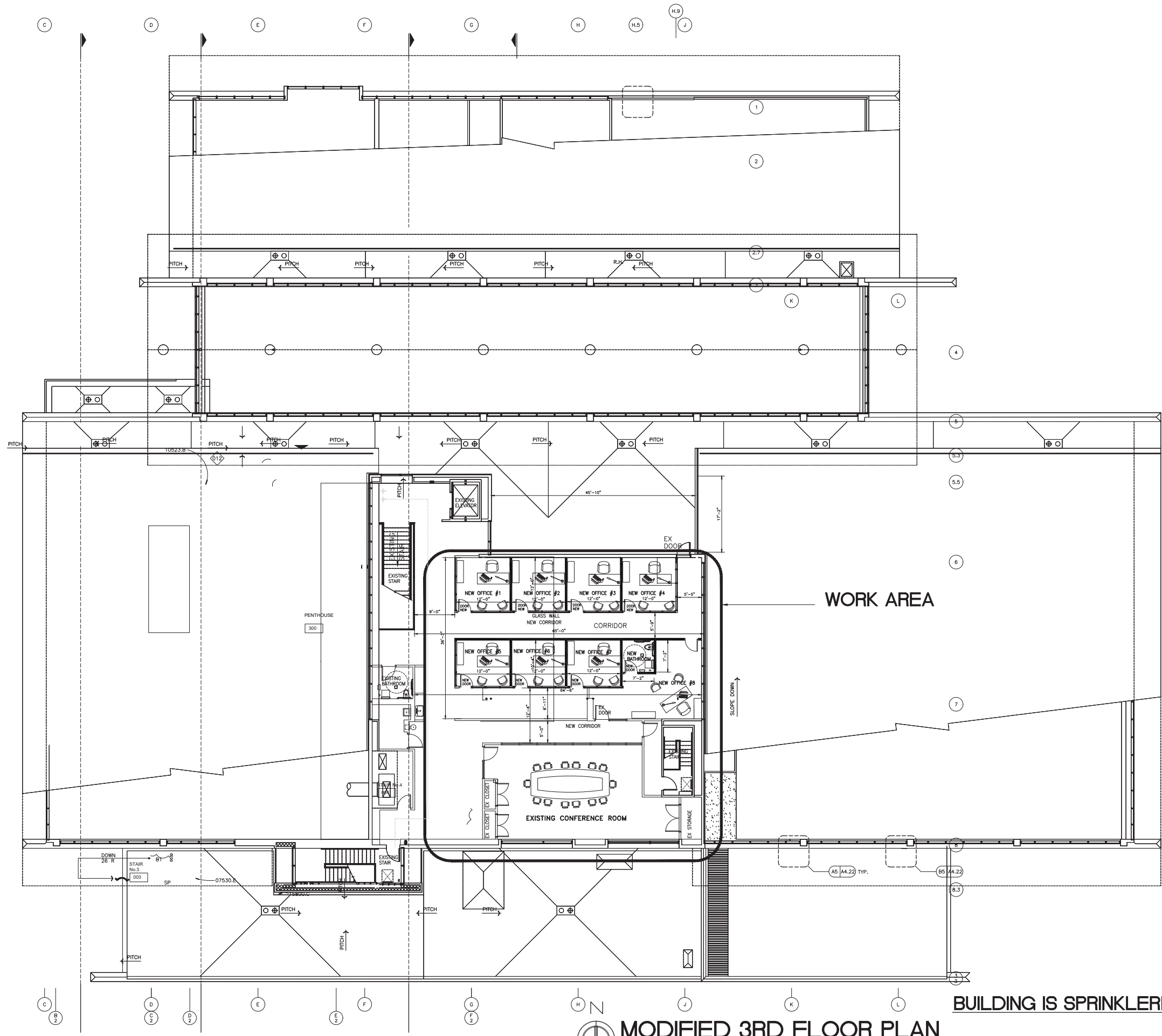
OWNER:
CHILBROS HEADQUARTERS
30800 RICHMOND RD
New Haven, MI 48048

Drawing Title:
EXISTING 3RD FLOOR PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

A-6



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
MODIFIED 3RD FLOOR PLAN

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

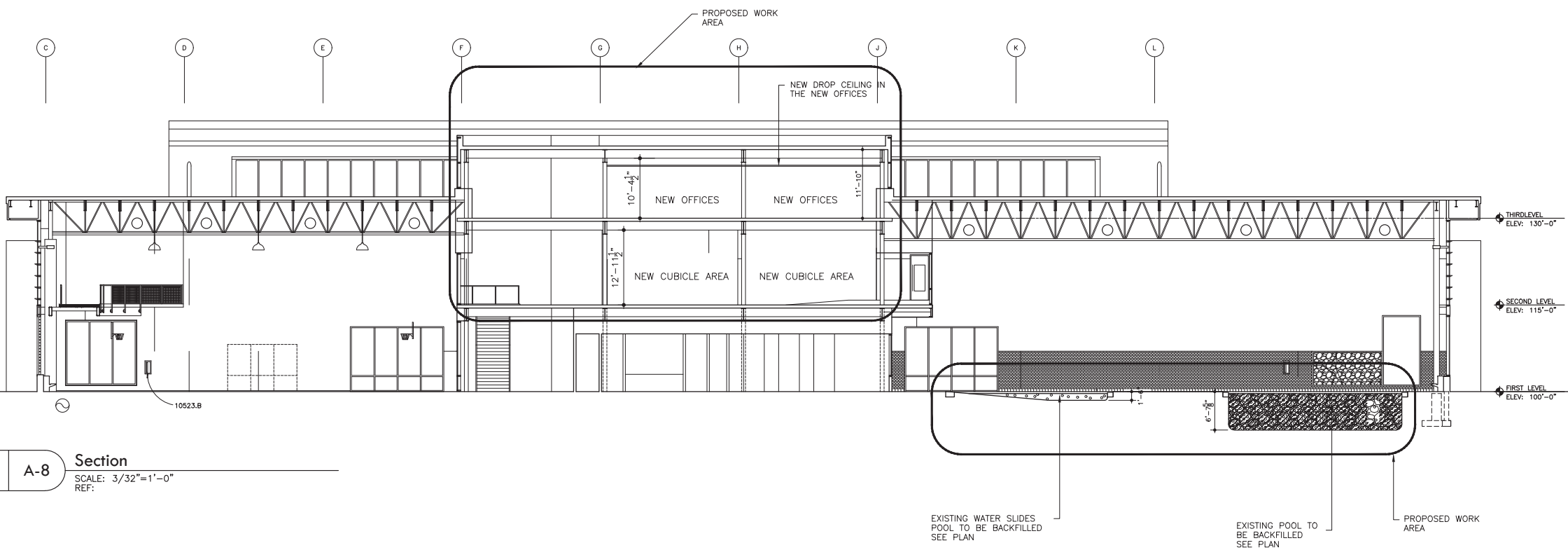
A-7



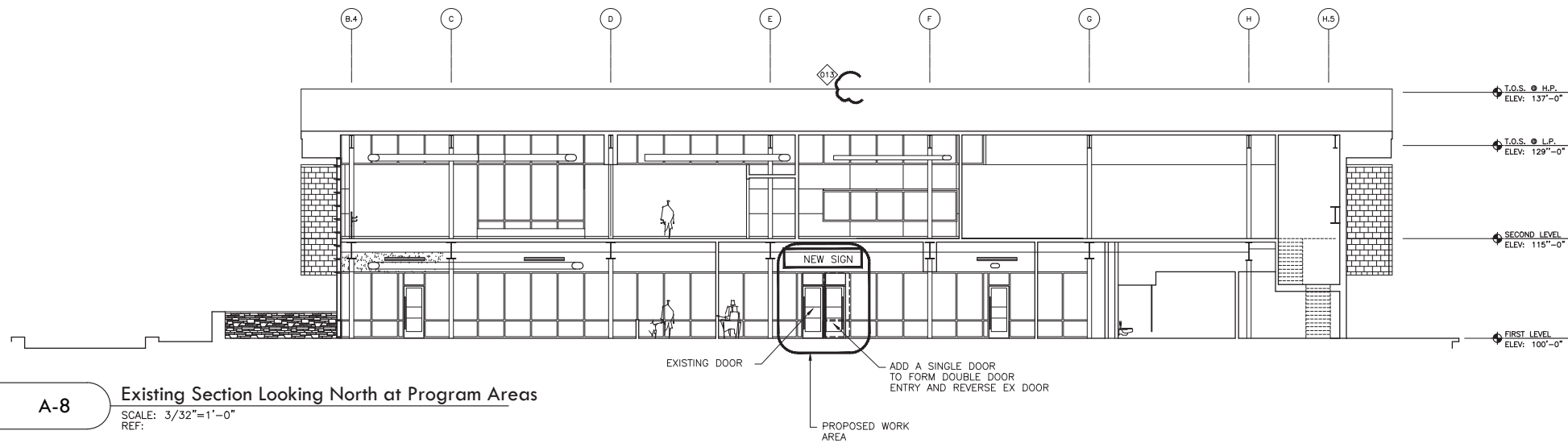
MODIFIED 3RD FLOOR PLAN

SCALE: 3/32" = 1'-0"

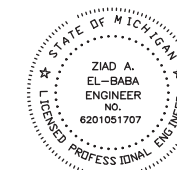
BUILDING IS SPRINKLERED



A-8 Section
SCALE: 3/32"=1'-0"
REF:



A-8 Existing Section Looking North at Program Areas
SCALE: 3/32"=1'-0"
REF:



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI

CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

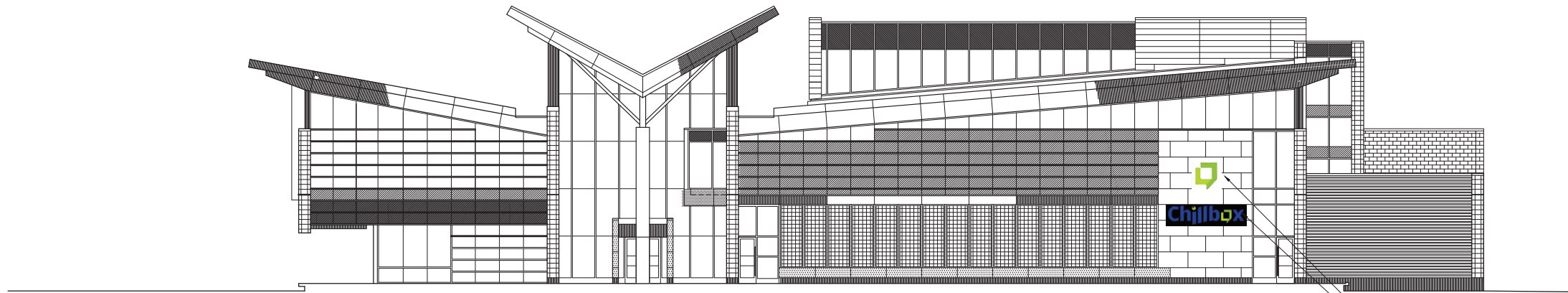
Drawing Title:
BUILDING SECTIONS

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

A-8

BUILDING IS SPRINKLERED



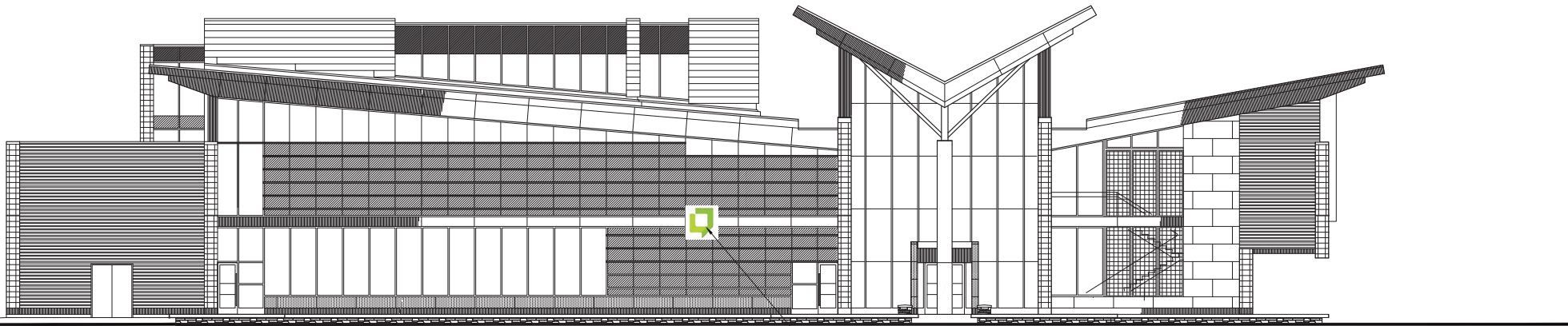
EXISTING WEST ELEVATION - MAIN ENTRANCE

SCALE: 3/32" = 1'-0"

REMOVE EXISTING YMCA
LOGO AND SIGN.
NEW LOGO AND SIGN
SPECIAL PERMIT

NOTE

Any modifications to the facade plan (including color) must be resubmitted to the City of Auburn Hills for revised approval. The use of neon, flags, or any other type of unapproved signage shall be prohibited per site plan review.

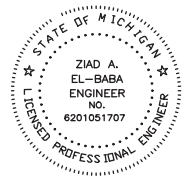


NEW COMPANY LOGO

EXISTING EAST ELEVATION - PARKING ENTRANCE

SCALE: 3/32" = 1'-0"

BUILDING IS SPRINKLERED



**ZIAD EL-BABA
ENGINEERING**

674 GAUTHIER
TECUMSEH ONTARIO
N8N3P8 CANADA
CELL .313-938-8767
CELL .519-796-9882

DATE	REV. NO.	ISSUED FOR
APR.4.25		SITE PLAN
APR.22.25		SITE PLAN
APR.30.25		SITE PLAN

Project:
INTERIOR RENOVATION
3378 E WALTON
AUBURN HILLS MI
CLIENT
CHILLBOX HEADQUARTERS
30825 26 Mile Rd
New Haven, MI 48048

Drawing Title:
SIGN LOCATIONS

Project Number	
Scale	AS NOTED
Date	
Drawn By	
Checked By	

Drawing No.

A-9

**CITY OF AUBURN HILLS
REGULAR CITY COUNCIL MEETING
EXCERPT**

March 18, 2002

CALL TO ORDER: Mayor Harvey-Edwards called the City Council Meeting to order at 7:30 p.m. with the Pledge of Allegiance.

ROLL CALL: Present. Mayor Harvey-Edwards, Mayor Pro Tem Pillsbury, Council Members Kittle, McDonald, McMillin, Newkirk, Sendegas
Absent. None
Also Present. City Manager Ross, Assistant City Manager Tanghe, City Clerk Venos, Community Development Director McBroom, Department of Public Works Director Culpepper, Economic Development Director Miller, Library Director Hull, Police Chief Olko, Police Sgt. Knapp, Senior Services Director Adcock, City Engineers Westmoreland and Kangas, Brownfield Redevelopment Authority Chair Capen, Tax Increment Finance Authority Chair Bennett, City Attorney Beckerleg
25 Guests

LOCATION: Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

7. OLD BUSINESS

8a. SLU01-24, North Oakland Family YMCA;

8b. SLU02-01, North Oakland Family YMCA;

8c. SLU02-03, North Oakland Family YMCA; and

8d. SP01-25, North Oakland Family YMCA

Mr. McBroom noted some additional information gathered since the previous discussion: bus traffic to and from the site will be restricted to Five Points Drive, and accident data for the past three years shows no accidents at the Walton Blvd. drive due to left turning movements. Mr. McBroom reported that the traffic impact analysis was reviewed and was found to have been done correctly, and stated that City staff continues to support the conclusions of that study. Noting that the previously approved site plan for the subject property included primarily restaurants, Mr. McBroom compared the traffic impact of that site plan with the currently proposed site plan, noting the current plan has less of an impact. He also pointed out that the previous approval resulted in improvements to Walton Blvd. to mitigate traffic concerns. Mr. McBroom also referenced letters from the other property owners of the businesses within the site opposing restrictions against left turns.

Mr. McBroom clarified for Ms. Harvey-Edwards that a veterinary clinic is the proposed use for half of the old Nova Computer site.

Ms. Gail von Steaden, Rosetti Architects, confirmed the changeable copy sign on Walton Blvd. is planned to be in place for the opening of the facility.

Mr. Kittle questioned the sign dimensions. Ms. von Steaden explained the area requirements for signage may be measured by frontage or acreage. By frontage 696 square feet of signage is allowed, and by acreage 904 square feet is allowed. She noted that the total signage for the YMCA is only 486 square feet. Ms. von Steaden explained the changeable copy sign will be 14.5' high, 12.5 wide, and the base is 8', for a total of 150 square feet, which is the maximum sign allotment for one sign. She indicated the underside of the changeable portion is 7.4' from the ground, it is encased in a metal box for protection, and the sign meets setback requirements and will not require a variance. Ms. von Steaden noted the illuminated portion is the same dimension, 8'x4', as the sign at Oakland Community College at Featherstone. She clarified the two signs (at Walton and at Five Points) will be the same size.

Ms. Harvey-Edwards commented she would personally prefer the Walton sign be delayed, although she understands it would be an added expense to construct it at a later date. She further remarked that she believes the project will be an asset to the City.

Mr. McMillin commented that he was concerned with the exit onto Walton, but noted the materials provided were persuasive. He asked Chief Olko if she had concerns with sight issues, or felt there was a problem accident-wise. Chief Olko indicated she hasn't had a chance to study the traffic situation, but Lt. Mynsberge did review the site plan and did not see any difficulty with this particular drive.

Ms. Harvey-Edwards offered Mr. Luenberger an opportunity to speak. Referencing the previous discussion on the YMCA, Mr. Luenberger questioned Mr. McDonald's emphasis on the lack of Planning Commission minutes and on ownership. Ms. Harvey-Edwards explained the Planning Commission minutes contain a wealth of information which the Council did not have at the previous discussion. She also explained that ownership of a parcel can change perspective because special land uses, once approved, stay with the land. She also noted that the subject parcel is a valuable piece of land and the proposed use would be nonprofit. Mr. McDonald commented that some of his supporters asked him about the ownership of the property, so he conveyed those questions to the petitioner. Mr. Luenberger concluded by remarking that a right turn only situation onto Walton is an important concern.

Mr. McMillin moved to accept the Planning Commission's recommendation and approve SLU01-24, North Oakland Family YMCA, to allow the construction of a recreational facility on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), including the discretionary findings of fact from Mr. Steve Cohen, subject to any conditions as recommended by all appropriate agencies. Supported by Mr. Pillsbury.

Mr. Pillsbury stated for the record that he will vote in favor of the project because the bus traffic will be moved to Five Points Drive, but he is not happy with left turns onto Walton being allowed.

Mr. McBroom noted that B-2 zoning is appropriate for the proposed use.

Mr. Ross reported at a recent meeting with the Road Commission and the State it was said that in three to four years Walton will be reconstructed in the subject area.

Mr. Kittle commented that Mr. McDonald brought up a good point at the previous discussion about the facility not generating tax income for the City while increasing demand for City services, and yet not offering the residents a discounted rate. **Mr. Jim Fuqua**, YMCA, explained it is not the policy of the YMCA to make considerations based on geography, but to rather offer sliding scales for any person who has difficulty paying the fees. He stated that the YMCA is inclusive, and that it is not good stewardship to reduce fees for those who can afford them. He indicated a need to focus on those who cannot afford the fees, and confirmed that the YMCA provides scholarships through annual fundraising.

**VOTE: Yes: Harvey-Edwards, Kittle, McDonald, McMillin, Newkirk, Pillsbury, Sendegas
No: None**

Motion carried (7-0)

Ms. Harvey-Edwards questioned the impact on the site plan if the special land use for the automatic changeable copy signs is not approved. Mr. McBroom explained the signs would have to be removed from the site plan as a condition of approval of the site plan.

Mr. McMillin moved to accept the Planning Commission's recommendation and approve SLU02-01, North Oakland Family YMCA, to allow the installation of automatic changeable copy signs on Walton Boulevard (west drive) and Five Points Drive on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), including the discretionary findings of fact from Mr. Steve Cohen, subject to any conditions as recommended by all appropriate agencies. Supported by Mr. Pillsbury.

Ms. Harvey-Edwards stated that she wants it stated on record there will be no private advertising on either sign.

Mr. McMillin amended his motion to read: to accept the Planning Commission's recommendation and approve SLU02-01, North Oakland Family YMCA, to allow the installation of automatic changeable copy signs on Walton Boulevard (west drive) and Five Points Drive on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), including the discretionary findings of fact from Mr. Steve Cohen, subject to any conditions as recommended by all appropriate agencies, and that there be no commercial advertising on the signs. Mr. Pillsbury supported the amended motion.

Mr. Kittle asked if Council could approve the special land use with the idea of revisiting the size of the signs. Mr. McBroom indicated his belief that Council would have the authority to regulate the size of the changeable portion, but noted that once approved, the signs are approved as presented. Mr. McBroom clarified the calculations for allowable signage were done on the YMCA site alone, not the entire condominium site. Mr. Pillsbury pointed out the YMCA is well within ordinance requirements on signage. Mr. Kittle said he would prefer the sign to be reconfigured to be wider and not as tall.

VOTE ON MOTION AS AMENDED:

Yes: Harvey-Edwards, McDonald, McMillin, Newkirk, Pillsbury, Sendegas
No: Kittle

Motion carried (6-1)

Mr. McMillin questioned if the YMCA has to adhere to the building as submitted. Mr. McBroom confirmed the special land use is based on the drawings as submitted so they can't be changed.

Mr. McMillin moved to accept the Planning Commission's recommendation and approve SLU02-03, North Oakland Family YMCA to allow the construction of a building taller than 30 feet in height on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), including the discretionary findings of fact from Mr. Steve Cohen, subject to any conditions as recommended by all appropriate agencies.

Supported by Mr. Newkirk.

VOTE: Yes: Harvey-Edwards, Kittle, McDonald, McMillin, Newkirk, Sendegas
No: Pillsbury

Motion carried (6-1)

Mr. McMillin asked if the bus restriction needs to be included in the motion. Both Mr. McBroom and Mr. Beckerleg felt it would be appropriate.

Mr. McMillin moved to accept the Planning Commission's recommendation and approve SP01-25, North Oakland Family YMCA, to allow the construction of a 57,000 square foot recreation facility on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road and Five Points Drive (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), including the discretionary findings of fact from Mr. Steve Cohen, subject to any conditions as recommended by all appropriate agencies, and including the commitments contained in the March 13, 2002 letter from Lorie Uranga, YMCA of Metropolitan Detroit.

Supported by Mr. Newkirk.

Mr. Ross noted some of the conditions listed by the Planning Commission include that the light poles should not be any taller than 25 feet and a dimmer is to be used on all outside lights.

VOTE: Yes: Harvey-Edwards, Kittle, McDonald, McMillin, Newkirk, Pillsbury, Sendegas
No: None

Motion carried (7-0)

**CITY OF AUBURN HILLS
REGULAR CITY COUNCIL MEETING
EXCERPT**

March 4, 2002

CALL TO ORDER: Mayor Harvey-Edwards called the City Council Meeting to order at 7:30 p.m. with the Pledge of Allegiance.

ROLL CALL: Present. Mayor Harvey-Edwards, Mayor Pro Tem Pillsbury, Council Members Kittle, McDonald, McMillin, Newkirk, Sendegas
Absent. None
Also Present. City Manager Ross, Assistant City Manager Tanghe, Assessor Bennett, City Clerk Venos, Community Development Director McBroom, Department of Public Works Director Culpepper, Fire Chief Walterhouse, Assistant Fire Chief Wyatt, Fire Lt. Farrell, Fire Lt. Randolph, Firefighter Detloff, Golf Professional Marmion, Library Director Hull, Police Lt. Chase, Treasurer Valko, City Engineers Hiltz and Westmoreland, Brownfield Redevelopment Authority Chair Capen, Tax Increment Finance Authority Chair Bennett, City Attorney Hampton
27 Guests

LOCATION: Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

8. NEW BUSINESS

8a. SLU01-24, North Oakland Family YMCA;

8b. SLU02-01, North Oakland Family YMCA;

8c. SLU02-03, North Oakland Family YMCA; and

8d. SP01-25, North Oakland Family YMCA

Mr. McBroom presented the requests from North Oakland Family YMCA for special land use approvals to allow the construction of a recreational facility, to allow the installation of automatic changeable copy signs and to allow the construction of a building taller than 30 feet in height on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road. Mr. McBroom also presented the request for site plan approval for the 57,000 square foot recreation facility.

Mr. McDonald expressed concern that the minutes from the Planning Commission meeting at which the special land uses and site plan were discussed were not provided to Council. Deputy Clerk Tallman indicated the transcription of the minutes was not yet complete. Mr. Newkirk and Mr. Kittle briefly relayed concerns voiced at the meeting, including screening, cut-through traffic in the parking lot and displeasure with the architectural theme in general.

Mr. McBroom clarified the project site is adjacent to the Nova Computer site. Mr. McBroom, answering concerns about the number of parking spaces, stated adequate parking is provided. Mr. Pillsbury expressed strong concern with the danger created by allowing left turns out of the complex onto Walton, and expressed a preference for two entrances on Five Points Drive. Responding to a question from Mr. McMillin, Mr. McBroom explained his understanding of Ms. Marien's lack of support for the second special land use is that she has a philosophical problem with changeable copy signs.

Ms. Gail von Steaden, Rosetti Architects, introduced the members of her team, including **Mr. Jim Fuqua** and **Ms. Lorie Uranga**, YMCA of Metropolitan Detroit.

Ms. von Steaden made a Powerpoint presentation of the site layout, and exterior and interior views of the facility. She noted the site is accessible to vehicular traffic from both Walton Blvd. and Five Points Drive, that 316 parking spaces are required and 317 have been provided. Ms. von Steaden also presented drawings of the three types of sign proposed for the site: a non-illuminated sign on the building, an address sign along Walton and changeable copy signs on both Walton and Five Points Drive, utilizing the same technology as the Oakland Community College sign on Featherstone. She noted the total amount of signage is below the amount allowed, whether measured by total site square footage or total road frontage. Ms. von Steaden indicated the portion of the building that is over 30' in height is mostly the third floor multipurpose room.

Ms. Harvey-Edwards questioned the necessity of two changeable copy signs. Ms. von Steaden explained that because of the way the site is situated it is believed traffic will be evenly split between entering from Walton and entering from Five Points Drive. She indicated the signs will note events of the day, encourage people to sign up for programs or display community messages such as "Vote Today". Ms. von Steaden noted the changeable copy portion is located in the middle of the monument

sign. She estimated the height of the changeable signs to be 10'. Ms. von Steaden stated there would be no advertising on the changeable copy signs and no plans to advertise anything other than YMCA on any part of the signs.

Mrs. Sendegas questioned the amount of signage. Ms. von Steaden indicated no variances will be required, and that the total 500 square feet of signage does not exceed the allowable square footage of signage, whether measured by total acreage or frontage. Mrs. Sendegas clarified that changeable copy signs do not require Zoning Board of Appeals approval.

Mr. McBroom explained the eastern access drive onto Walton is currently restricted to right turns in and out, while the western access drive, which is currently used by KinderCare, is not restricted to right turns only. Mr. McBroom pointed out the site plan, in terms of the access to Walton, does not change what currently exists.

Ms. von Steaden indicated there is nothing to preclude bus traffic from entering the site from either Walton or Five Points Drive. She noted the site has dedicated bus parking behind the building.

Mr. Pillsbury reiterated his concerns that left-turning ingress/egress on Walton is a dangerous situation.

Mr. McDonald questioned bus use. Mr. Fuqua, Executive Director of YMCA of Metropolitan Detroit, explained buses are used in the summer for the YMCA's off-site day camp program to transport the children from the YMCA facility to the camp site at approximately 9:00 a.m. and to return the children to the YMCA facility at approximately 4:00 p.m.

Mr. Fuqua indicated the probable hours of operation for the facility will be 5:30 a.m. until 10:30 or 11:00 p.m. on weekdays, and 7:30 or 8:00 a.m. until 5:00 p.m. on Saturdays and Sundays. Mr. McDonald asked who the YMCA plans to draw to the facility. Mr. Fuqua indicated the YMCA is not geographically centered and there is no residency requirement, but in general the YMCA tends to draw from within a five mile radius because of the convenience factor. He explained the service area is Auburn Hills, Lake Orion, Rochester, Rochester Hills, Pontiac and part of Troy. Mr. Fuqua clarified there are no outside activities planned for the site. He confirmed that the site has been purchased by YMCA of Metropolitan Detroit.

Mr. Fuqua stated there will be no sleeping rooms at the facility.

Mr. Fuqua noted the YMCA is a 501-C, not for profit, corporation.

Mr. Kittle asked if the YMCA has any experience relative to the proposed type of facility or if it is a new concept for the YMCA. Mr. Fuqua indicated the general scope of the project is very common for a 50,000-60,000 square foot facility. Mr. Kittle, referencing comments made at the Planning Commission meeting that the YMCA desires 5000 members at \$60/family, asked if that is the break-even point and how the YMCA plans to deal with revenue shortcomings. Mr. Fuqua explained the facility will be a branch of the larger organization which provides a financial cushion. He noted the pro forma is based on less than 5000 members and said that if the facility reaches the 5000 goal it will be a surplus branch. Mr. Fuqua stated Buck Wyndfield and Associates performed a marketing study for the YMCA for the proposed facility.

Mr. Fuqua said there are no plans to lease out space in the facility to other enterprises such as a dance studio.

Mrs. Sendegas asked about planned programs for seniors. Mr. Fuqua explained the YMCA is coed, and its philosophy is to help people grow in body, mind and spirit regardless of age.

Mr. Ross, referencing earlier discussion regarding ingress/egress to Walton, noted he has seen the Road Commission plan for Walton and it shows a median from Squirrel Road west to Joswick, which would eliminate left turns. He estimated the project would be completed in four to five years.

Mrs. Sendegas reiterated her concerns about parking. Mr. McBroom explained the YMCA site has enough parking for its patrons, and clarified his earlier comment that YMCA patrons could park at the Nova Computer site was meant to indicate there are no barriers between the site, not that there will be a need for overflow parking. Mr. McBroom noted there has been discussion with the business negotiating to take half of the Nova Computer site and the initial reaction was the YMCA is a good fit for the site.

Mr. Kittle asked if KinderCare's viewpoint has been solicited. Mr. McBroom indicated they were notified of the meetings although there have been no direct conversations with them. Ms. Uranga explained

KinderCare are co-owners with the YMCA in the condominium association, and that the YMCA has approached them.

Mr. McMillin asked for an explanation on how accidents are going to be avoided at the west entrance with cars turning left into the site from Walton. **Mr. Steve Dearing**, Traffic Consultant, felt the Five Points driveway will be the focal point for access to the site, based on its closer proximity to the freeway for before and after work users. He explained the situation on Walton is self correcting, meaning the difficulty in turning left will encourage access from Five Points. Mr. Dearing also noted the YMCA site gives KinderCare a secondary exit. He sees the situation as interim until Walton is improved. Mr. Dearing concluded that the YMCA development achieves the test of reasonableness. Mr. Pillsbury was adamant that left turns into and out of the site from Walton are not safe. His preference is to close both Walton access drives and use Five Points exclusively.

Mr. McMillin questioned what limitations the City can put on ingress/egress to Walton. Ms. Harvey-Edwards suggested the impact won't be known until the YMCA site is developed, and noted the west drive from Walton is currently in use by KinderCare patrons as the only option. Mr. McMillin asked Mr. Dearing for assurance that the access from Walton is safe. Mr. Dearing contended, based on 25 year's of experience as a traffic engineer, that there is no such thing as a safe route. He explained his job is to reduce risks to a manageable level. Mr. Dearing said he can not tell Mr. McMillin that no one will ever be hurt at the site. He reiterated his belief that the users of the site will voluntarily use the Five Points entrance because of the difficulty of turning left on Walton.

Mr. Hampton advised the Walton access drives were approved in the KinderCare site plan, so the City can't eliminate them. However, Mr. Hampton indicated the City does have the right to regulate traffic and noted that restrictions on left turns would be appropriate.

Mr. Pillsbury clarified he is not against access to Walton, but feels left turns are not safe. Mr. Ross asked Mr. Hampton if it would be permissible for City Council to require modification of the west entrance to include an island that channels traffic into right turns only. Mr. Hampton indicated the City could require the modification if it is done on the subject property and not in the right-of-way.

Mr. McBroom felt if City Council is inclined to require modification to the access drives it would be appropriate to table the items so that the issues could be reviewed with KinderCare.

Ms. Harvey-Edwards voiced preference to not have a changeable copy sign on Walton. Mr. Pillsbury felt amber lights in the changeable copy sign are more intrusive than red.

Mr. McDonald said he would like to see the Planning Commission minutes and have an opportunity to ask more questions before voting on the YMCA petitions. Mr. Pillsbury wanted to address the exceedence of 30' in height and also review the Planning Commission minutes. Mr. McMillin also wanted a chance to read the Planning Commission minutes. Mr. McMillin indicated he is not completely opposed to the idea of left turns onto Walton if restricting them would seriously damage the YMCA's plans, but said he would like to hear the YMCA's arguments against the restrictions because he is very concerned with the safety issue.

Mr. McDonald, noting that the YMCA is a nonprofit organization which will not pay taxes to the City but will add to the need for police and fire services, asked if the YMCA has an agreement with the City in terms of the facility's use by Auburn Hills residents. He indicated that at one time there was discussion of offering a cost break to residents. Mr. Fuqua explained the discussion centered on rate reduction in exchange for free land, and pointed out that YMCA has bought the subject site for \$3 million. He stressed that the YMCA is all inclusive.

Mr. Pillsbury moved to table to March 18, 2002, SLU01-24, SLU02-01, SLU02-03 and SP01-25, North Oakland Family YMCA, to allow the construction of a recreational facility, to allow the installation of automatic changeable copy signs, to allow the construction of a building taller than 30 feet in height and to allow the construction of a 57,000 square foot recreation facility on a site zoned B-2, General Business District, located south of Walton Boulevard, between Joswick and Squirrel Road.

Supported Mr. Newkirk.

VOTE: Yes: Harvey-Edwards, Kittle, McDonald, McMillin, Newkirk, Pillsbury, Sendegas
No: None

Motion carried (7-0)

**CITY OF AUBURN HILLS
SPECIAL PLANNING COMMISSION MEETING
EXCERPT**

February 28, 2002

CALL TO ORDER: Chairperson Beckett called the meeting to order at 7:30 p.m.

ROLL CALL: Present. Beckett, Hurt-Mendyka, Marien, McKissack, Newkirk, Ouellette, Schoonfield
Absent. Beidoun, Nahass
Also Present. City Planner Cohen, Council Member Kittle, City Engineers Westmoreland and Dearing
19 Guests

LOCATION: Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

PERSONS WISHING TO BE HEARD - none.

Mr. Beckett alerted the audience that the cases heard at this Planning Commission meeting would be placed on the City Council agenda for March 4, 2002 at 7:30 p.m. in the same council chambers.

PETITIONERS

SLU 01-24. North Oakland Family YMCA - Public Hearing

SLU 02-01. North Oakland Family YMCA - Public Hearing

SLU 02-03. North Oakland Family YMCA - Public Hearing

SP 01-25. North Oakland Family YMCA

(Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015)

Mr. Beckett presented the request to allow the construction of a recreational facility on a site zoned B-2, General Business District; to allow the installation of automatic changeable copy signs on Walton Boulevard (west drive) and Five Points Drive on a site zoned B-2, General Business District; to allow the construction of a building taller than 30 feet in height on a site zoned B-2, General Business District; and to allow the construction of a 57,000 sq ft recreation facility on a site zoned B-2, General Business District. The property is generally located south of Walton Boulevard, between Joswick and Squirrel Road.

Mr. Beckett opened the public hearing at 7:32 p.m.

Mr. Cohen reviewed his SLU 01-24 letter dated February 22, 2002 with the following recommendations:

The Community Development Department is recommending Approval of the Special Land Use request and offer the following discretionary findings of fact:

- 1. The location of the use will not negatively impact adjacent areas, which are zoned residential to the west (across Joswick) and non-residential to the north, south, and east.*
- 2. The land will be used in accordance with its immediate character, which is planned and zoned for non-residential development.*
- 3. The requirements of Section 1818, Special Land Use Permitted, in Zoning Ordinance No. 372 will be met.*
- 4. The use will promote the purpose and intent of Zoning Ordinance No. 372.*

5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills, and purpose and intent of Zoning Ordinance No. 372.

6. The requirements of Section 902, Item 6 of Zoning Ordinance No. 372 will be met.

Mr. Cohen reviewed his SLU 02-01 letter dated February 22, 2002 with the following recommendations:

The Community Development Department is recommending Approval of the Special Land Use request and offer the following discretionary findings of fact:

1. The location of the use will not negatively impact adjacent areas, which are zoned residential to the west (across Joswick) and non-residential to the north, south, and east.

2. The land will be used in accordance with its immediate character, which is planned and zoned for non-residential development.

3. The requirements of Section 1818, Special Land Use Permitted, in Zoning Ordinance No. 372 will be met.

4. The use will promote the purpose and intent of Zoning Ordinance No. 372.

5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills, and purpose and intent of Zoning Ordinance No. 372.

6. The requirements of Section 1811, Item 12(g) of Zoning Ordinance No. 372 will be met.

Mr. Cohen reviewed his SLU 02-03 letter dated February 22, 2002 with the following recommendations:

The Community Development Department is recommending Approval of the Special Land Use request and offer the following discretionary findings of fact:

1. The location of the use will not negatively impact adjacent areas, which are zoned residential to the west (across Joswick) and non-residential to the north, south, and east.

2. The land will be used in accordance with its immediate character, which is planned and zoned for non-residential development.

3. The requirements of Section 1818, Special Land Use Permitted, in Zoning Ordinance No. 372 will be met.

4. The use will promote the purpose and intent of Zoning Ordinance No. 372.

5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills, and purpose and intent of Zoning Ordinance No. 372.

6. The requirements of Section 1701, Item k of Zoning Ordinance No. 372 will be met.

Mr. Cohen reviewed his SP 01-25 letter dated February 22, 2002 with the following recommendations:

We are recommending Conditional Approval of the Site Plan and offer the following discretionary findings of fact:

1. *The Site Plan contains sufficient basic information required by Zoning Ordinance No. 372 for a recommendation.*
2. *The requirements of Section 1815, Items 7A-7E of Zoning Ordinance No. 372 can be met as follows:*
 - A) *All requirements and standards of the Zoning Ordinance, and other City Ordinances, can be met.*
 - B) *Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to existing two (2) drives on Walton Boulevard and a new drive on Five Points Drive. No left turns out of the site will be permitted at the east drive onto Walton Boulevard.*
 - C) *Traffic circulation features within the site, and the location of parking areas, avoid common traffic problems and can promote safety.*
 - D) *A satisfactory and harmonious relationship will exist between the proposed development and surrounding area.*
 - E) *The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel, or the adjacent area.*
3. *Based upon the total occupancy of the building, 316 total parking spaces are required and 317 parking spaces are depicted.*
4. *The parking layout meets minimum requirements and parking spaces are provided for the handicapped (12 are required and 12 are provided). Three van accessible parking spaces are also provided. Building and parking setback requirements will be met.*
5. *Greenbelts will be provided.*
6. *Landscape requirements will be met and calculations have been submitted.*
7. *Loading/unloading area will be met.*
8. *A note indicates lighting will be provided at 1/4 lumen per sq. ft. of parking.*
9. *A note indicates that signs shall meet the requirements of Zoning Ordinance No. 372. A special land use application has been filed for proposed use of automatic changeable copy signs on Walton Boulevard (west drive) and Five Points Drive.*
10. *A note indicates that parking spaces shall be double striped.*
11. *Ground-mounted mechanical equipment will be screened. No roof-mounted equipment will be utilized on the building.*
12. *An 8 ft. pathways are shown on plan along Walton Boulevard and Five Points. Both pathways have already been installed.*
13. *A note indicates that there will be no pallet storage, overnight vehicles, or trailer storage.*
14. *The YMCA is commended for adding fieldstone to the building facade and utilizing unique architectural features on the building.*

ADDITIONAL COMMENTS:

1. *Site plan approval shall be subject to City Council approval of the following:*

SLU 01-24 ... Recreational Facility

SLU 02-01 ... Automatic Changeable Copy Signs

SLU 02-03 ... Building Height Taller than 30 ft.

2. *The amended By-Laws and Master Deed for Auburn Town Square Condominium shall be recorded with the Oakland County Register of Deeds prior to issuance of the project's Building Permit.*

Ms. Gail von Staden, Rossetti Architects, gave a presentation depicting how the YMCA would be situated at an angle on the property so it would be visible from Walton Boulevard, Squirrel Road, and Five Points Drive. She proceeded indicating there would be three ingress/egress points, two on Walton the other on Five Points Drive. Ms. von Staden noted the infrastructure had been installed by a previous developer of the property and the YMCA was able to use what exists without any changes. Ms. von Staden also mentioned the wetlands on the property would not be disturbed and natural landscaping would be utilized. Ms. von Staden reported this project would meet all landscaping requirements, including the installation of an irrigation system. Ms. von Staden stated the parking lot would be reconfigured, allowing for a drop off point, increasing the number of parking spaces, and designed to allow emergency crews 360 degree access.

Regarding the special land use for the signs, Ms. von Staden explained there will be four signs, one on the building with no illumination, an address sign along Walton Boulevard, and two changeable electronic signs - one along Walton Boulevard, the other at the Five Points entrance. The changeable signs would maintain the minimum 90 second message before changing. Each of the signs will be under 150 sq. ft. and under the total square footage for signage allowance.

Ms. von Staden also noted the building would be constructed using terra cotta tiles, metal panels, with cultured stone at the base.

Mr. Newkirk questioned if there was a preventative measure in place to eliminate the possibility of cut through traffic. Ms. von Staden reported cut through traffic had been included in the traffic study report, however they didn't believe it would be a problem and therefore no preventative action had been taken. Mr. Newkirk suggested a fence be erected between the YMCA property and the residential area along Joswick. Ms. von Staden pointed out that deciduous trees would be planted around the perimeter of the property for some shielding, but not as a barrier.

Responding to Ms. Hurt-Mendyka, **Mr. Jim Fuqua**, YMCA of Metro Detroit, believed the hours of operation would be 5:30 a.m.. to 10:30/11:00 p.m., Monday through Friday and 8:00 a.m.. to 6:00 p.m., Saturday and Sunday.

Mr. Ouellette asked about buses. Ms. von Staden indicated there would be adequate room for bus parking behind the building. Mr. Fuqua answered Mr. Ouellette, attesting there would be no child daycare facility available, only a child watch center for parents who remain on the premises, usually with a maximum two hour stay.

The outdoor lighting height was unacceptable to Mr. Ouellette, and he suggested the light pole height be shortened to 25 feet from the proposed 30 feet. Mr. Ouellette also questioned the possibility of installing a dimmer switch or an on/off timer for the exterior lighting. Mr. Cohen affirmed the light poles could be 25 feet tall, however there would need to be more light poles at the lesser height. Ms. von Staden agreed with the light pole height and conceded the lights could be put on dimmers for off hours.

Replying to Mr. Ouellette, Ms. von Staden stated there would be no diving board in the pool. Mr. Fuqua noted that anybody can become a member of the YMCA and the dues are quite reasonable. Continuing, Mr. Fuqua stated the YMCA is very community friendly and would like to accommodate community projects when possible, such as the senior swim. Regarding the juvenile justice, Mr. Fuqua explained

each YMCA looks at each opportunity that would work in that particular community. Mr. Ouellette questioned if there would be after school programs for teens. Mr. Fuqua stated it is possible for formal after school teen programs, noting the YMCA works mostly with middle school aged children, because this age group is most likely to attend programs. Mr. Fuqua also mentioned the YMCA would look for opportunities to work with the Avondale School District to provide more programs.

Mr. Fuqua explained the pool is shut down and the water changed generally once a year, when the pool can be scrubbed and repaired if necessary. Otherwise there is a state of the art filtration system that maintains the cleanliness. Ms. von Staden stated the YMCA follows the Michigan Health Department regulations for public pool operations.

Mr. Bob Sellman, Frank Rewold and Son, stated construction is anticipated to begin this spring and will hopefully be concluded within twelve months, by next spring.

Mr. McKissack asked for clarification on the term used in the YMCA mission statement as Judeo-Christian, how it affected the operation and membership. Mr. Fuqua stated the YMCA is inclusive and open to all, by using Judeo-Christian values which are values that the YMCA believes would be held by anyone. The YMCA specifically focuses on character development for children as well as adults. The values chosen are honesty, caring, respect, and responsibility. These are foundations of the golden rule found not only in the Bible, but Christian and Judeo writings. This is also a reference to the YMCA history which began 150 years ago in London as a group that read the Bible. However there is no religious requirement of any kind, the YMCA is open to all.

Mr. Newkirk questioned the number of staff personnel that was needed. Mr. Fuqua explained the number would fluctuate because summer programs employ seasonal help. Generally speaking, however, there would be 10 professional staff with 15 support full time staff and many part time staff. Mr. Fuqua replied to Mr. Newkirk that there would be job openings available to Auburn Hills residents as well as staff members coming from other YMCA locations.

Ms. Marien questioned if the outdoor lighting would be shielded. **Mr. Tod Stevens**, Rossetti Architects, replied there are special light fixtures along the walkways for pedestrians. Ms. Marien requested that these lights also have dimmer switches. The cultured stone which is to be used at the base of the building, Mr. Stevens explained, is a manufactured stone in a horizontal direction with fieldstone intermixed throughout. Mr. Cohen assured Ms. Marien that this landscape plan met all the new ordinance requirements, including 166 trees, more than the 99 required trees.

Ms. von Staden stated there were no plans to use speed bumps in the parking lot. Ms. Marien asked if there was a possibility of installing speed bumps at a later time if there was a need. Ms. von Staden replied if there was a need, it would be a possibility. Ms. Marien had a concern with the construction and Walton Boulevard traffic. She questioned if a left hand turn would be permitted from the YMCA onto Walton Boulevard. Ms. von Staden explained there is currently no restriction prohibiting a left hand turn, however once the site is known by patrons the Five Points Drive exit will most likely be used. Ms. von Staden stated this is one of the great points of this site, the two ingress/egress points. Ms. von Staden affirmed for Ms. Marien that any signage proposed on the site plan would be implemented. Regarding the thirty foot (30 ft) height of the building, Mr. Stevens noted it is to accommodate the three stories. Mr. Stevens also noted the heating and cooling mechanicals are all on grade level at the rear of the building. Ms. von Staden indicated the dumpster located at the back of the building and using Mr. Cohen's recommendation of installing a man door. Ms. Marien wanted assurance that the trash pickup would not occur prior to 7:00 a.m.

Mr. McKissack had some concern with the traffic study. **Mr. Greg Krueger**, Kimley Horn, traffic consultant, explained the traffic study was done with conservative estimates taking into account the full load of traffic at peak hours. It was determined there won't be much of an impact even with the worst

case scenario. Mr. Krueger explained for Ms. Hurt-Mendyka the information regarding the widening of Walton Boulevard came from the Road Commission for Oakland County.

Mr. Steve Dearing explained for the Planning Commission what he knew regarding the widening of Walton Boulevard, including Auburn Hills and the Road Commission for Oakland County not seeing eye to eye on the widening project. Continuing, Mr. Dearing explained the plan is to widen Walton Boulevard as a boulevard from Squirrel Road to Joswick and from Joswick to Perry Street making it a five lane roadway. Furthermore, discussion is underway to extend the boulevard further to the west, terminating it near the I-75 overpass. Mr. Dearing noted a right of way width had not been planned that would accommodate a full size boulevard on this last section, therefore creating limited opportunity for the traditional cross overs (to make u-turns), impacting the residents from accessing their homes. There is an agreement between the City and the Road Commission that the frontage of this YMCA property will be a boulevard once the improvements are constructed. Mr. Dearing stated it is not likely that Walton Boulevard will be under construction in 2004, as the design will take some time.

Ms. von Staden explained for Ms. Hurt-Mendyka that the mud mat as depicted on the site plan is a temporary access for construction vehicles, and would be eliminated once the construction was completed with the ingress/egress being relocated further to the north along Five Points. Ms. Hurt-Mendyka questioned the drainage of the driveways directly into the wetlands on the south west side of the property. Ms. von Staden stated the drainage is into two retention basins that are currently on the property.

Mr. McKissack expressed his displeasure with the architecture of the building, noting it was extreme and didn't seem to fit with the other construction in the City. Ms. von Staden explained the building architecture is an expression of what the YMCA is about, utilizing materials that are from the earth or simple and common.

Responding to Mr. Ouellette, Mr. Dearing didn't feel there was a need for speed bumps in the parking lot to keep traffic from cutting through, however if it did become a problem, measures could be installed at a later date.

Mr. Stevens assured Ms. Marien bike racks are being planned to be located by both entrances to the building.

Ms. Patty Hassick, 2471 Joswick, was concerned with buses, where they would be coming from, where would the people be coming from, how many buses would there be a day, and how often. Mr. Fuqua explained there are day camp programs with generally about 60 children who board a bus at approximately 9:00 a.m. and return at 4:00 p.m. This would be during summer months, a couple times a week. Mr. Fuqua stated they do not own buses and they do not bring people in from different areas. If a bus should need to park on the premises there is room behind the building. Ms. Hassick questioned what geographical group of people was this YMCA aimed at. Mr. Fuqua replied they are open to all, but their service area is Lake Orion, Pontiac, Auburn Hills, Rochester, Rochester Hills, with no geographical restrictions. Mr. Fuqua believed the number of memberships will be around 5,000 based on market studies, however the number of people at any one time will be much less. Mr. Fuqua stated there will be no outdoor play, it is strictly indoors. Ms. Hassick had some concern with the all the glass in the construction of the building, possibly invading the privacy of adjacent homeowners. Mr. Stevens explained the glass is frosted, creating privacy looking both inside and out. Mr. Beckett assured Ms. Hassick that the Planning Commission was concerned as well with the lighting, making sure the pole height was lower and the lighting was shoebox style with shielding. Ms. von Staden said she would comply with the shoebox style lighting. Ms. Hassick questioned the construction schedule. Mr. Sellman noted the schedule is intended to be five days a week and according to the ordinance no construction can begin prior to 7:00 a.m.. Ms. Hurt-Mendyka stated she didn't want any construction equipment being run or repaired prior to 7:00 a.m.

Ms. Terry Purdue was in favor of the YMCA. Ms. Purdue stated her company is interested in the Nova property next to the proposed YMCA. Her company operates an emergency and specialty care facility for animals, Michigan Veterinary Specialists. The current facility is located in Southfield and this site would be a satellite office for north Oakland County.

Since there were no further questions, Mr. Beckett closed the public hearing at 8:47 p.m.

Mr. Schoonfield moved to recommend to City Council approval of SLU 01-24, North Oakland Family YMCA (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), to allow the constructions of a recreational facility on a site zoned B-2, General Business District. The property is generally located south of Walton Boulevard, between Joswick and Squirrel Road. This is to include the discretionary findings of fact found in Mr. Cohen's letter dated February 22, 2002 and all applicable City consultants and agencies.

Supported by Ms. Hurt-Mendyka.

VOTE: Yes: Beckett, Hurt-Mendyka, Marien, McKissack, Newkirk, Ouellette, Schoonfield
 No: None

Motion Carried (7-0)

Ms. Hurt-Mendyka made the petitioner aware that there may be a need to adjust the brightness of the automatic changeable copy sign.

Ms. Marien questioned the number of signs and the sizes. She was assured by Mr. Beckett it was under the square footage allowed in the ordinance. Ms. von Staden stated the messages will generally address daily activities, registrations, or possibly community messages (no advertising) using letters in the amber color.

Mr. Ouellette moved to recommend to City Council approval of SLU 02-01, North Oakland Family YMCA (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), to allow the installation of automatic changeable copy signs on Walton Boulevard (west drive) and Five Points Drive on a site zoned B-2, General Business District. The property is generally located south of Walton Boulevard, between Joswick and Squirrel Road. This is to include the discretionary findings of fact found in Mr. Cohen's letter dated February 22, 2002 and all applicable City consultants and agencies.

Supported by Mr. Newkirk.

VOTE: Yes: Beckett, Hurt-Mendyka, McKissack, Newkirk, Ouellette, Schoonfield
 No: Marien

Motion Carried (6-1)

Mr. Ouellette moved to recommend to City Council approval of SLU 02-03, North Oakland Family YMCA (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), to allow the construction of a building taller than 30 feet in height on a site zoned B-2, General Business District. The property is generally located south of Walton Boulevard, between Joswick and Squirrel Road. This is to include the discretionary findings of fact found in Mr. Cohen's letter dated February 22, 2002 and all applicable City consultants and agencies.

Supported by Mr. McKissack.

VOTE: Yes: Beckett, Hurt-Mendyka, Marien, McKissack, Newkirk, Ouellette, Schoonfield
 No: None

Motion Carried (7-0)

Mr. McKissack reiterated his feelings on the architecture not being aesthetically pleasing.

Ms. Hurt-Mendyka moved to recommend to City Council approval of SP 01-25, North Oakland Family YMCA (Sidwell Nos. 14-13-126-018, 14-13-126-017, 14-13-126-016, and 14-13-126-015), to allow the construction of a 57,000 sq ft recreations facility on a site zoned B-2, General Business District. The property is generally located south of Walton Boulevard, between Joswick and Squirrel Road. As discussed with the applicant the light poles should not be any taller than 25

feet and a dimmer will be used on all outside lighting to dim lights during off hours. This is to include the discretionary findings of fact found in Mr. Cohen's letter dated February 22, 2002 and all applicable City consultants and agencies.

Supported by Ms. Marien.

**VOTE: Yes: Beckett, Hurt-Mendyka, Marien, McKissack, Newkirk, Ouellette, Schoonfield
 No: None**

Motion Carried (7-0)

**CITY OF AUBURN HILLS
ENVIRONMENTAL REVIEW BOARD**

February 20, 2002

CALL TO ORDER: Chairman Kresnak called the meeting to order at 6:47 p.m.

ROLL CALL:

Present: Kresnak, Harvey-Edwards, McKissack, Ostrowski, Parent,
Peters, Rowe Absent: None
Also Present: Steve Cohen, City Planner
21 guests

LOCATION: City Council Chambers - 1827 N. Squirrel Road, Auburn Hills, MI 48326

SPECIAL REPORTS:

Proposed YMCA Landscape Plan - 3378 E. Walton Boulevard

Mr. Cohen stated that six (6) years ago, a tree removal permit was approved for an entertainment park, but it did not go through. Mr. Cohen explained that the YMCA purchased the property, and their representatives were present to give an overview of the site and to provide a rendering of the proposed building.

Mr. Cohen referenced, as follows, his memo dated February 14, 2002:

In June 1996, a previous developer proposed to build four (4) restaurants and two (2) retail buildings on the site. The City Council granted a tree removal permit, and the site was mass graded. A total of 280 protected trees were removed from the site (see attached minutes).

As the Board is aware, the project never developed as anticipated. The restaurant complex component never materialized.

Recently, two (2) projects were built on the site, Kindercare and Nova Computers, which have planted a combined 75 replacement trees.

Last year, the YMCA purchased the remaining land and proposes developing a state-of-the-art recreational facility. Their plan proposes planting the remaining 205 replacement trees.

We have asked the YMCA to provide a short presentation to show the ERB that all required replacement trees will be planted on site. No action is required by the Board.

Gail Von Staden, Project Manager and Rossetti Architects introduced **Lori Uranga, Vice President of the YMCA of Metropolitan Detroit, Mike Franklin, Landscape Designer and Karen Thomas, Giffels-Webster the civil engineer.** Gail gave a general overview of the building, 57,000 square foot facility with a gymnasium, recreation pool, family play area, wellness center and rooms for aerobics and other programs. Ms. Van Stoden verified that the utilities will not be changed.

Mike Franklin gave an overview of the landscape, he verified the wetlands will not be changed. They plan to plant large canopy trees at the entry drives and also plant twenty-four (24) inch height scrubs to act as buffers. At the end of the southern parking area, they clustered evergreen trees and multi-stemmed crab apple trees to help screen out some of the existing buildings. To help create a design element they will plant a double row of pear trees from the front of the building to extend to the back of the building. Evergreen trees will be planted between the wetlands and the parking area. Mr. Franklin addressed the landscape requirements, replacement tree requirements and the diversity requirements.

Mayor Harvey-Edwards asked if the trees being planted on Walton take into consideration the widening of the road and utilities in the ground. Mr. Westmoreland verified that there are no utilities in the area where the trees will be planted.

Mr. Franklin is aware of the two-year guarantee on the trees. Mr. Cohen stated that the agreement with the City of Auburn Hills is for the life of the tree.

Ms. McKissack asked if a diversion of rainwater could be considered rather than utilizing city water. Mr. Franklin stated that more land would be needed.

Ms. Uranga verified for Mr. Ostrowski that all three (3) businesses will maintain the landscape.

NORTH OAKLAND FAMILY YMCA

CITY OF AUBURN HILLS

OAKLAND COUNTY, MICHIGAN

A PART OF SECTION 13 T-3-N, R-10-E

PROPRIETOR
YMCA OF METROPOLITAN DETROIT
LORIE URANGA, VICE PRESIDENT
OF PROPERTIES & PROJECT
MANAGEMENT
10900 HARPER AVENUE
DETROIT, MICHIGAN 48213
(313) 267-5300 EXT. 339
(313) 267-5319 FAX

CIVIL ENGINEER
GIFFELS-WEBSTER ENGINEERS
LORIE LODICO III, P.E.
407 E. FORT STREET, SUITE 600
DETROIT, MI 48226
(313) 962-4442
(313) 962-5068 FAX

LANDSCAPE ARCHITECT
GRISSIM-METZ ASSOCIATES
JOHN GRISSIM
37801 12 MILE ROAD
FARMINGTON HILLS, MI 48331
(248) 553-2500
(248) 553-2505 FAX

DESIGN ARCHITECT
ROSSETTI ARCHITECTS
GAIL VON STADEN, AIA
280 NORTH OLD WOODWARD AVE.
BIRMINGHAM, MI 48009
(248) 644-0777
(248) 644-0778 FAX

MECHANICAL ENGINEER
PETER BASSO ASSOCIATES
5145 LIVERNOIS
TROY, MI 48098
(248) 879-5666

STRUCTURAL ENGINEER
L&A
30840 NORTHWESTERN HIGHWAY
SUITE 310
FARMINGTON HILLS, MI 48334
(248) 855-1818

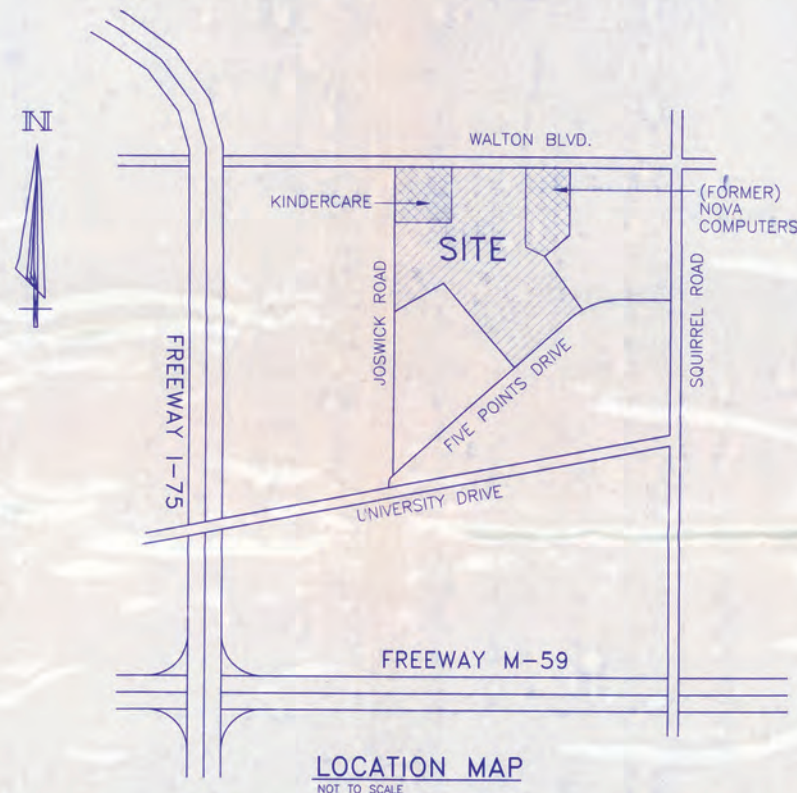
POOL CONSULTANTS
USAQUATIC
2355 POLARIS LANE NORTH
SUITE 110
PLYMOUTH, MN 55447
(763) 745-9016

CITY OF AUBURN HILLS
OFFICIAL SITE PLAN REVIEW
FIRE DEPT. *[Signature]*
POLICE DEPT. *[Signature]*
ASSESSOR *[Signature]*
CITY MANAGER *[Signature]*
SEWER & WATER
COMM. DEV. DIR. *[Signature]*
CITY PLANNER *[Signature]*
PLANNING COMM. *[Signature]*
CITY COUNCIL *[Signature]*

**City of Auburn Hills
APPROVED
SITE PLAN**

RECEIVED
FEB 21 2002
AUBURN HILLS
COMMUNITY DEVELOPMENT DEPT.

[Signature]
3-18-02
Steve Cohen, City Planner
3378 E. Walton



The North Oakland Family YMCA is a 501 (c) 3 community-based organization that builds strong kids, strong families and strong communities. This 57,000 square foot facility will be a gathering place where anyone interested in building spirit, mind or body can find a way to do so. The building will feature:

A gallery/lobby area for socializing, membership sales and program registration; An aquatics center, complete with lap lanes, teaching area and recreation area with zero depth entry and water slide; A high-school size gymnasium, adaptable for volleyball, youth basketball, and other indoor sports as well as special events for the whole community; A state-of-the-art wellness center with free weights, strength training circuits and cardiovascular machines; baby-sitting area for children whose parents are participating in programs in the building; A fitness studio that will house aerobics, martial arts, kids gym and dance classes; multi-purpose space including a teaching kitchen for teen program special interest classes and special events; Men's, women's and family locker rooms, and various offices and mechanical space that support YMCA programs.

PLAN REVISIONS	DATE	SHEETS ISSUED
SITE PLAN SUBMITTAL	10/26/01	FULL SET
EROSION CONTROL PERMIT	12/12/01	COVER, C1-C2, D1
REVISED SITE PLAN SUBMITTAL	12/21/01	FULL SET
REVISED SITE PLAN SUBMITTAL	01/23/02	FULL SET
REVISED SITE PLAN SUBMITTAL	02/04/02	FULL SET
FINAL REVISED SITE PLAN SUBMITTAL	02/18/02	FULL SET

Giffels-Webster Engineers, Inc.

407 E. FORT STREET SUITE 600 • DETROIT • MICHIGAN 48226 • (313) 962-4442

SHEET INDEX:
COVER

TREE SURVEY/EXISTING CONDITIONS SHEET
C1 EXISTING CONDITIONS & DEMOLITION PLAN

GENERAL SITE PLAN
SP1 SITE PLAN

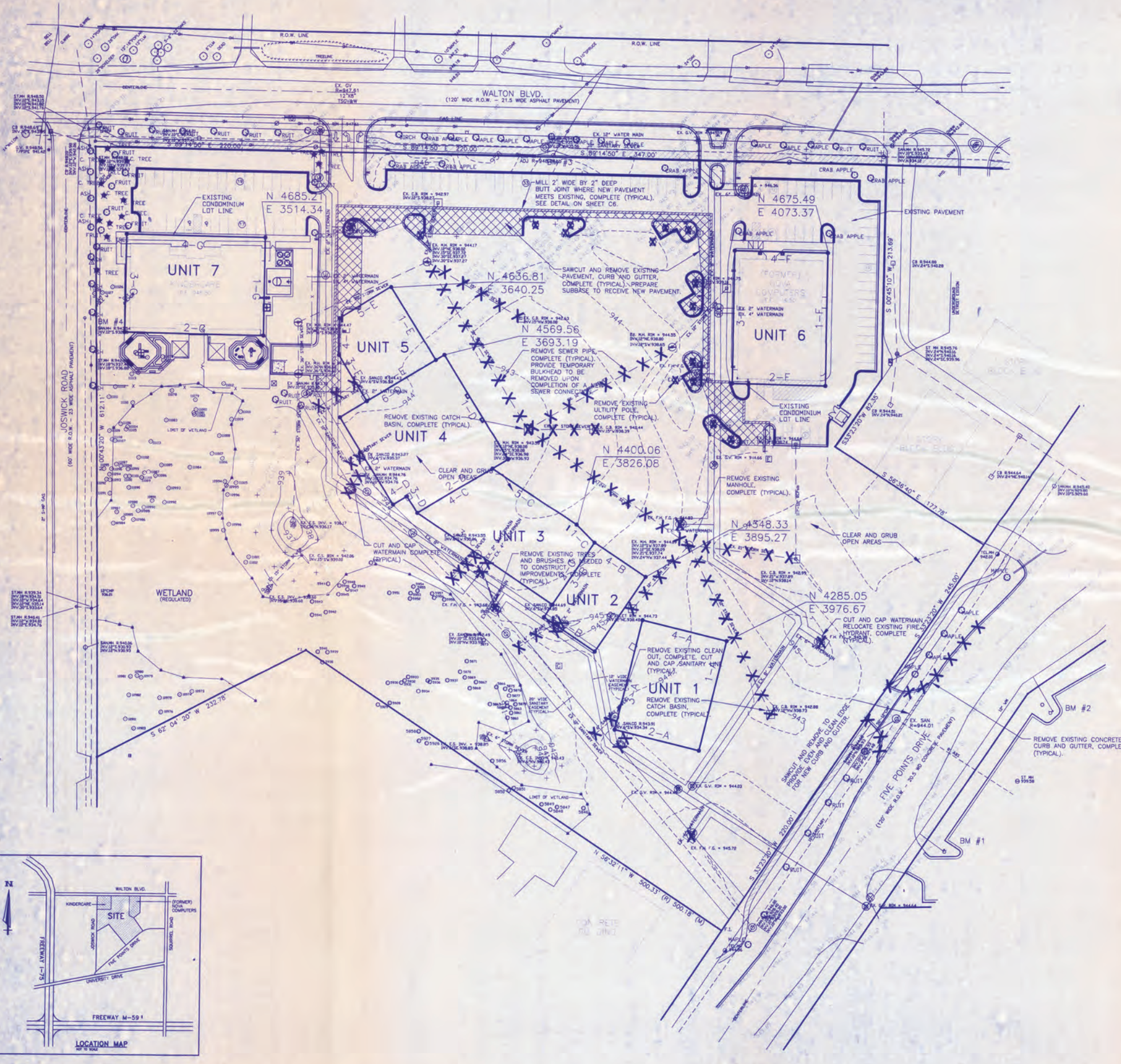
ENGINEERING SITE PLANS
C2 REVISED CONDOMINIUM PLAN
C3 UTILITY PLAN
C4 SOIL EROSION PLAN
C5 PAVING & GRADING PLAN
C7 DETAIL SHEET

LANDSCAPE PLAN
L1 LANDSCAPE PLAN

ARCHITECTURAL PLANS
A0.02 PLINTH PLAN AND DETAILS
A0.03 SITE SIGNAGE
A1.01 FIRST LEVEL PLAN
A1.02 SECOND LEVEL PLAN
A1.03 THIRD LEVEL PLAN
A1.04 UPPER ROOF PLAN
A2.01 ELEVATIONS NORTH AND WEST
A2.02 ELEVATIONS SOUTH AND EAST
A3.01 BUILDING SECTIONS
A3.02 BUILDING SECTIONS

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2.20.02

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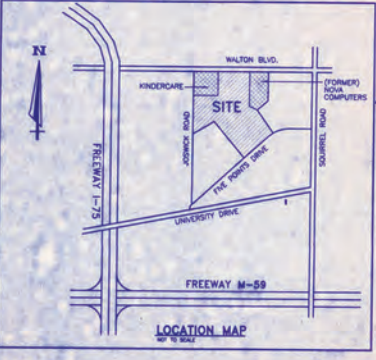
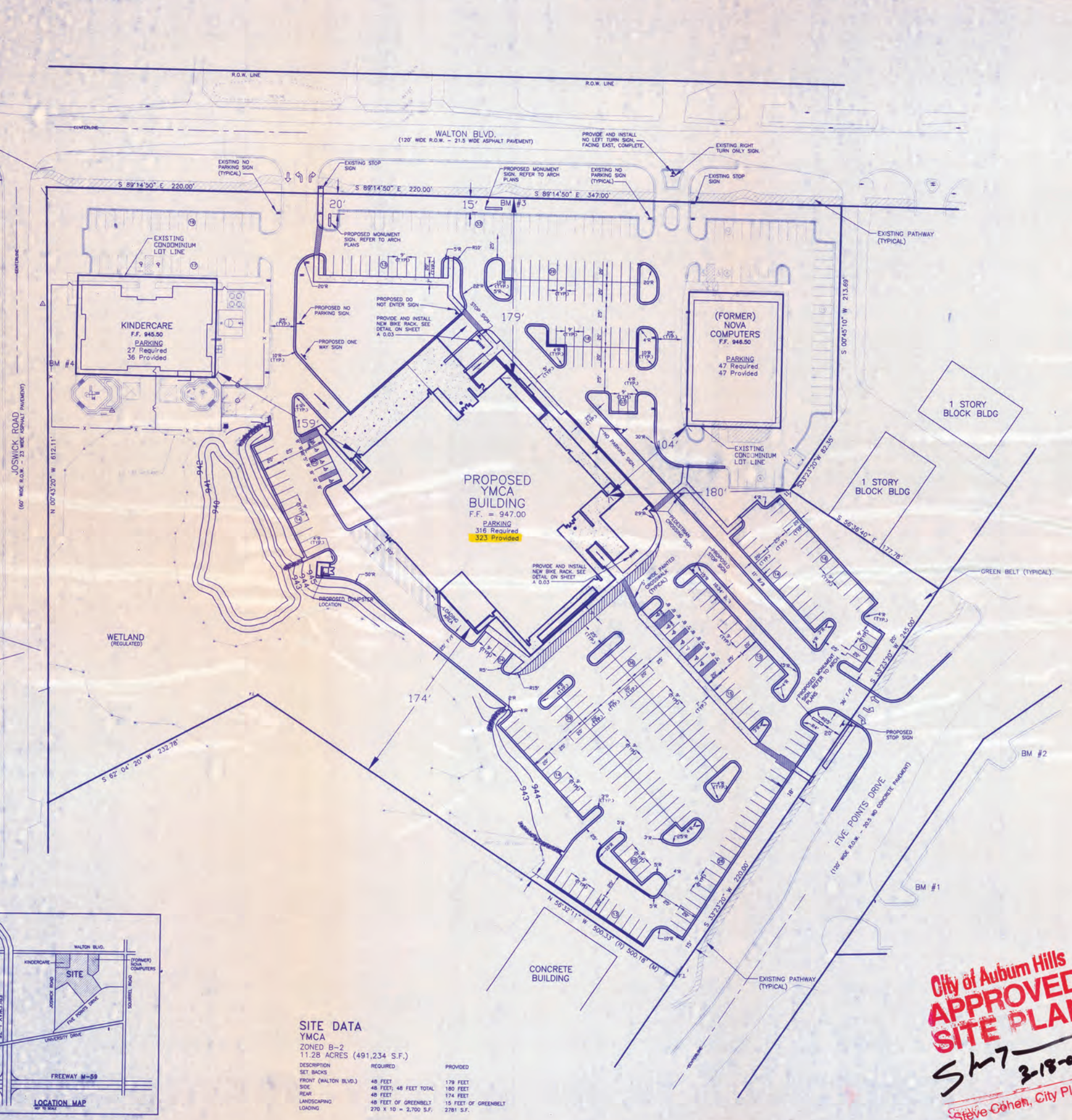


UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
(H) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.
PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

WETLAND TREE INDEX

NOT TO BE REMOVED

05000 TREE	05075 TREE	05090 TREE
05001 TREE	05076 TREE	05091 TREE
05002 TREE	05077 TREE	05092 TREE
05003 TREE	05078 TREE	05093 TREE
05004 TREE	05079 8" POPLAR	05094 TREE
05005 TREE	05080 10" POPLAR	05095 TREE
05006 TREE	05081 10" POPLAR	05096 TREE
05007 TREE	05082 11" POPLAR	05097 TREE
05008 TREE	05083 11" POPLAR	05098 TREE
05009 TREE	05084 11" DAK	05099 TREE
05010 TREE	05085 12" DAK	05100 TREE
05011 TREE	05086 12" 13" DAK	05101 8" BLM
05012 TREE	05087 13" 14" WALNUT	05102 31" COTWOOD
05013 TREE	05088 13" 14" WALNUT	05103 31" COTWOOD
05014 TREE	05089 13" 14" WALNUT	05104 8" BLM
05015 TREE	05090 13" 14" WALNUT	05105 8" BLM
05016 TREE	05091 13" 14" WALNUT	05106 8" BLM
05017 TREE	05092 13" 14" WALNUT	05107 8" BLM
05018 TREE	05093 13" 14" WALNUT	05108 8" BLM
05019 TREE	05094 13" 14" WALNUT	05109 8" BLM
05020 TREE	05095 13" 14" WALNUT	05110 8" BLM
05021 TREE	05096 13" 14" WALNUT	05111 8" BLM
05022 TREE	05097 13" 14" WALNUT	05112 8" BLM
05023 TREE	05098 13" 14" WALNUT	05113 8" BLM
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05027 TREE	05102 13" 14" WALNUT	05117 8" BLM
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05039 TREE	05114 13" 14" WALNUT	05129 8" BLM
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05041 TREE	05116 13" 14" WALNUT	05131 8" BLM
05042 TREE	05117 13" 14" WALNUT	05132 8" BLM
05043 TREE	05118 13" 14" WALNUT	05133 8" BLM
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05134 TREE	05209 13" 14" WALNUT	05224 8" BLM
05135 TREE	05210 13" 14" WALNUT	05225 8" BLM
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05138 TREE	05213 13" 14" WALNUT	05228 8" BLM
05139 TREE	05214 13" 14" WALNUT	05229 8" BLM
05140 TREE	05215 13" 14" WALNUT	05230 8" BLM
05141 TREE	05216 13" 14" WALNUT	05231 8" BLM
05142 TREE	05217 13" 14" WALNUT	05232 8" BLM
05143 TREE	05218 13" 14" WALNUT	05233 8" BLM
05144 TREE	05219 13" 14" WALNUT	05234 8" BLM
05145 TREE	05220 13" 14" WALNUT	05235 8" BLM
05146 TREE	05221 13" 14" WALNUT	05236 8" BLM
05147 TREE	05222 13" 14" WALNUT	05237 8" BLM
05148 TREE	05223 13" 14" WALNUT	05238 8" BLM
05149 TREE	05224 13" 14" WALNUT	05239 8" BLM
05150 TREE	05225 13" 14" WALNUT	05240 8" BLM
05151 TREE	05226 13" 14" WALNUT	05241 8" BLM
05152 TREE	05227 13" 14" WALNUT	05242 8" BLM
05153 TREE	05228 13" 14" WALNUT	05243 8" BLM
05154 TREE	05229 13" 14" WALNUT	05244 8" BLM
05155 TREE	05230 13" 14" WALNUT	05245 8" BLM
05156 TREE	05231 13" 14" WALNUT	05246 8" BLM
05157 TREE	05232 13" 14" WALNUT	05247 8" BLM
05158 TREE	05233 13" 14" WALNUT	05248 8" BLM
05159 TREE	05234 13" 14" WALNUT	05249 8" BLM
05160 TREE	05235 13" 14" WALNUT	05250 8" BLM
05161 TREE	05236 13" 14" WALNUT	05251 8" BLM
05162 TREE	05237 13" 14" WALNUT	05252 8" BLM
05163 TREE	05238 13" 14" WALNUT	05253 8" BLM
05164 TREE	05239 13" 14" WALNUT	05254 8" BLM
05165 TREE	05240 13" 14" WALNUT	05255 8" BLM
05166 TREE	05241 13" 14" WALNUT	05256 8" BLM
05167 TREE	05242 13" 14" WALNUT	05257 8" BLM
05168 TREE	05243 13" 14" WALNUT	05258 8" BLM
05169 TREE	05244 13" 14" WALNUT	05259 8" BLM
05170 TREE	05245 13" 14" WALNUT	05260 8" BLM
05171 TREE	05246 13" 14" WALNUT	05261 8" BLM
05172 TREE	05247 13" 14" WALNUT	05262 8" BLM
05173 TREE	05248 13" 14" WALNUT	05263 8" BLM
05174 TREE	05249 13" 14" WALNUT	05264 8" BLM
05175 TREE	05250 13" 14" WALNUT	05265 8" BLM
05176 TREE	05251 13" 14" WALNUT	05266 8" BLM
05177 TREE	05252 13" 14" WALNUT	05267 8" BLM
05178 TREE	05253 13" 14" WALNUT	05268 8" BLM
05179 TREE	05254 13" 14" WALNUT	05269 8" BLM
05180 TREE	05255 13" 14" WALNUT	05270 8" BLM
05181 TREE	05256 13" 14" WALNUT	05271 8" BLM
05182 TREE	05257 13" 14" WALNUT	05272 8" BLM
05183 TREE	05258 13" 14" WALNUT	05273 8" BLM
05184 TREE	05259 13" 14" WALNUT	05274 8" BLM
05185 TREE	05260 13" 14" WALNUT	05275 8" BLM
05186 TREE	05261 13" 14" WALNUT	05276 8" BLM
05187 TREE	05262 13" 14" WALNUT	05277 8" BLM
05188 TREE	05263 13" 14" WALNUT	05278 8" BLM
05189 TREE	05264 13" 14" WALNUT	05279 8" BLM
05190 TREE	05265 13" 14" WALNUT	05280 8" BLM
05191 TREE	05266 13" 14" WALNUT	05281 8" BLM
05192 TREE	05267 13" 14" WALNUT	05282 8" BLM
05193 TREE	05268 13" 14" WALNUT	05283 8" BLM
05194 TREE	05269 13" 14" WALNUT	05284 8" BLM
05195 TREE	05270 13" 14" WALNUT	05285 8" BLM
05196 TREE	05271 13" 14" WALNUT	05286 8" BLM
05197 TREE	05272 13" 14" WALNUT	05287 8" BLM
05198 TREE	05273 13" 14" WALNUT	05288 8" BLM
05199 TREE	05274 13" 14" WALNUT	05289 8" BLM
05200 TREE	05275 13" 14" WALNUT	05290 8" BLM
05201 TREE	05276 13" 14" WALNUT	05291 8" BLM
05202 TREE	05277 13" 14" WALNUT	05292 8" BLM
05203 TREE	05278 13" 14" WALNUT	05293 8" BLM
05204 TREE	05279 13" 14" WALNUT	05294 8" BLM
05205 TREE	05280 13" 14" WALNUT	05295 8" BLM
05206 TREE	05281 13" 14" WALNUT	05296 8" BLM
05207 TREE	05282 13" 14" WALNUT	05297 8" BLM
05208 TREE	05283 13" 14" WALNUT	05298 8" BLM
05209 TREE	05284 13" 14" WALNUT	05299 8" BLM
05210 TREE	05285 13" 14" WALNUT	05300 8" BLM
05211 TREE	05286 13" 14" WALNUT	05301 8" BLM
05212 TREE	05287 13" 14" WALNUT	05302 8" BLM
05213 TREE	05288 13" 14" WALNUT	05303 8" BLM
05214 TREE	05289 13" 14" WALNUT	05304 8" BLM
05215 TREE	05290 13" 14" WALNUT	05305 8" BLM
05216 TREE	05291 13" 14" WALNUT	05306 8" BLM
05217 TREE	05292 13" 14" WALNUT	05307 8" BLM
05218 TREE	05293 13" 14" WALNUT	05308 8" BLM
05219 TREE	05294 13" 14" WALNUT	05309 8" BLM
05220 TREE	05295 13" 14" WALNUT	05310 8" BLM
05221 TREE	05296 13" 14" WALNUT	05311 8" BLM
05222 TREE	05297 13" 14" WALNUT	05312 8" BLM
05223 TREE	05298 13" 14" WALNUT	05313 8" BLM
05224 TREE	05299 13" 14" WALNUT	05314 8" BLM
05225 TREE	05300 13" 14" WALNUT	05315 8" BLM
05226 TREE	05301 13" 14" WALNUT	05316 8" BLM
05227 TREE	05302 13" 14" WALNUT	05317 8" BLM
05228 TREE	05303 13" 14" WALNUT	05318 8" BLM
05229 TREE	05304 13" 14" WALNUT	05319 8" BLM
05230 TREE	05305 13" 14" WALNUT	05320 8" BLM
05231 TREE	05306 13" 14" WALNUT	05321 8" BLM
05232 TREE	05307 13" 14" WALNUT	05322 8" BLM
05233 TREE	05308 13" 14" WALNUT	05323 8" BLM
05234 TREE	05309 13" 14" WALNUT	05324 8" BLM
05235 TREE	05310 13" 14" WALNUT	05325 8" BLM
05236 TREE	05311 13" 14" WALNUT	05326 8" BLM
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05239 TREE	05314 13" 14" WALNUT	05329 8" BLM
05240 TREE	05315 13" 14" WALNUT	05330 8" BLM
05241 TREE	05316 13" 14" WALNUT	05331 8" BLM
05242 TREE	05317 13" 14" WALNUT	05332 8" BLM
05243 TREE	05318 13" 14" WALNUT	05333 8" BLM
05244 TREE	05319 13" 14	



SITE DATA			
YMCA			
ZONED B-2			
11.28 ACRES (491,234 S.F.)			
DESCRIPTION	REQUIRED	PROVIDED	
SET BACKS			
FRONT (WALTON BLVD.)	48 FEET	178 FEET	
SIDE	48 FEET; 48 FEET TOTAL	180 FEET	
REAR	48 FEET	174 FEET	
LANDSCAPING	48 FEET OF GREENBELT	15 FEET OF GREENBELT	
LOADING	270 X 10 = 2,700 S.F.	2781 S.F.	

City of Auburn Hills
APPROVED SITE PLAN
Sh7
2-18-02
Steve Cohen, City Planner

PARKING ANALYSIS

PROPOSED NORTH OAKLAND YMCA

Room Name	Net Floor Area	Floor Area/ Occupant	Number of Occupants	Posted Occupancy
102 Reception	336 sqft	100	4	
105 Childwatch	1252 sqft	35	36	
108 Multipurpose Room	913 sqft	50	19	
109 Family Center	506 sqft	20	26	
110 Teaching Kitchen	172 sqft	50	4	
116 Aquatics Director	150 sqft	100	2	175
118 Natatorium	8931 sqft	100	1	
120 Lifeguard Office	81 sqft	100	1	
125 Gymnasium	6807 sqft	100	5	400
138 Administrative Office	322 sqft	100	1	
139 Member Services	128 sqft	100	1	
140 Executive Director	103 sqft	100	1	
141 The Room	61 sqft	100	1	
Total First Level Occupancy				675

Room Name	Net Floor Area	Floor Area/ Occupant	Number of Occupants	Posted Occupancy
202 Aerobics	1684 sqft	50	36	
203 Spinning	681 sqft	50	14	
205 Staff Lounge	141 sqft	100	2	
206 Office	614 sqft	100	6	
212 Wellness Center	4926 sqft	50	99	
213 Screening Room	223 sqft	100	2	
214 Check-in	147 sqft	100	1	
216 Track	3392 sqft	actual no.	35	
217 Laundry	121 sqft	100	1	
Total Second Level Occupancy				196

Room Name	Net Floor Area	Floor Area/ Occupant	Number of Occupants	Posted Occupancy
300 Total floor area	4560 sqft			
Programmed area	3728 sqft	50	75	
(80% of total)				
Total Third Level Occupancy				75

*Occupant load is "0" for all toilet rooms, locker rooms, storage rooms, mechanical rooms and circulation spaces for non-simultaneous occupancy.
TOTAL OCCUPANCY 946
REQUIRED 1 SPACE PER 3 OCCUPANTS
TOTAL SPACES REQUIRED 316

TOTAL PARKING REQUIRED 316 SPACES WHICH INCLUDES
12 BARRIER FREE SPACES OUT OF WHICH 2 ARE VAN ACCESSIBLE
TOTAL PARKING PROVIDED 317 SPACES WHICH INCLUDES
12 BARRIER FREE SPACES OUT OF WHICH 3 ARE VAN ACCESSIBLE

GENERAL NOTES

- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. THE LIGHTING SHALL BE AT LEAST 1/4 LUMEN PER SQ. FT. OF PARKING AREA.
- SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, OR TRAILER STORAGE.
- GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO. 372.
- PARKING SPACES SHALL BE DOUBLE STRIPED PER ZONING ORDINANCE NO. 372.
- AN ENVIRONMENTAL IMPACT STATEMENT IS NOT REQUIRED.
- A LAND DIVISION OR COMBINATION IS NOT REQUIRED.
- SPECIAL LAND USE (SLU) FOR RECREATION FACILITY, BUILDING HEIGHT AND CHANGABLE COPY SIGN.

ADDITIONAL NOTES

- CONTRACTOR SHALL SECURE AND COMPLY WITH ALL REQUIREMENTS OF ALL PERMITS REQUIRED FOR THIS WORK.
- CONTRACTOR SHALL NOT OBSTRUCT TRAFFIC ON PUBLIC ROADS EXCEPT AS AUTHORIZED BY PERMIT.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF AUBURN HILLS & ANY FEDERAL, STATE AND COUNTY AGENCIES HAVING JURISDICTION OVER THE WORK.
- CALL MISS DIG (1-800-482-7171) THREE WORKING DAYS (72 HOURS) PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL ITEMS TO BE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING: FOUNDATION AND ATTACHMENTS, TREE STUMPS AND ROOT STRUCTURES, PAVEMENT BASE MATERIAL, ABANDONED FENCES, PILES, ETC. AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- GREAT CARE SHALL BE TAKEN BY ALL CONTRACTORS TO AVOID DAMAGE TO VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION AND TO KEEP THE CONSTRUCTION AREA TO A MINIMUM. DRIVING AND PARKING VEHICLES AND STORAGE OF MATERIALS AND SUPPLIES SHALL NOT BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- AREAS REQUIRING RESTORATION SHALL BE REPAIRED USING MATERIALS OF AT LEAST EQUAL QUALITY AND SHALL BE INSTALLED PROMPTLY AFTER COMPLETION OF THE DISRUPTIVE WORK SO AS TO MINIMIZE INCONVENIENCE AND UNSIGHTLINESS. RESTORATION WORK REQUIRES INSPECTION AND APPROVAL OF THE PERMITTING AGENCY AND THE OWNER.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS, AND WETLANDS.
- THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE, PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS REMOVAL IS REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
- ALL UTILITY TRENCHES BELOW OR WITHIN 3 FEET OF THE EDGE OF EXISTING OR PROPOSED PAVEMENTS SHALL HAVE FULL DEPTH COMPACTED SAND BACKFILL. ALL UTILITY WORK SHALL BE PROPERLY PERMITTED, INSPECTED AND APPROVED. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED UPON THIS WORK. REFER TO THE VARIOUS UTILITY STANDARD CONSTRUCTION DETAIL SHEETS.
- ALL TRENCHES ACROSS ROADWAYS, DRIVEWAYS, SIDEWALKS AND PARKING LOTS SHALL BE COMPACTED TO 98% PROCTOR (MINIMUM).
- MAINTAIN 18 INCHES MINIMUM VERTICAL SEPARATION BETWEEN ALL UTILITY CROSSINGS AND 10 FEET MINIMUM HORIZONTAL SEPARATION BETWEEN ALL UTILITIES.
- ALL STORM SEWER PIPE SHALL BE C-75, CL IV TONGUE AND GROOVE, RUBBER GASKET (PREMIUM JOINT) UNLESS OTHERWISE NOTED.
- ALL PUBLIC WATER MAIN SHALL BE CL 54 DUCTILE IRON PIPE AND BE LOCATED WITHIN A 12 FOOT WIDE EASEMENT, UNLESS OTHERWISE NOTED.
- SANITARY LEAD SHALL BE 6" ABS SDR 23.5.
- DOMESTIC WATER LEADS SHALL BE 2" K-COPPER PIPE.
- FIRE DEPARTMENT CONNECTION SHALL BE 4" DUCTILE IRON PIPE WITH SHUT OFF VALVE. SHAMOSE CONNECTION SHALL BE PROVIDED.
- CONNECTION TO THE EXISTING WATER MAIN SHALL BE MADE ONLY AFTER THE HYDROSTATIC AND THE BACTERIOLOGICAL TESTS HAVE BEEN SUCCESSFULLY COMPLETED AND APPROVED BY THE CITY ENGINEER. CONNECTION SHALL ONLY BE MADE IN THE PRESENCE OF THE CITY INSPECTOR CONNECTION FOR THE PURPOSE OF "FLUSHING" SHALL NOT BE ALLOWED.
- ALL BARRIER FREE RAMP SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL.
- ALL BARRIER FREE RAMP SHALL BE A.D.A. COMPLIANT.
- ALL CONCRETE SIDEWALKS ABUTTING ASPHALT PAVEMENT SHALL BE CONSTRUCTED PER THE THICKENED EDGE WALKS WITH A 6" FACE, EXCEPT AS NOTED FOR RAMPS AND TAPERS.
- SEE ARCHITECTURAL PLANS FOR BUILDING CONSTRUCTION DETAIL.
- ASPHALT PAVEMENT SECTION SHALL CONSIST OF 4" ASPHALT (MOOT 1100T, 1100L) ON 8" - 10" MOOT 21AA.
- LOADING AREA SLAB SHALL CONSIST OF 3500 PSI 8" REINFORCED CONCRETE WITH MINIMUM 6X6-W2.9XW2.9 WELDED WIRE MESH ON 6" COMPACTED SAND.

SCALE: 1"=40'
40' 0 40'

NOT FOR CONSTRUCTION
SIDWELL NUMBER

DATE:	ISSUE:
9/10/01	PRELIMINARY SUBMITTAL
10/26/01	10/26/01 SITE PLAN SUBMITTAL
12/12/01	12/12/01 SOIL EROSION PERMIT
12/21/01	12/21/01 REVISED SITE PLAN SUBMITTAL
01/23/02	01/23/02 REVISED SITE PLAN SUBMITTAL
02/04/02	02/04/02 REVISED SITE PLAN
02/18/02	02/18/02 REVISED SITE PLAN
02/20/02	02/20/02 FINAL SITE PLAN

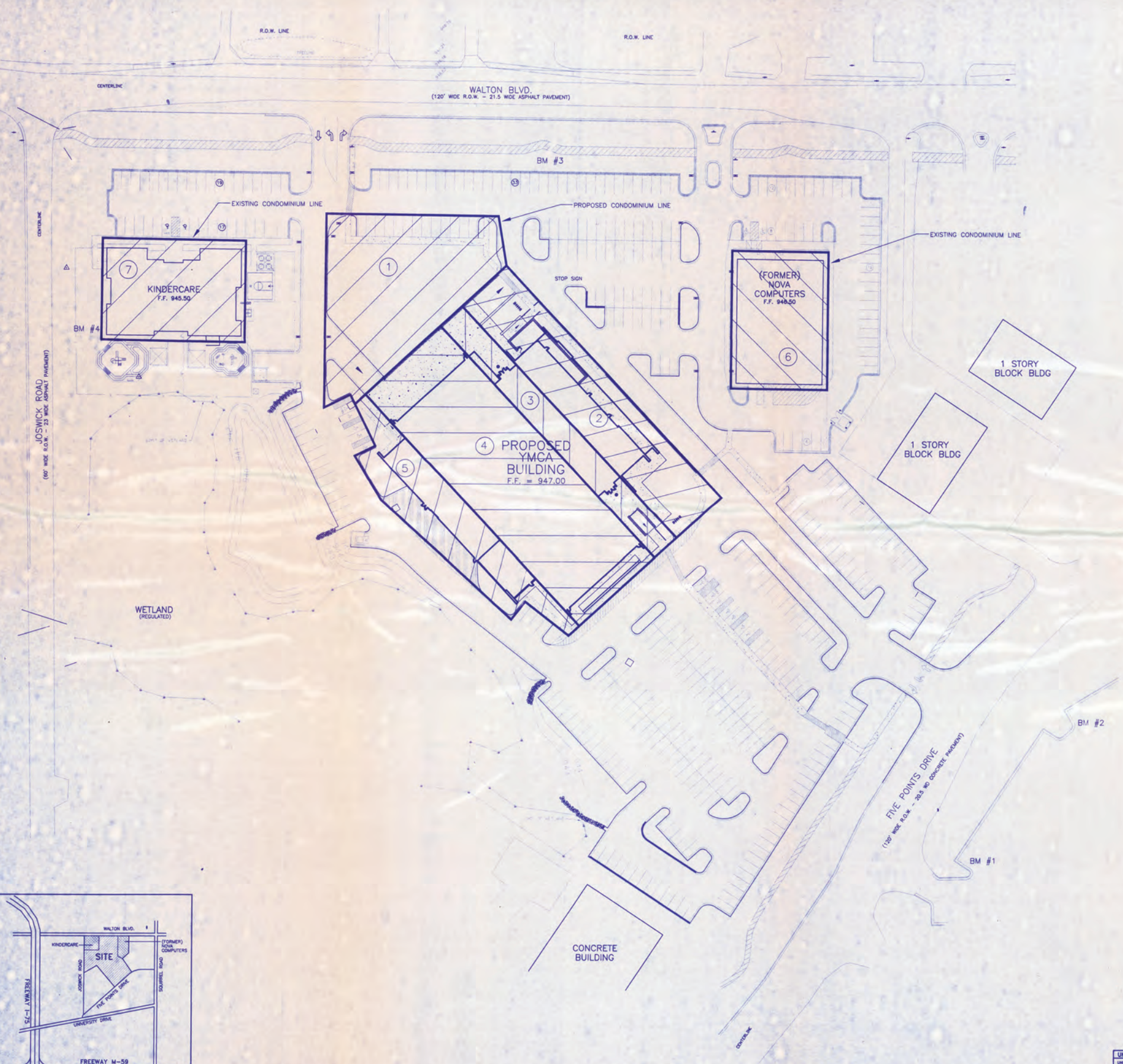
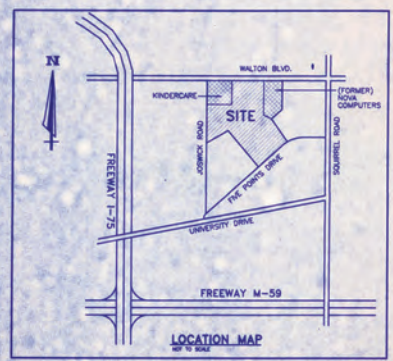


PRINCIPAL:	LL
PROJ. MNGR:	SC
DESIGN:	TT
DRAWN:	TT
IND. REVIEW:	STC
SECTION:	13
T- 3 -N-R- 10 -E-	

PROPRIETOR:
YMCA OF METROPOLITAN DETROIT
10900 HARPER AVENUE
DETROIT, MICHIGAN 48213
(313) 267-5300 X339

GWE
Giffels-Webster Engineers, Inc.
ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
407 E. FORT STREET, SUITE 600 DETROIT, MI 48226
(313) 962-4442

SHEET TITLE:	SITE LAYOUT PLAN YMCA AUBURN HILLS, OAKLAND COUNTY, MICHIGAN
DATE:	02/18/02
SCALE:	1" = 40'
SHEET:	SP1
JOB:	16031



UNIT DATA		
UNITS	ACRES	S.F.
UNIT 1	0.502	21848.99
UNIT 2	0.403	17644.40
UNIT 3	0.188	8218.08
UNIT 4	0.884	38788.27
UNIT 5	0.381	16680.82

City of Auburn Hills
APPROVED
SITE PLAN
Slur
3-18-02
Steve Cohen, City Planner

SCALE: 1"=40'
40' 0 40'

NOT FOR CONSTRUCTION
SIDWELL NUMBER
14-13-126-015 (UNIT 1)
14-13-126-016 (UNIT 2)
14-13-126-017 (UNIT 3)
14-13-126-018 (UNIT 4)
14-13-126-019 (UNIT 5)

DATE		ISSUE
9/10/01	PRELIMINARY SUBMITTAL	
10/26/01	SITE PLAN SUBMITTAL	
12/12/01	SOIL EROSION PERMIT	
12/21/01	REVISED SITE PLAN SUBMITTAL	
01/23/02	REVISED SITE PLAN SUBMITTAL	
02/04/02	REVISED SITE PLAN	
02/18/02	FINAL REVISED SITE PLAN	



PRINCIPAL:	LL
PROJ. MNGR:	SC
DESIGN:	TT
DRAWN:	TT
IND. REVIEW:	STC
SECTION:	1.3
T- 3 -N-R- 10 -E-	

PROPRIETOR:
YMCA OF METROPOLITAN DETROIT
10900 HARPER AVENUE
DETROIT, MICHIGAN 48213
(313) 267-5300 X339

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ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
407 E. FORT STREET, SUITE 600 DETROIT, MI 48226
(313) 962-4442

SHEET TITLE:	REVISED CONDOMINIUM LAYOUT
DATE:	02/18/02
SCALE:	1" = 40'
SHEET:	C2
JOB:	16031



SOIL EROSION QUANTITY TABLE

DESCRIPTION	QUANTITY
SEDIMENT CONTROL FENCING	1280 LF.
TEMPORARY INLET SEDIMENT FILTER	12 EA.
MUD MAT	1 EA.

FOR PREVIOUS EROSION CONTROL WORK, REFER TO ODCD SOIL EROSION AND SEDIMENTATION CONTROL PERMIT NO. AHC/97-0126/13/CO. APPROVED MARCH 21, 1997, AUBURN TOWN SQUARE, ONE PROJECT #14309

EROSION CONTROL SEQUENCE

1. INSTALL MUD MATS, SILT FENCE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS REQUIRED TO ACHIEVE ON-SITE CONTAINMENT.
2. INSTALL STORM SEWER AND ALL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.
3. ROUGH GRADE THE PROJECT "WORK AREA" AS NEEDED.
4. INSTALL SANITARY SEWER AS SHOWN ON PLANS.
5. INSTALL WATER MAIN AS SHOWN ON PLANS.
6. INSTALL OTHER UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.).
7. INSTALL PAVEMENT COMPLETE AND SEED & MULCH ALL DISTURBED AREAS.
8. CLEAR ALL ACCUMULATED SILT AND REMOVE ALL EROSION CONTROL DEVICES.
9. INSTALL LANDSCAPING MATERIALS AS INDICATED PER PLANS & RE-SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.

EROSION CONTROL STANDARDS

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE OKLAHOMA COUNTY DRAIN COMMISSIONER.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS, INCLUDING BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS, AND WETLANDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
5. STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT WIND EROSION FROM BLOWING SOILS OFF SITE.
6. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERMANENT DEFENSE AGAINST ANY TRANSPORTING OF DIRT OFF THE WORK AREA.
7. PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
8. VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
10. THE LOCATION OF THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS ONLY APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND MAINTAINING THIS FENCING TO ENSURE SOIL EROSION CONTROL THROUGHOUT CONSTRUCTION.
11. CONSTRUCTION ACCESS TO THE SITE IS ONLY LIMITED TO THE TWO ENTRANCES ALONG THE EASTERN PROPERTY LINE.
12. CONTRACTOR NEEDS TO TAKE NECESSARY MEASURES TO PROTECT ADJACENT DEVELOPMENTS.
13. STORAGE OF MATERIALS AND EQUIPMENT NEED TO BE STORED WITHIN THE SITE BOUNDARY AT ALL TIMES.

REVISED STORM WATER RUN-OFF/DETENTION CALCS

FOR PREVIOUS STORM WATER DETENTION WORK, REFER TO CITY OF AUBURN HILLS DPW PERMIT NO. C-16334, AUBURN TOWN SQUARE, ONE PROJECT #14309.

1. Design Criteria
The total development site is 11.27 ac. Lots 4, 6 and 7 (8.54 ac) are within the Hobart Drain District which has not been improved to receive runoff from this area based on an imperviousness factor of 0.60. This provides the development site with an allowable discharge of 19.4 cfs for a 10 yr. design storm frequency. The total allowable flow from this district (11.0 acres) into the Hobart Drain is 26 cfs (ref. OHM calcs). The existing 12" CMP from the wetland to the Hobart Drain shall be maintained. The outlet pipe from the on-site detention pond (sediment basin "A") shall be designed to discharge into the wetland of the allowable rate (19.4 cfs) less the flow rates developed from sediment basin "B" and the wetland itself.
2. Improved Site Imperviousness Analysis

Surface	Impervious %	Area	CA
Buildings	100	0.9	1.4 Acres
Parking	100	0.9	5.4 Acres
Wetland	100	1.0	1.5 Acres
Lawn	20	0.20	3.0 Acres
		11.3 Acres	8.22 Therefore $C_{eq} = 0.73$
3. Required Detention
A. Total Discharge Allowed = 19.4 cfs
B. Discharges

Entering Basin	C	Q	A	Q
Basin B	0.8	3.89	0.62	1.93
Wetland	1.0	3.89	1.50	5.84
Basin A	1.0	3.89	0.25	0.97
Basin B	1.0	3.89	0.15	0.58
Unaccounted for	0.25	3.89	1.94	1.89
Total				11.21

C. Discharge Allowed From Basin A
 $Q_0 = 19.4 \text{ cfs} - 11.21 \text{ cfs} = 8.19 \text{ cfs}$
D. Basin A Storage Requirement
 $A = \text{Total Area} - \text{Wetland} - \text{Entering Basin B} - \text{Basin B} - \text{Unaccounted for}$
 $A = 11.30 - 1.50 - 0.62 - 0.15 - 1.94$
 $A = 7.09 \text{ ACRES}$
 $C = 0.73$
 $Q_0 = \text{Allowable Discharge Rate/Imp. Acre}$
 $Q_0 = 8.19/7.09 \times 0.73 = 1.58 \text{ cfs}$
 $T_{10} = -25 + \frac{8562.5}{Q_0}$
 $T_{10} = -25 + \frac{8562.5}{1.58}$
 $T_{10} = 39.45$
 $V_{10} = \frac{(10500 \times T_{10})}{(T_{10} + 25)} - (40 \times Q_0 \times T_{10})$
 $V_{10} = \frac{(10500 \times 39.45)}{(39.45 + 25)} - (40 \times 1.58 \times 39.45)$
 $V_{10} = 3934 \text{ cfs/imp. Acre}$
 $V_1 = V_{10} \times \text{ACRES} \times C$
 $V_1 = 3934 \times 7.09 \times 0.73$
 $V_1 = 20,361 \text{ cf Required}$
E. Basin A Storage Provided
Proposed 10 Year High Water Elevation = 942.00
Area @ Elevation: 942.00 = 11,940 sf
941.00 = 9,145 sf
940.00 = 6,553 sf
939.00 = 2,167 sf

Volume = $H/3 \times (A_1 + A_2 + A_1 \times A_2)$
Total Proposed Volume (Between 939.00 - 942.00) = 22,479 cf; Therefore, Sufficient
F. Basin B Storage Requirement
Total Drainage Area (Designed) 0.83 Acres
Refer to Approved Construction Plans for Auburn Town Square - GWE #14309
City of Auburn Hills Permit #C-16334

Total Drainage Area (Provided) 0.82 Acres; Therefore Sufficient
G. Outlet Structure Size Requirement
Outlet Structure Size Requirement
 $A = Q_0 / (L \times \sqrt{2gH})$ where $Q_0 = 8.19 \text{ cfs}$ (Allow Discharge)
 $H = 942 - 940.25 = 1.75 \text{ ft}$ (Surcharge)
 $A = 8.19 / (6.2 \times \sqrt{2 \times 32.2 \times 1.75}) = 1.244 \text{ ft}^2 = 179 \text{ in}^2$ (Maximum Allowed Diameter)
Required Outlet Diameter = 15" (177 in²)
Existing Outlet Diameter = 15" (177 in²); Therefore Sufficient

DATE:	ISSUE:
9/10/01	PRELIMINARY SUBMITTAL
10/26/01	SITE PLAN SUBMITTAL
12/12/01	SOIL EROSION CONTROL PERMIT
12/17/01	REVISED SITE PLAN SUBMITTAL
12/17/01	REVISED SITE PLAN SUBMITTAL
12/18/01	REVISED SITE PLAN SUBMITTAL
12/18/01	FINAL REVISED SITE PLAN



PRINCIPAL:	LL
PROJ. MNGR:	SC
DESIGN:	TT
DRAWN:	TT
IND. REVIEW:	STC
SECTION:	13
T-3 -N-R-10 -E-	

PROPRIETOR:
YMCA OF METROPOLITAN DETROIT
10500 HARPER AVENUE
DETROIT, MICHIGAN 48213
(313) 267-5300 x339

GWE
Giffels-Webster Engineers, Inc.
ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
407 E. FORT STREET, SUITE 600 DETROIT, MI 48226
(313) 962-4442

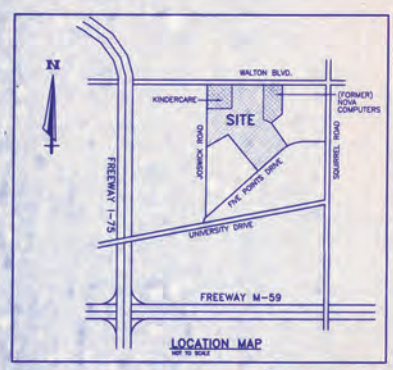
SOIL EROSION AND DRAINAGE PLAN
NORTH OAKLAND FAMILY YMCA
AUBURN HILLS, OKLAHOMA COUNTY, MICHIGAN
DATE: 02/18/02
SCALE: 1" = 40'
SHEET: C4
JOB: 16031

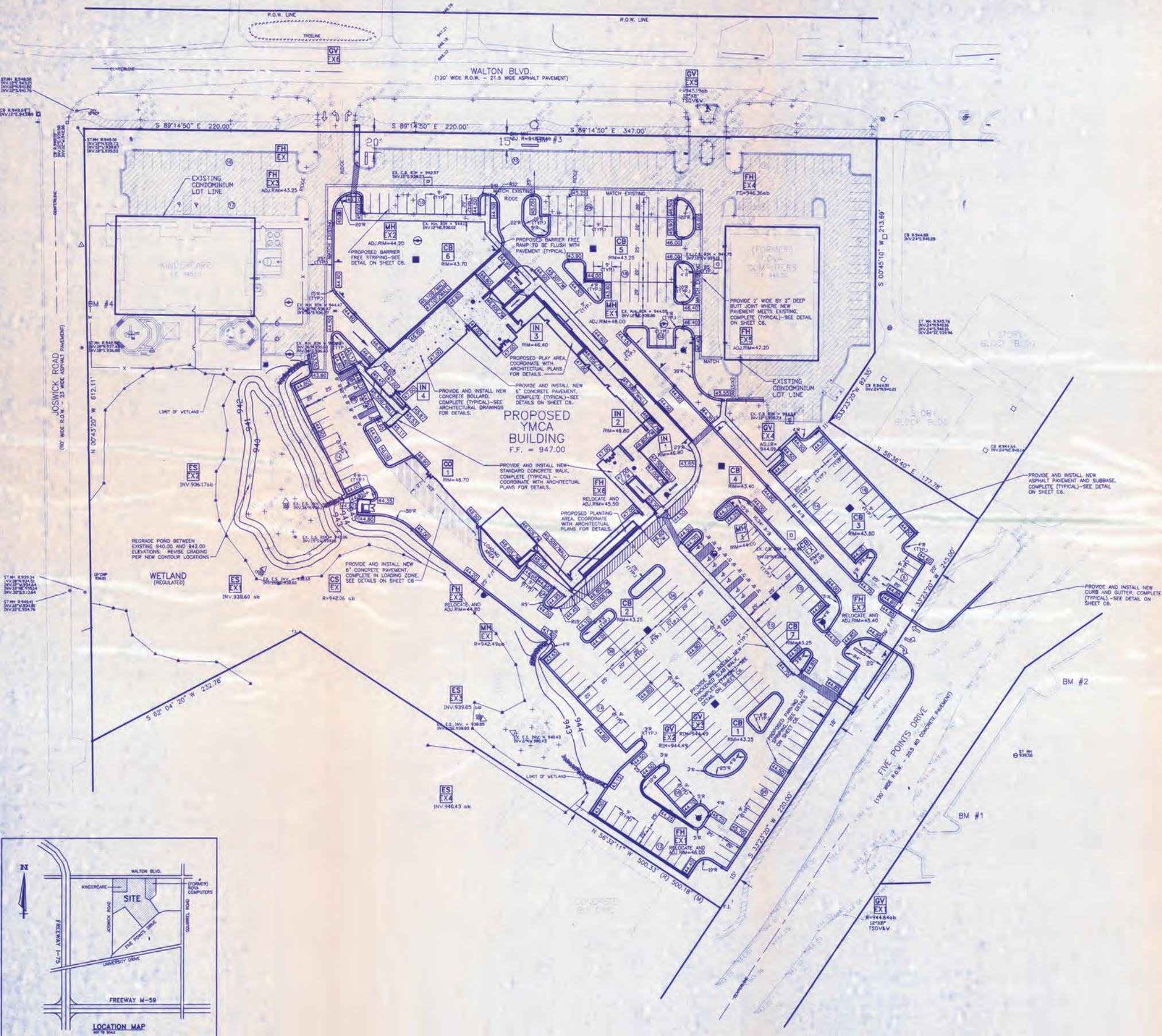
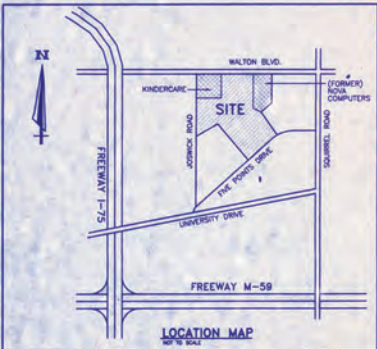
City of Auburn Hills
APPROVED SITE PLAN
3-19-02
Steve Cohen, City Planner

SCALE: 1" = 40'
40' 0 40'

NOT FOR CONSTRUCTION
SIDWELL NUMBER

14-13-126-015 (UNIT 1)
14-13-126-016 (UNIT 2)
14-13-126-017 (UNIT 3)
14-13-126-018 (UNIT 4)
14-13-126-019 (UNIT 5)





- PAVING NOTES**
1. CONTRACTOR SHALL NOT PLACE ASPHALT WEARING COURSE UNTIL COMPLETION OF BUILDING CONSTRUCTION OR AS APPROVED BY THE ARCHITECT.
 2. NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL MATERIAL UNDER ANY ROADWAY, DRIVEWAY OR PARKING AREA.
 3. ALL C&G GRADES ARE GUTTER ELEVATION AT GUTTER PAN - SEE DETAILS ON SHEET C6 FOR FACE OF CURB, TOP OF CURB AND ASPHALT ADJUSTMENTS (UNLESS OTHERWISE NOTED).
 4. INSTALL TRANSITION C&G AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE, AT ALL STANDARD TO REVERSE CURB AND GUTTER TRANSITIONS. ALSO PROVIDE SPECIAL CURB TRANSITIONS BETWEEN CURBS OF VARYING CROSS SECTION.
 5. ALL BARRIER FREE RAMP TO BE ADA COMPLIANT.
 6. BUTT JOINTS SHALL BE AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR INSTALLATION OF NEW WORK.
 7. GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
 - A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, GRADE LEVEL DOORWAYS OR BASEMENT WINDOWS.
 - B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (+/- 2%)
 - C. SIDEWALK CROSS SLOPE +/- 2% UNLESS OTHERWISE NOTED (EXCLUDING RAMPS)
 - D. PAVEMENT SLOPES (1:1% MINIMUM, 4:0% MAXIMUM), UNIFORMITY BETWEEN FINISH GRADE ON PLANS
 - E. LAWN AREAS +/- 1% MINIMUM TO 25% (BENEFIT) MAXIMUM.
 8. CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES, AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
 9. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL EVALUATION REPORT AS PREPARED BY SOIL AND MATERIAL ENGINEERS, INC. (SME PROJECT NO. 000000, DATED XXXXXX XXXXX) FOR ALL GEOTECHNICAL REQUIREMENTS AND RECOMMENDATIONS.
 10. ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
 11. THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER. A BOND COAT OF 55-1H EMULSION SHALL BE APPLIED (AT A RATE OF 0.1 GALLONS/SY.) BETWEEN THE LEVELING AND WEARING COURSES WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
 12. THE FINAL SUBGRADE SHALL BE THOROUGHLY PROTECTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
 13. AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE/BACK OF CURB.
 14. CONCRETE TRANSFORMER PADS SHALL BE INSTALLED WITH BUILDING CONSTRUCTION, CONTRACTOR SHALL COORDINATE THE INSTALLATION OF SERVICE LINES, CONDUIT, ETC. PRIOR TO PLACEMENT OF PAVEMENT.
 15. ALL SIDEWALKS AND PATHWAYS IN ANY PUBLIC R.O.W. SHALL BE INSPECTED BY THE CITY ENGINEER. CONTACT NICOLE DABROWSKI AT (734) 522-8711 BEFORE CONSTRUCTION.
 16. PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, ORANGE STRUCTURES, SANITARY SEWERS, BENCHES, TRASH RECEPTACLES, ETC. WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

City of Auburn Hills
APPROVED
SITE PLAN
3-18-02
Steve Cohen, City Planner

SCALE: 1"=40'
40' 0 40'

NOT FOR CONSTRUCTION
SIDWELL NUMBER

DATE:	ISSUE:
02/18/02	PRELIMINARY SUBMITTAL
03/05/02	SITE PLAN SUBMITTAL
03/05/02	SOIL EROSION PERMIT
03/21/02	REVISED SITE PLAN SUBMITTAL
03/21/02	REVISED SITE PLAN SUBMITTAL
03/21/02	REVISED SITE PLAN
03/21/02	REVISED SITE PLAN
03/21/02	REVISED SITE PLAN



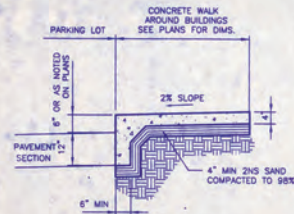
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PROJ. MGR:	SC
DESIGN:	TT
DRAWN:	TT
IND. REVIEW:	STC
SECTION:	13
T- 3 -N-R- 10 -E-	

PROPRIETOR:
YMCA OF METROPOLITAN DETROIT
10900 HARPER AVENUE
DETROIT, MICHIGAN 48213
(313) 267-5300 X339

GWE
Giffels-Webster Engineers, Inc.
ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
407 E. FORT STREET, SUITE 600 DETROIT, MI 48226
(313) 962-4442

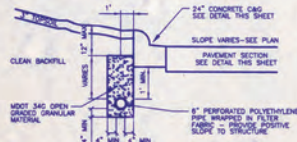
PAVING AND GRADING PLAN
NORTH OAKLAND FAMILY YMCA
AUBURN HILLS, OAKLAND COUNTY, MICHIGAN

DATE:	02/18/02
SCALE:	1" = 40'
SHEET:	C5
JOB:	16031



THICKENED SLAB WALK
NOT TO SCALE

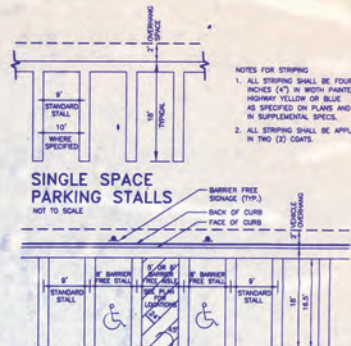
NOTE FOR SIDEWALKS:
1. USE 8" CONCRETE WALK IF WITHIN DRIVE APPROACH, INTERSECTION OR CALLED OUT ON PLANS. PLACE 2ND SAND AS REQUIRED TO OBTAIN GRADE AND COMPACT TO 98% MOD. PROCTOR.



EDGEDRAIN DETAIL
NOT TO SCALE

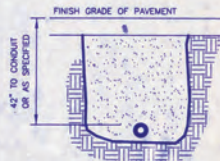


STANDARD CONCRETE SIDEWALK DETAIL
NOT TO SCALE



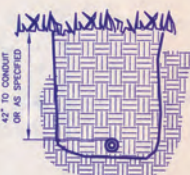
SINGLE SPACE PARKING STALLS
NOT TO SCALE

STRIPING DETAILS
NOT TO SCALE



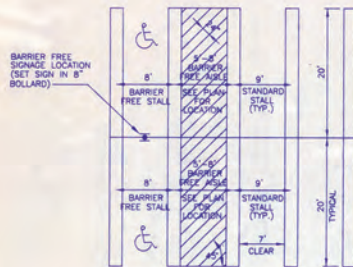
TRENCH "A"

COMPACTED SAND BACKFILL TO 98% MOD. PROCTOR (9" MAXIMUM LIFT). USE BELOW OR WITHIN 1:1 INFLUENCE OF ROADS, DRIVES OR PARKING LOT PAVEMENTS.

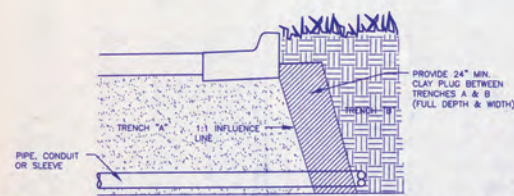


TRENCH "B"

BACKFILL WITH CLEAN SOILS AND COMPACT TO 95% MOD. PROCTOR



HEAD TO HEAD PARKING STALL STRIPING
NOT TO SCALE

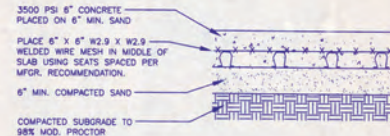


TRENCHING BACKFILL DETAILS
NOT TO SCALE

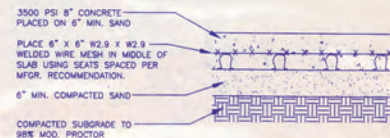
(FOR ELECTRICAL CONDUIT, IRRIGATION SLEEVES, EDGEDRAIN OUTLETS ETC.)



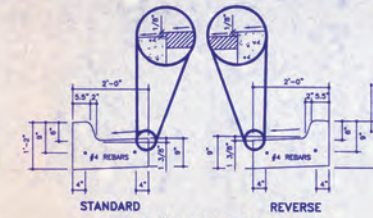
STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



6" REINFORCED CONCRETE SLAB
NOT TO SCALE

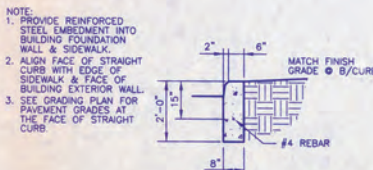


8" REINFORCED CONCRETE SLAB
NOT TO SCALE



24" CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE

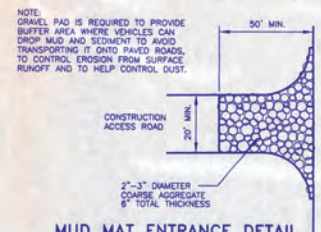
NOTE: USE MDOT 35P CONCRETE-TYPICAL ALL C&G AND REFERENCE MDOT DETAIL 11-300 TYPE F4



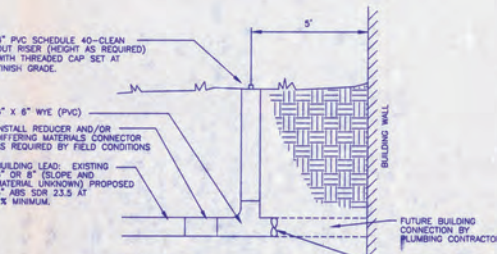
STRAIGHT CURB
NOT TO SCALE



BUTT JOINT DETAIL
NOT TO SCALE

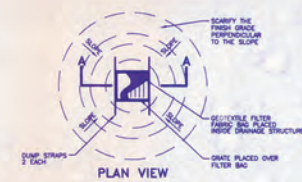


MUD MAT ENTRANCE DETAIL
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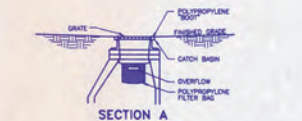


CLEAN OUT DETAIL
NOT TO SCALE

NOTE: VERIFY DEPTH OF INVERT REQUIRED BY PLUMBING DRAWINGS PRIOR TO CONSTRUCTING EACH LEAD-NOTIFY ENGINEER OF ANY CONFLICTS.



PLAN VIEW
NOT TO SCALE



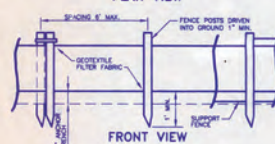
SECTION A
NOT TO SCALE

TEMPORARY INLET SEDIMENT FILTER
NOT TO SCALE

NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STORMWALKER" AS MANUFACTURED BY STORMWALKER SERVICES CORPORATION (204-767-0441) OR "T-1600" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800-448-3636). CLEAN FILTER AS NEEDED.



PLAN VIEW
NOT TO SCALE

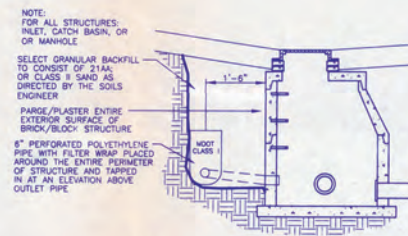


FRONT VIEW
NOT TO SCALE



SECTION A SECTION B
NOT TO SCALE

SEDIMENT CONTROL FENCING
NOT TO SCALE



STRUCTURE UNDERDRAIN DETAIL
NOT TO SCALE

City of Auburn Hills
APPROVED SITE PLAN
547
3-18-02
Steve Corien, City Planner

DATE:	ISSUE:
9/10/01	PRELIMINARY SUBMITTAL
10/26/01	SITE PLAN SUBMITTAL
12/12/01	SOILS REPORT
12/26/01	SCOUR PLAN SUBMITTAL
02/26/02	REVISED SITE PLAN
02/26/02	REVISED SITE PLAN
02/19/02	FINAL REVISED SITE PLAN



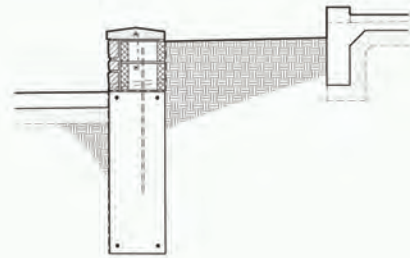
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PROJ. MGR:	SC
DESIGN:	TT
DRAWN:	TT
IND. REVIEW:	STC
SECTION:	13
T-3-N-R-	10-E

PROPRIETOR:
YMCA OF METROPOLITAN DETROIT
10900 HARPER AVENUE
DETROIT, MICHIGAN 48213
(313) 267-5300 X339

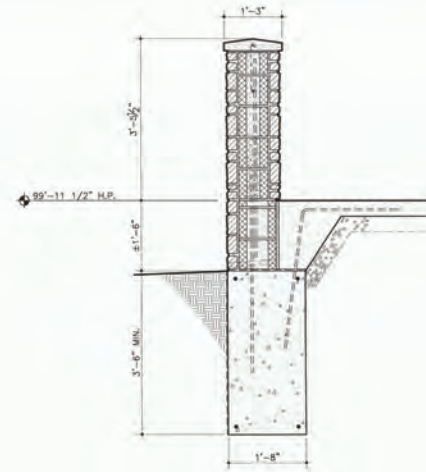
GWE
Giffels-Webster Engineers, Inc.
ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
407 E. FORT STREET, SUITE 600 DETROIT, MI 48226
(313) 962-4442

SHEET TITLE:
DETAILS
NORTH OAKLAND FAMILY YMCA
AUBURN HILLS, OAKLAND COUNTY, MICHIGAN

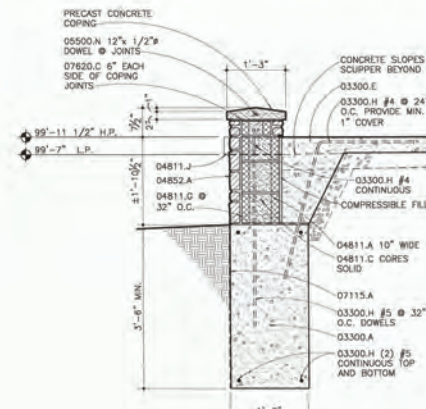
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SHEET:	C7
JOB:	16031



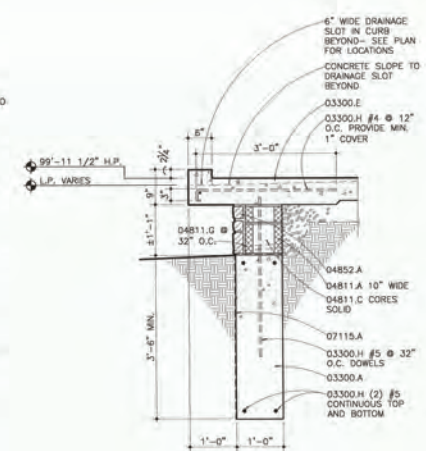
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REF: A 0.02



D3 A 0.02 Plinth Detail
SCALE: 3/4"=1'-0"
REF: A 0.02



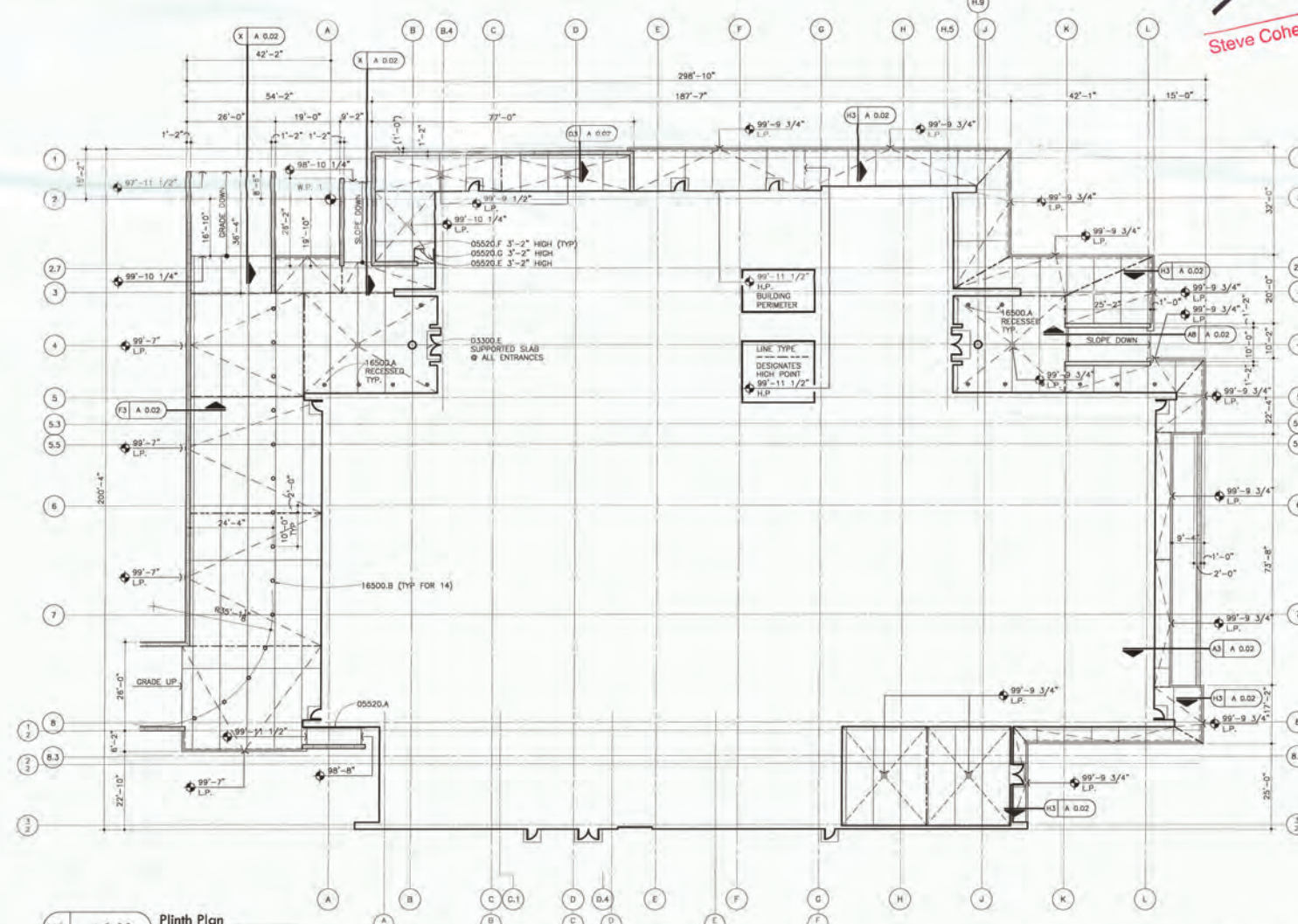
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SCALE: 3/4"=1'-0"
REF: A 0.02



H3 A 0.02 Plinth Detail
SCALE: 3/4"=1'-0"
REF: A 0.02



A8 A 0.02 Ramp Elevation
SCALE: 1/4"=1'-0"
REF: A 0.02



D8 A 0.02 Plinth Plan
SCALE: 1/16"=1'-0"
REF: A 0.02

- KEYNOTES**
- CONCRETE**
03300.A CONCRETE FOOTING
03300.E CONCRETE SLAB
03300.H REINFORCING BAR
- MASONRY**
04811.A CONCRETE MASONRY UNITS
04811.C GROUT FILL
04811.G WEAP HOLES
04811.J PRECAST CONCRETE SCUPPER
04852.A CAST STONE VENEER
- METALS**
05500.N GALVANIZED STEEL FASTENER
05520.A 1 1/2" DIA. STEEL PIPE
05520.E WIRE MESH INFILL PANEL
05520.F TUBE POST
05520.G WIRE MESH INFILL GATE
- THERMAL & MOISTURE PROTECTION**
07115.A DAMPROOFING
07820.C METAL FLASHING
- ELECTRICAL**
16500.A LIGHT FIXTURE
16500.B LIGHTED BOLLARD

rossetti

280 N. Old Woodward Ave.
Birmingham, AL 35203
205.441.0778 fax
205.441.0777 tel

Project
**North Oakland
Family YMCA**

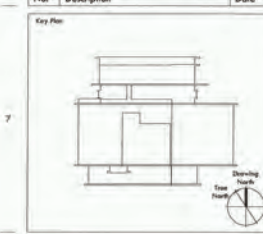
**City of Auburn Hills
APPROVED
SITE PLAN**

Sh-7
3-18-02
Steve Cohen, City Planner

Auburn Hills, Michigan

Consultant

6	For Bids and Permit	02/08/02
5	Site Plan Approval	01/23/02
4	Site Plan Approval	12/21/01
3	Design Development	10/31/01
2	Zoning Submittal	10/18/01
1	Schematic Design Submittal	09/10/01
No.	Description	Date



Sheet Title Plinth Plan and Details	
Date	Scale
Project Number 2001-010	CAD File YM-A002.dwg
Sheet Number A 0.02	

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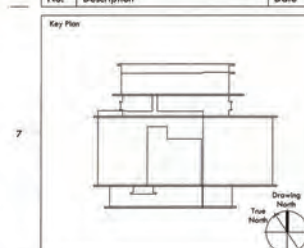
280 N. Old Woodward Ave.
Birmingham, AL 35202
205.644.0778 fax
205.644.0777 tel

North Oakland Family Y M C A

Auburn Hills, Michigan

City of Auburn Hills
**APPROVED
SITE PLAN**
Shw 7L
3-18-02
Steve Cohen, City Planner

No.	Description	Date
3	For Bids and Permit	02/08/02
2	Site Plan Approval	01/23/02
1	Site Plan Approval	12/21/01



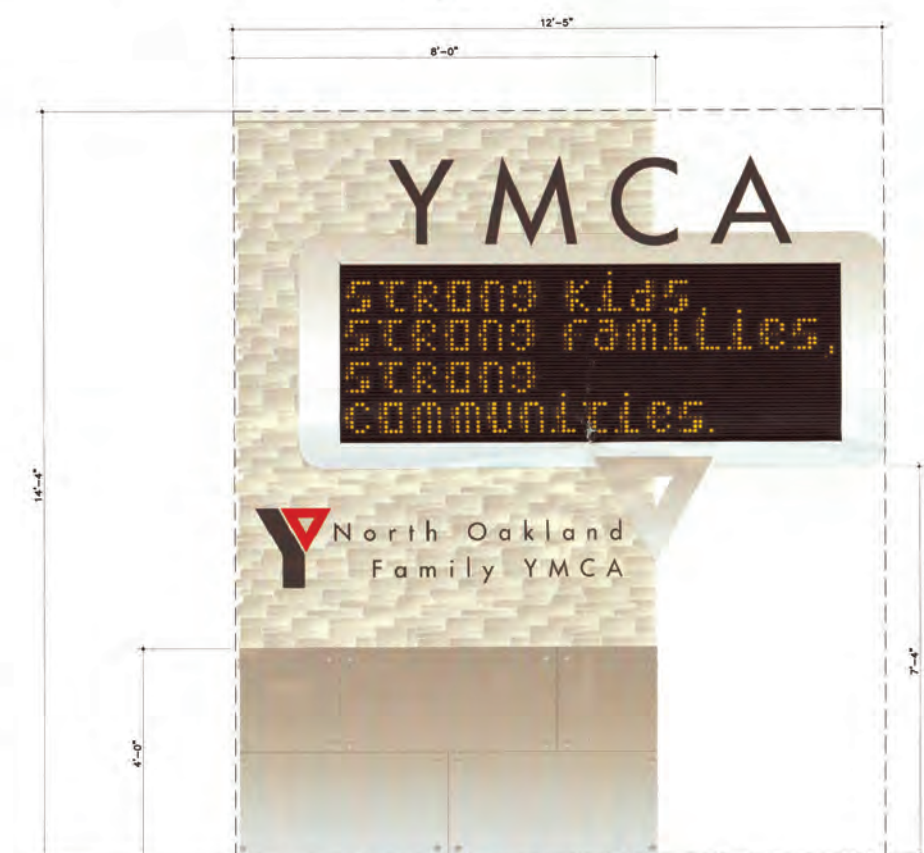
Signage Review	
Date 12/21/01	Scale As Noted
Project Number 2001-010	CAD File
Sheet Number	
A 0.03	

Signage Area Allowed

calculation via lot frontage	Walton	324 sf
	Five Points	372 sf
		696 total sf
calculation via Acreage	Acres:	904 sf
		904 total sf

Signage Area Provided

Building Sign	
Face Mounted	86 sf
Walton Boulevard	
Sign #1	100 sf
Five Points Drive	
Sign #2	178 sf
	178 sf
	542 sf



SIGN #2

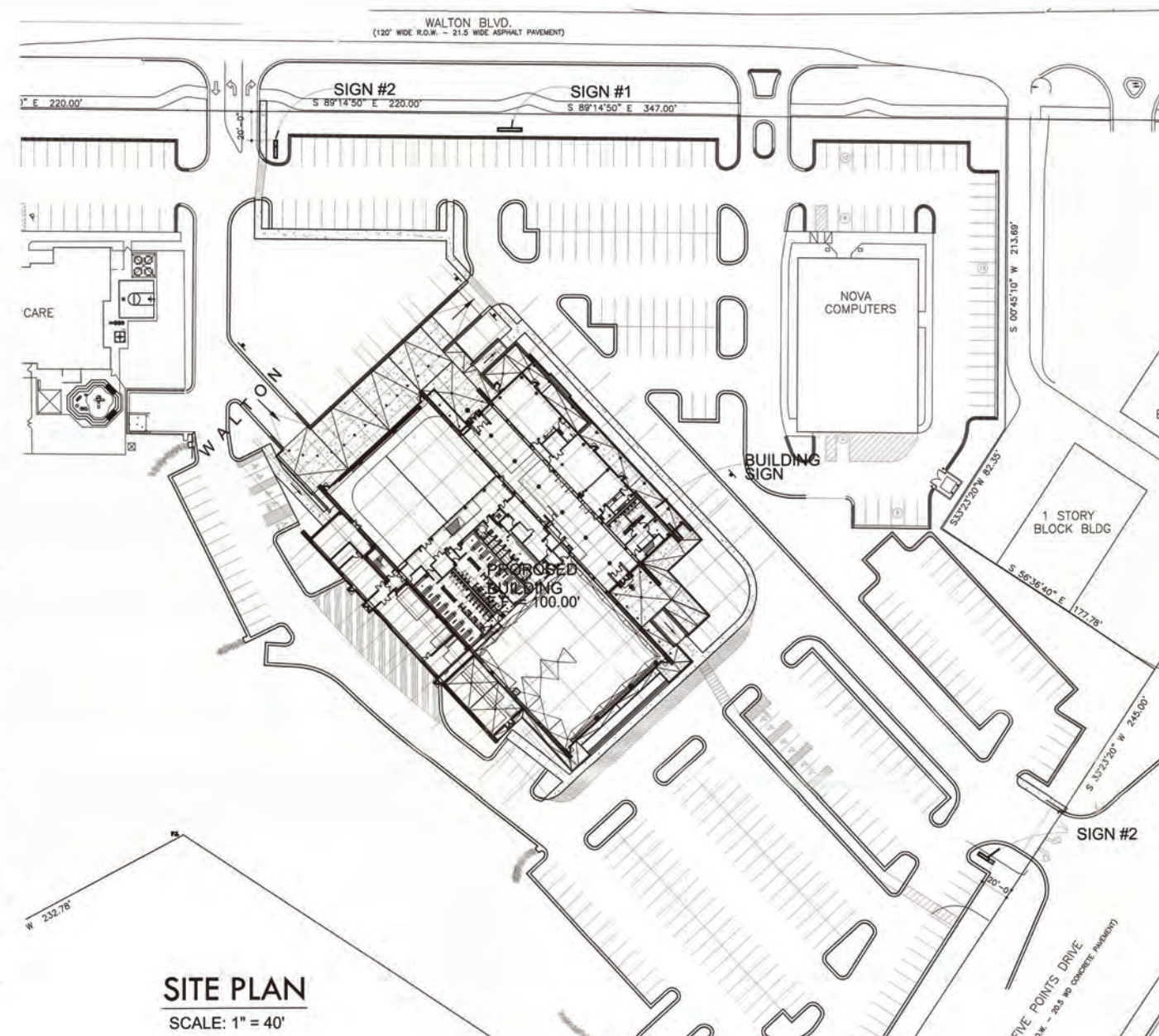
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EXTENT OF SIGN
AREA CALCULATED



SIGN #1

SCALE: 3/4" = 1'-0"



SITE PLAN

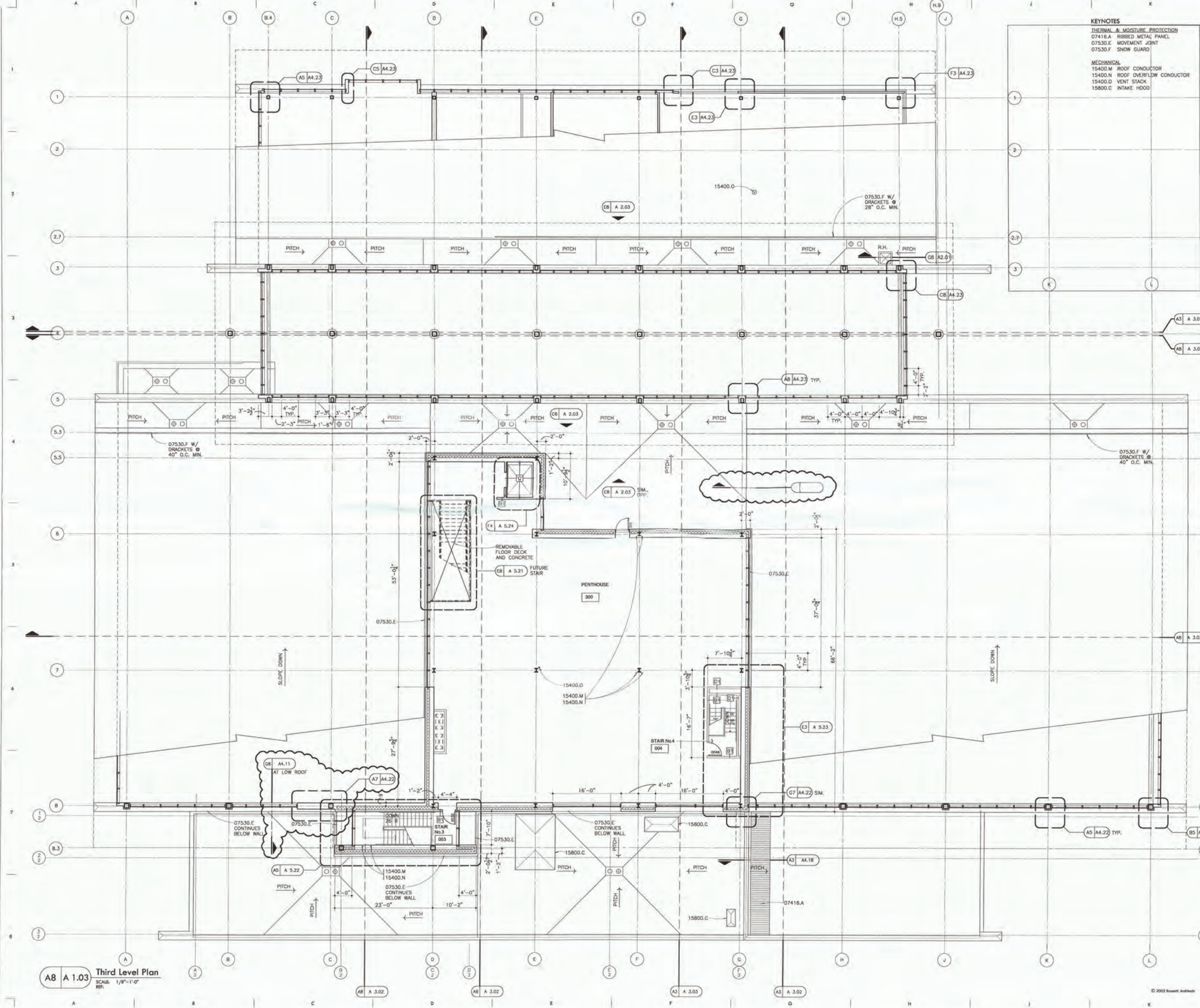
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BUILDING SIGN

SCALE: 1/4" = 1'-0"

EXTENT OF SIGN
AREA CALCULATED



KEYNOTES

THERMAL & MOISTURE PROTECTION
 07416.A RIBBED METAL PANEL
 07530.E MOVEMENT JOINT
 07530.F SNOW GUARD

MECHANICAL
 15400.M ROOF CONDUCTOR
 15400.N ROOF OVERFLOW CONDUCTOR
 15400.D VENT STACK
 15800.C INTAKE HOOD

rossetti

280 N. Old Woodward Ave.
 Birmingham, AL 35209
 205.444.0778 fax
 205.444.0777 tel

**North Oakland
 Family Y M C A**

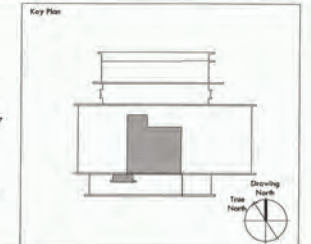
Auburn Hills, Michigan

Consultant

**City of Auburn Hills
 APPROVED
 SITE PLAN**

Sh 76
3-18-02
 Steve Cohen, City Planner

No.	Description	Date
6	For Bids and Permit	02/08/02
5	Site Plan Approval	01/23/02
4	Site Plan Approval	12/21/01
3	Design Development	10/31/01
2	Zoning Submittal	10/18/01
1	Schematic Design Submittal	09/10/01



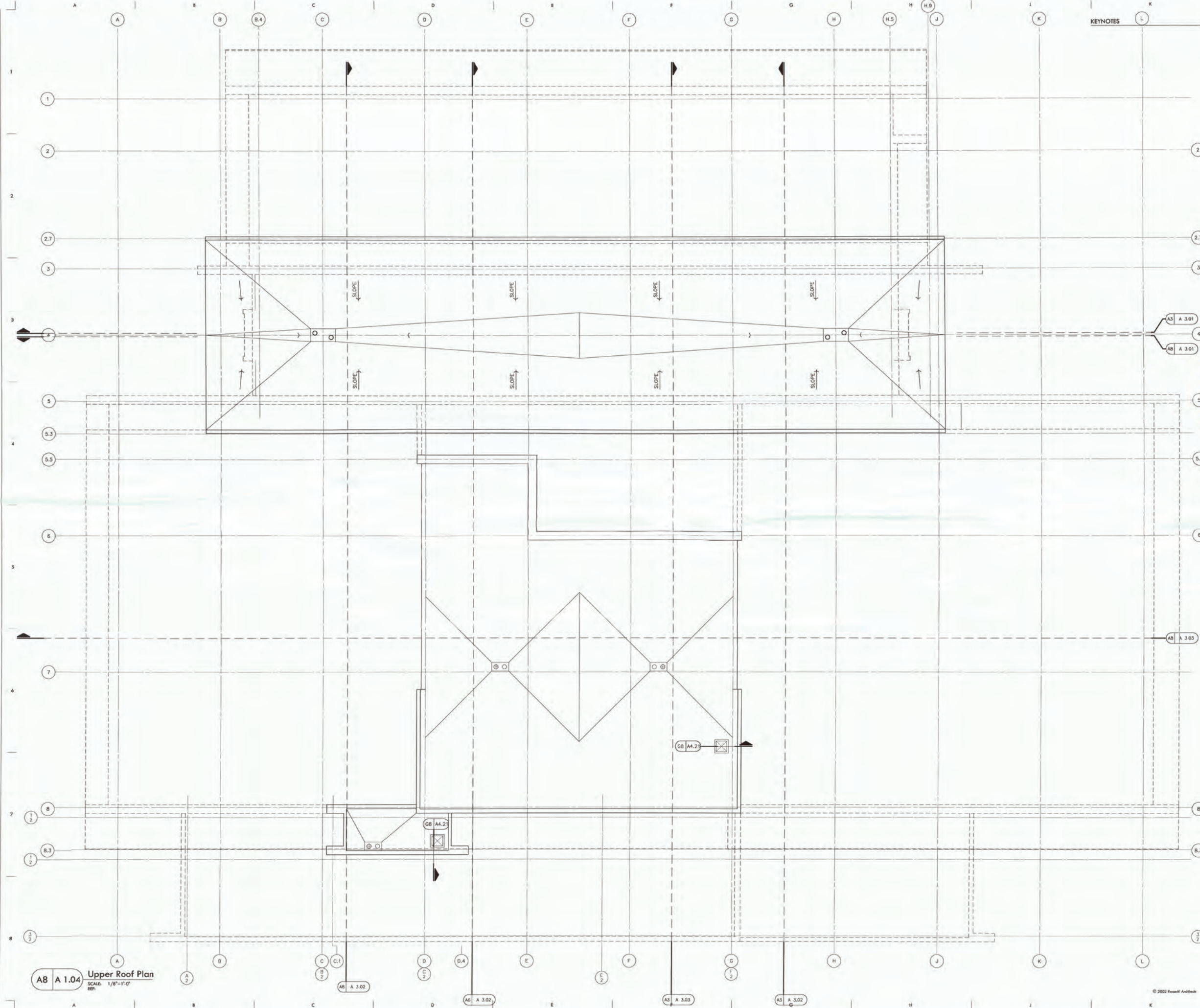
Sheet Title
Third Level Plan

Date: _____ Scale: _____

Project Number: **2001-010** CAD File: **YM-A103.dwg**

Sheet Number: **A 1.03**

A8 A 1.03 Third Level Plan
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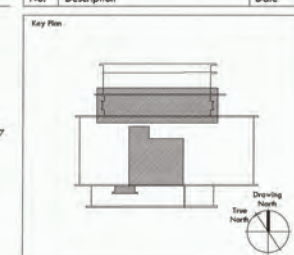


**North Oakland
Family Y M C A**

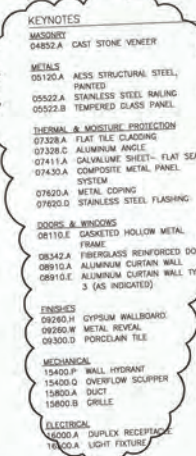
Auburn Hills, Michigan

**City of Auburn Hills
APPROVED
SITE PLAN**
Sh7C
3-18-02
Steve Cohen, City Planner

No.	Description	Date
6	For Bids and Permit	02/08/02
5	Site Plan Approval	01/23/02
4	Zoning Submittal	12/10/01
3	Design Development	10/31/01
2	Zoning Submittal	10/18/01
1	Schematic Design Submittal	09/10/01



Upper Roof Plan	
Date	Scale
Project Number 2001-010	CAD File YM-A104.dwg
Sheet Number A 1.04	



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North Oakland
Family Y M C A

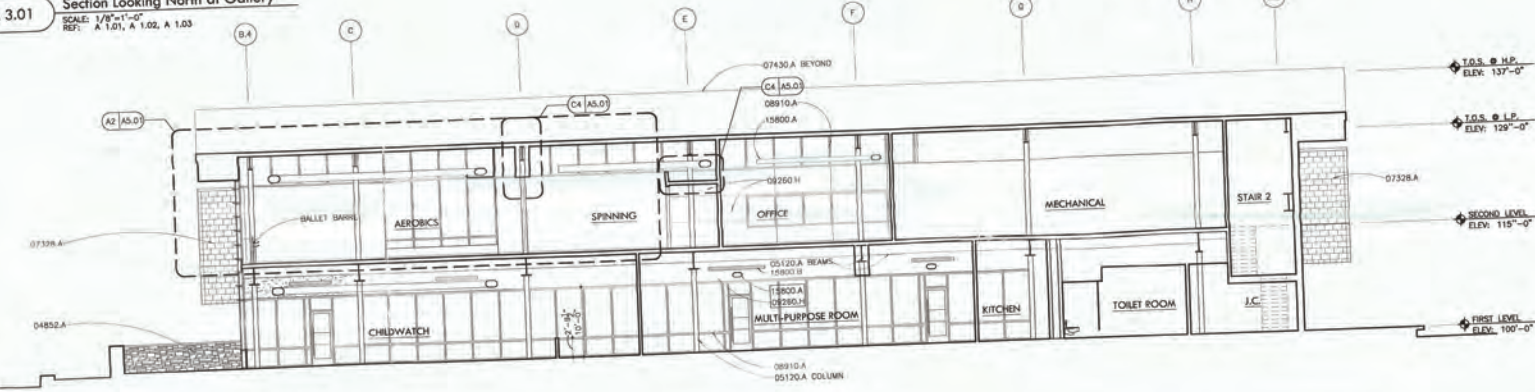
Auburn Hills, Michigan

City of Auburn Hills
**APPROVED
SITE PLAN**
Sh 7
3-18-02
Steve Cohen, City Planner

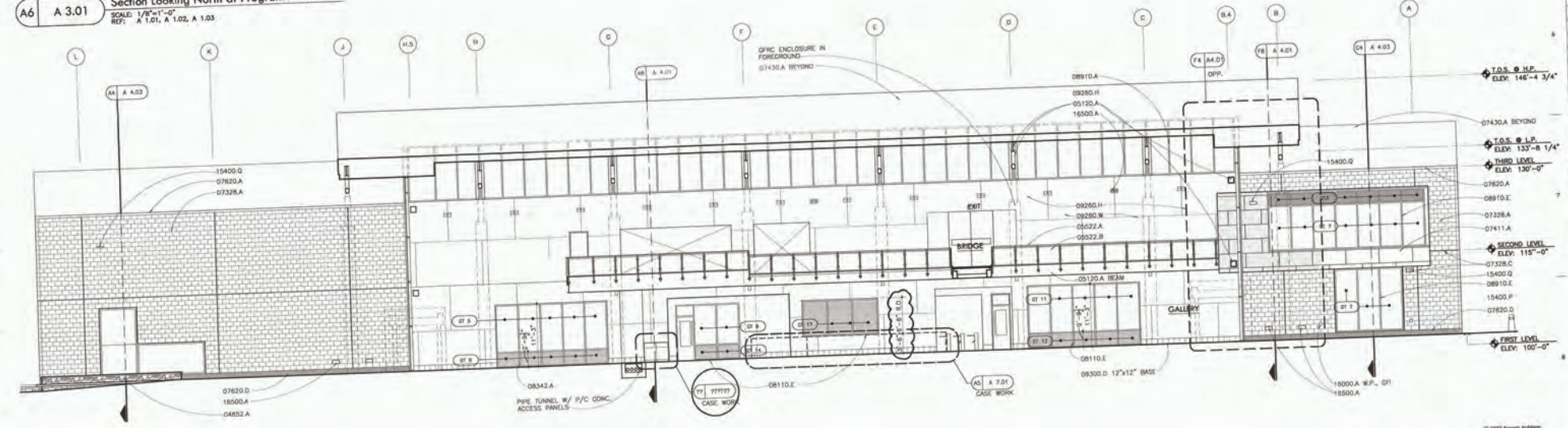
GLASS TYPES

- | | |
|-------|---|
| GP 01 | GLAZING UNIT, TRANSPARENT |
| GP 02 | GLASS TYPE 2 - 1/4" INSULATED GLAZING UNIT, TRANSPARENT |
| GP 03 | GLASS TYPE 3 - 1/4" INSULATED GLAZING UNIT, SPANDREL PANEL |
| GP 04 | WIRID |
| GP 05 | GLASS TYPE 5 - 1/4" INSULATED GLAZING UNIT, CLEAR |
| GP 06 | GLASS TYPE 6 - 1/4" INSULATED GLAZING UNIT, WARMGINT, TEMPERED |
| GP 07 | GLASS TYPE 7 - 1/4" INSULATED GLAZING UNIT, GREEN, TEMPERED |
| GP 08 | GLASS TYPE 8 - 1/4" INSULATED GLAZING UNIT, GREEN, TRANSPARENT, HEAT STRENGTHENED |
| GP 09 | GLASS TYPE 9 - 1/4" GLAZING UNIT, CLEAR, TEMPERED |
| GP 10 | GLASS TYPE 10 - 1/4" GLAZING UNIT, CLEAR, TEMPERED |
| GP 11 | GLASS TYPE 11 - 1/4" GLAZING UNIT, CLEAR, LAMINATED |
| GP 12 | GLASS TYPE 12 - 1/4" INSULATED GLAZING UNIT, CLEAR, TEMPERED |
| GP 13 | GLASS TYPE 13 - 5/16" GLAZING UNIT, TRANSPARENT, TEMPERED |
| GP 14 | GLASS TYPE 14 - 1/4" GLAZING UNIT, TRANSPARENT, TEMPERED |
| GP 15 | GLASS TYPE 15 - 1/8" GLAZING UNIT, WIRID, TEMPERED |
| GP 16 | GLASS TYPE 16 - 1/4" INSULATED GLAZING UNIT, SPANDREL PANEL, TEMPERED |
| GP 17 | 1/4" GLAZING UNIT, TRANSLUCENT, HEAT STRENGTHENED |

A3 A 3.01 Section Looking North at Gallery
SCALE: 1/8"=1'-0"
REF: A 1.01, A 1.02, A 1.03

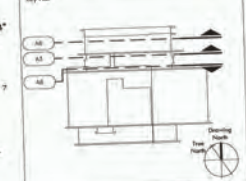


A6 **A 3.01** **Section Looking North at Program Areas**
SCALE: 1/8"=1'-0"
REF: A 1.01, A 1.02, A 1.03



A8 A 3.01 Section Looking South at Gallery
SCALE: 1/8"=1'-0"
REF: A 1.01, A 1.02, A 1.03, A2.03

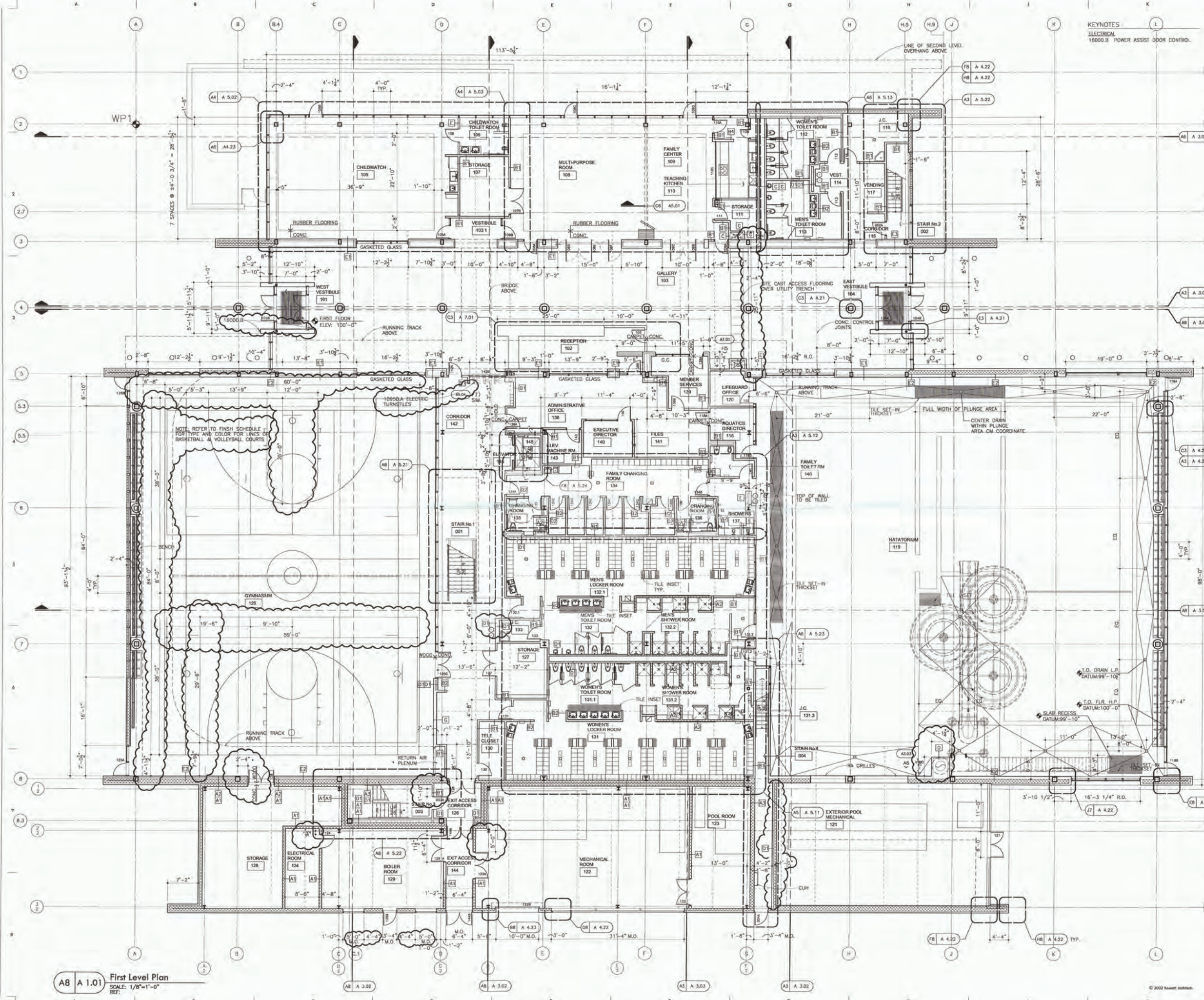
7	Addendum 1	02/15/01
8	For Bids and Permit	02/08/02
9	Site Plan Approval	01/23/02
4	Site Plan Approval	12/21/01
3	Design Development	10/31/01
2	Zoning Submittal	10/18/01
1	Schematic Design Submittal	09/10/01
No.	Description	Date



Building Sections

Date	Scale
Project Number 2001-010	CAD File YM-A301.dwg
Drawn By	

A 3.01



KEYNOTES
ELECTRICAL
16000.B POWER ASSIST DOOR CONTROL

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**North Oakland
Family Y M C A**

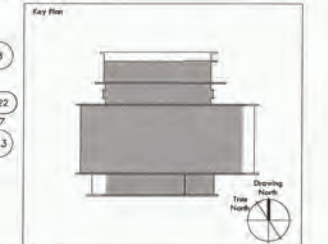
Auburn Hills, Michigan

**City of Auburn Hills
APPROVED
SITE PLAN**

3-18-02

Steve Cohen, City Planner

No.	Description	Date
5	For Bids and Permit	02/08/02
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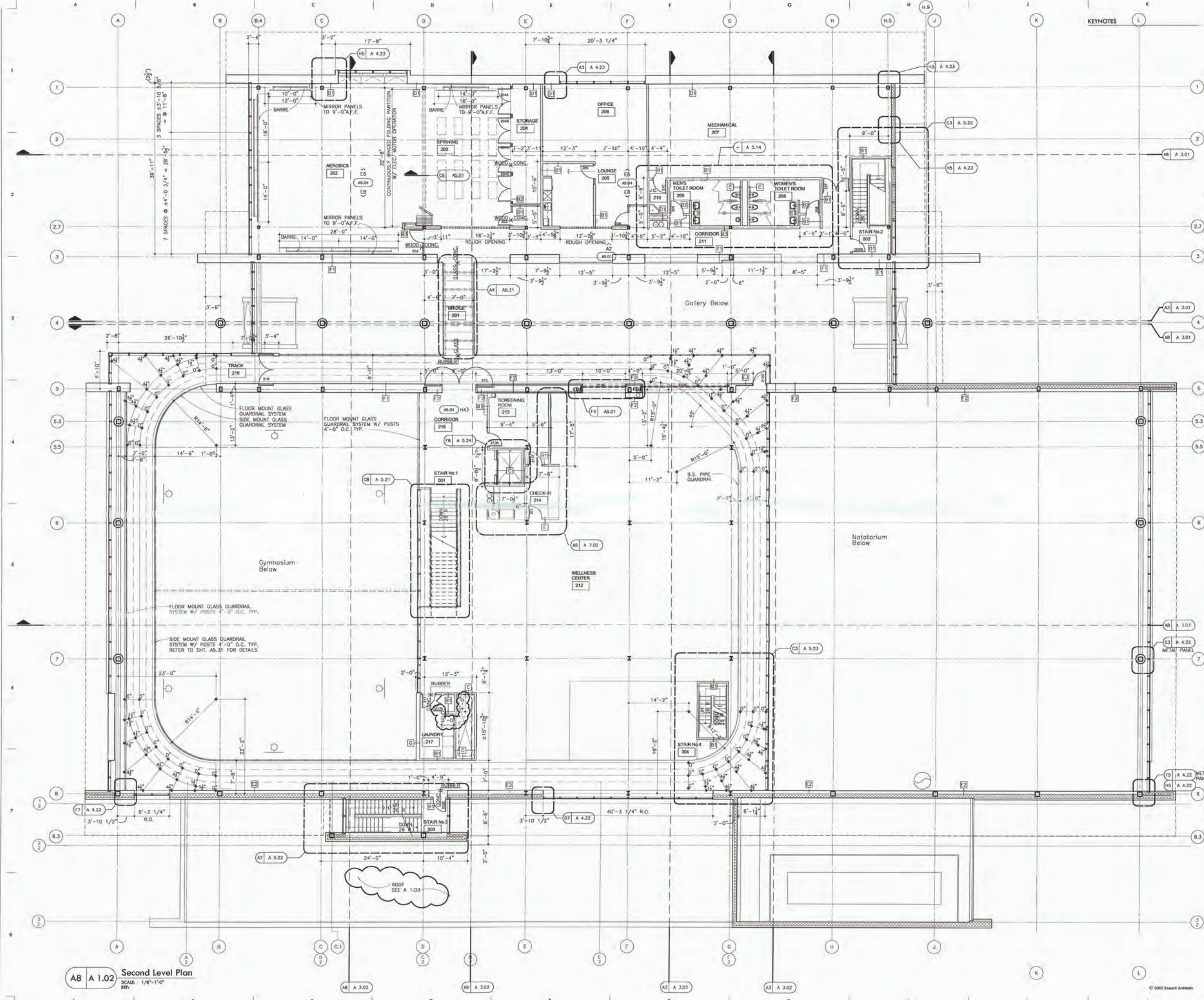


First Level Plan

Scale: 1/8"=1'-0"

A 1.01

Project Number: 2001-010
CAD File: YM-A101.dwg
Sheet Number: 1 of 1



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Project

**North Oakland
Family Y M C A**

Auburn Hills, Michigan

Consultant

**City of Auburn Hills
APPROVED
SITE PLAN**

Slm76
3-18-02
Steve Cohen, City Planner

No.	Description	Date
6	For Bids and Permit	02/08/02
5	Site Plan Approval	01/23/02
4	Site Plan Approval	12/21/01
3	Design Development	10/31/01
2	Zoning Submittal	10/18/01
1	Schematic Design Submittal	09/10/01

Key Plan

Sheet Title

Second Level Plan

Date

Project Number
2001-010

Sheet Number

Scale

CAD File
YM-A102.dwg

A 1.02

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Any modifications to the facade plan (including color) must be resubmitted to the City of Auburn Hills for revised approval. The use of neon, flags or any type of unapproved signage shall be prohibited per site plan review.

GLASS TYPES

- GT 1 GLASS TYPE 1 - 1" INSULATED GLAZING UNIT, TRANSLUCENT
- GT 2 GLASS TYPE 2 - 1" INSULATED GLAZING UNIT, TRANSPARENT GREEN
- GT 3 GLASS TYPE 3 - 1" INSULATED GLAZING UNIT, SPANDREL PANEL, NOT USED
- GT 4 GLASS TYPE 4 - 1" INSULATED GLAZING UNIT, CLEAR
- GT 5 GLASS TYPE 5 - 1" INSULATED GLAZING UNIT, TRANSLUCENT, TEMPERED
- GT 6 GLASS TYPE 6 - 1" INSULATED GLAZING UNIT, TRANSPARENT, TEMPERED
- GT 7 GLASS TYPE 7 - 1" INSULATED GLAZING UNIT, GREEN, TEMPERED
- GT 8 GLASS TYPE 8 - 1/4" GLAZING UNIT, GREEN TRANSPARENT, HEAT STRENGTHENED
- GT 9 GLASS TYPE 9 - 1/4" GLAZING UNIT, CLEAR, HEAT STRENGTHENED
- GT 10 GLASS TYPE 10 - 1/4" GLAZING UNIT, CLEAR, TEMPERED
- GT 11 GLASS TYPE 11 - 5/8" GLAZING UNIT, CLEAR, LAMINATED
- GT 12 GLASS TYPE 12 - 1" INSULATED GLAZING UNIT, CLEAR, TEMPERED
- GT 13 GLASS TYPE 13 - 5/8" GLAZING UNIT, TRANSLUCENT, LAMINATED
- GT 14 GLASS TYPE 14 - 1/4" GLAZING UNIT, TRANSLUCENT, TEMPERED
- GT 15 GLASS TYPE 15 - 1/4" GLAZING UNIT, WIRLED, TEMPERED
- GT 16 GLASS TYPE 16 - 1" INSULATED GLAZING UNIT, SPANDREL PANEL, TEMPERED
- GT 17 1/4" GLAZING UNIT TRANSLUCENT, HEAT STRENGTHENED

KEYNOTES

- CONCRETE 03300.E CONCRETE SLAB
- MASONRY 04812.A GLASS MASONRY UNITS 04852.A CAST STONE VENEER
- METALS 05120.A AESS STRUCTURAL STEEL, PAINTED
- THERMAL & MOISTURE PROTECTION 07328.A FLAT TILE GLAZING 07328.C ALUMINUM ANGLE 07411.A GALVALUME SHEET- FLAT SEAM 07415.A METAL SIDING 07416.A RIBBED METAL PANEL 07416.B LOUVER 07430.A COMPOSITE METAL PANEL SYSTEM 07620.A METAL CORING 07620.D STAINLESS STEEL FLASHING
- DOORS & WINDOWS 08110.A HOLLOW METAL DOOR 08360.A OVERHEAD COILING DOOR 08910.D ALUMINUM CURTAIN WALL TYPE 2 (VERTICALS EMPHASIZED) 08910.E ALUMINUM CURTAIN WALL TYPE 3 (AS INDICATED)
- MECHANICAL 15800.C INTAKE HOOD

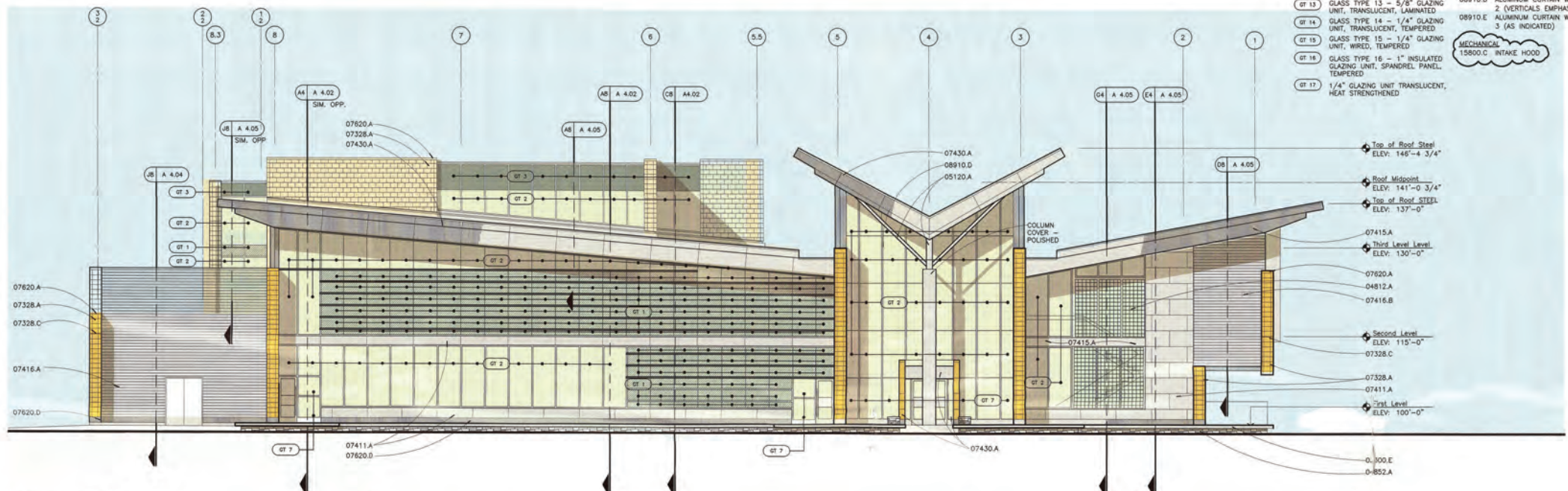
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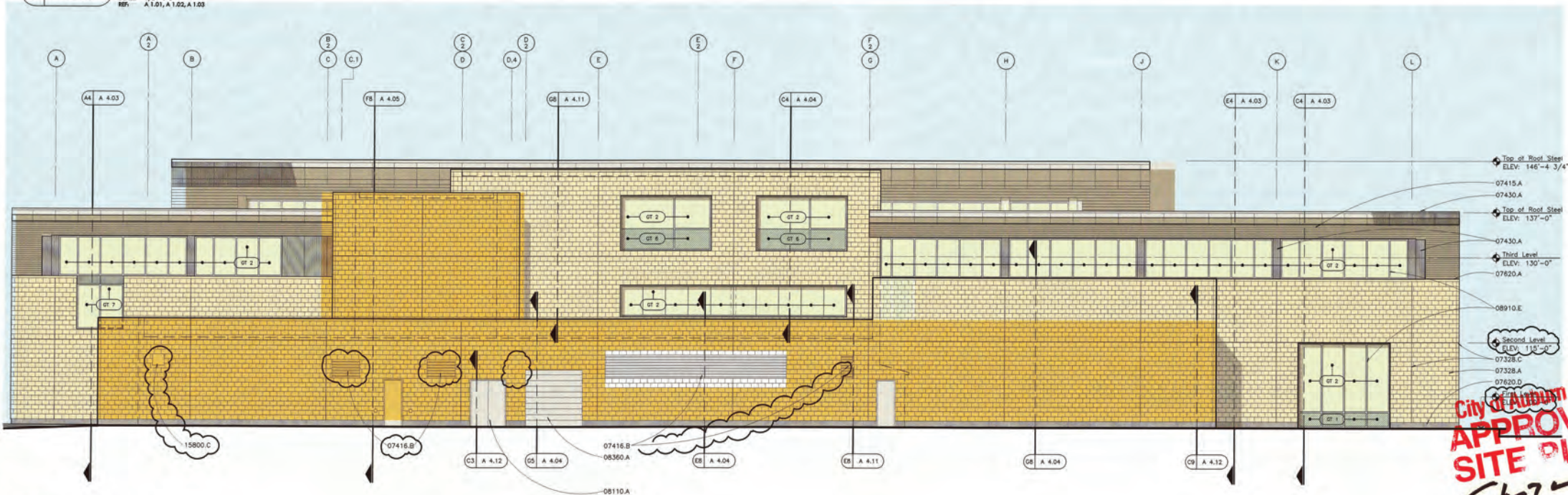
North Oakland
Family YMCA

Auburn Hills, Michigan

Consultant

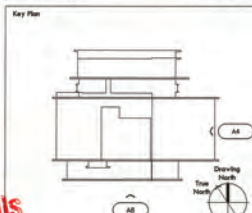


A4 A 2.02 East Elevation
SCALE: 1/8"=1'-0"
REF: A 1.01, A 1.02, A 1.03



A8 A 2.02 South Elevation
SCALE: 1/8"=1'-0"
REF: A 1.01, A 1.02, A 1.03

6	For Bids and Permit	02/08/02
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1	Schematic Design Submittal	09/10/01
No.	Description	Date



City of Auburn Hills
APPROVED
SITE PLAN
Sh-7
3-18-02
Steve Cohen, City Planner
A 2.02

**Excerpt
CITY OF AUBURN HILLS
REGULAR CITY COUNCIL MEETING**

August 5, 1996

CALL TO ORDER: Mayor McDonald called the Regular Council Meeting to order at 6:000 p.m. with the Pledge of Allegiance

ROLL CALL:

Present.	Mayor McDonald, Council Members Chilkott, Cooper, Knight, McMillin, Sendegas
Absent.	Mayor Pro Tem Douglas
Also Present.	City Manager McGee, Assistant City Manager Greve, Clerk Venos, Labor Attorney Fishman, Attorney Hampton
	1 Guest

LOCATION: Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

8e. SP96-29, Auburn Entertainment Restaurant Park

Mr. Lehoczky presented the site plan for a proposed restaurant/retail center totaling approximately 46,310 square feet on the southeast corner of Walton Boulevard and Joswick Road (Sidwell 14-13-126-001, 002, 006, 012). He referenced as follows the Planning Commission's recommendation for 'conditional approval of SP96-29, Auburn Entertainment Restaurant Park, including discretionary findings of fact in Mr. Lehoczky's letter of July 2, 1996, and including discretionary findings of fact from all applicable City agencies, with the conditions that all requirements and standards of the ordinance are met in that parking space lengths are required to be 20 feet in depth adjacent to the 15-foot greenbelt, that restaurant "F" as depicted on the site plan is not included in this recommendation, that any billiard operation or entertainment operation would have to come before the Planning Commission/City Council for Special Land Use, that a fence on the east side of the berm along Joswick will be added if there are any problems, and that construction traffic cannot use Joswick.' Mr. Lehoczky noted that Building F (a drive-thru restaurant) is excluded from the subject site plan for future determination as to compliance with recently-adopted ordinance requirements. In response to a question from Mr. Knight, Mr. Lehoczky explained that the area of Building F would remain in its natural state until a specific site plan is presented. Mr. Knight suggested that the boundary line be clearly designated on the master site plan if it is to be approved without Building F. He recommended that the acceleration/deceleration lane be extended all the way on the Walton Boulevard frontage. Mr. Laurie Lodico explained that, while the acceleration/deceleration lane was designed in cooperation with City consultants, he would not be opposed to extending it as suggested. Regarding Building F, Mr. Lodico noted the importance of developing the driveway for that area as shown on the site plan. Mrs. Cooper questioned identification of restaurants and retail shops. Mr. Lodico advised that, while other tenants have not been finalized at this time, the anchor will be Roosevelt's. Mrs. Cooper asked if parking will be adequate to preclude overflow parking on residential streets. Mr. Lehoczky stated that more than adequate parking is being provided, in excess of ordinance requirements. Mr. McMillin referenced hours of operation, noting that retail stores will not be open during late hours of restaurant use. In response to a question from Mr. McMillin, Mr. Lehoczky explained recent rezoning of the corner parcel from multiple to B-1 (instead of B-2 as requested) to serve as a buffer for Joswick residences. In response to a question from Mr. Knight, Mr. Lehoczky noted the petitioner's affirmation that the existing wetland area will not be disturbed.

Mr. McDonald called for comments from the audience. Ms. Patti Hassett of 2471 Joswick asked if the Planning Commission recommendation includes replacing proposed Redman Linden trees with another species since they are very attractive to bees. Mr. Hampton suggested that all conditions be clearly defined in the motion for approval. Ms. Hassett questioned how many complaints will be necessary before the petitioner is required to provide a fence. Mr. McDonald noted that the fence is included in the Planning Commission motion. Ms. Hassett referenced major concerns regarding traffic on Walton and the petitioner's suggestion that main access will be from Five Points Drive. She suggested that the main sign be placed on Five Points Drive to encourage use of that access. Mr. Lehoczky noted that signs are not

indicated on the site plan since they are addressed by the Building Department in accordance with ordinance requirements. He suggested that the City cannot dictate location of signs as long as they are in compliance with the ordinance. In response to a question from Mr. McDonald, **Mr. Cary Gittre** advised that he would prefer signage at main entrances, both on Walton and Five Points Drive. He affirmed that signs will be of high quality and in compliance with ordinance requirements. Mr. McMillin referenced Council's discretion with regard to health, safety and welfare. Mr. Hampton noted that, since the sign ordinance is designed to protect health, safety and welfare, most issues should be sufficiently addressed if the proposed sign is in compliance with ordinance requirements. Mr. McDonald agreed to Ms. Hassett's request that residents be notified of liquor license considerations for the subject site.

Ms. Sendegas suggested that fencing be determined with site plan approval and not deferred until problems arise. Mr. Lehoczky cited pros and cons of screening discussed by the Planning Commission and their conclusion that, since fences collect debris, a berm and landscaping might be a better solution. Mrs. Sendegas referenced the requirement for pathways. Mr. Lehoczky affirmed that a pathway is shown along the major thoroughfare as required. Mr. Chilkott requested an explanation of the monument sign (proposed for Walton Blvd.) and the pylon sign (proposed for Five Points Drive). Mr. Lehoczky explained that the monument sign would be ground-mounted and the pylon pole-mounted. Mr. Chilkott suggested that the pylon sign on Five Points Drive be highly visible as requested by Ms. Hassett. In response to a question from Mr. McMillin, Mr. Lehoczky advised that sign height is limited to 30 feet.

Mr. Patrick Hassett of 2471 Joswick expressed concern regarding billiards and bar service across from residential uses. He concurred with Mrs. Sendegas that the wall or fence should be installed at the outset. Mr. Hassett also noted concern with lighting (how bright and will the area be lighted all night) and parking spaces adjacent to Joswick (how close to the road). He expressed concern regarding security with regard to late night serving of liquor. Mr. Lehoczky noted ordinance requirements for lighting - regarding shielding and height limitations. Mrs. Cooper cited an existing wall behind the credit union and shopping center backing to Joswick. Mr. Lehoczky explained that a buffer was required in that area and the wall, as indicated by the developer, was approved by Council.

Mr. Glen Nelson of 2459 Joswick suggested that it would be more desirable to have two entrances on Five Points Drive since two curbcuts on Walton (as indicated on the site plan) will add to the existing traffic problem. He noted that the referenced debris will be collected by adjacent residents if there is no fence. Mr. Nelson concurred with Mrs. Sendegas that the fence should be installed with the development. Mr. Lehoczky explained that the Planning Commission discussed a U-shaped fence to wrap around the parking area and that the ordinance would require at least 5 feet in height. **Mr. Charles Fossi** (architect) stated that the compromise reached at the Planning Commission with regard to the fence serves the interest of all parties if there is a problem. He suggested that, because of the nature and quality of the business, clientele should not present the problems noted by residents. Mr. Fossi stated that, while a fence will not enhance the site, the petitioner has agreed to install one if necessary.

In response to a question from Ms. Hassett, Mr. Lodico affirmed that vegetation in the wetland area will not be disturbed. While it will be necessary to remove some vegetation from the wetland north to Walton in order to install the berm, triple rows of trees and dense shrubbery on top of the berm will be added. Mr. Lehoczky affirmed the Planning Commission's decision that a fence, if necessary, would be placed on the east side of the berm.

Mr. Knight moved to accept the Planning Commission and the Environmental Review Board's recommendation and approve SP96-29 and the tree removal permit for Auburn Entertainment Restaurant Park - proposed restaurant/retail center totaling approximately 46,310 square feet on the southeast corner of Walton Blvd. and Joswick Road, Sidwell 14-13-126-006, 012, 001, 002 - including the discretionary findings of fact from Mr. Steve Lehoczky, subject to any conditions as recommended by all appropriate agencies with the following additional requirements:

1. There will be no Redman Linden trees used in the planting.
2. The eastbound acceleration/deceleration lane will be continuous between the two entrances from Walton.

3. Addition of a fence/wall around Lot 7, if sufficient problems result from the site plan, may be required in the future by City Council action.

Supported by Mr. McMillin.

VOTE: Yes: Chilkott, Cooper, Knight, McDonald, McMillin, Sendegas
No: None

Motion carried (6-0)

F.Y.I.

Minutes from original proposal
for YmCA site.

"Excerpt"
CITY OF AUBURN HILLS
PLANNING COMMISSION MEETING

July 18, 1996

CALL TO ORDER: Chairperson Shirley called the meeting to order at 7:30 p.m.

ROLL CALL:

Present.	Beckett, Blomquist, Cochran, Hurt-Mendyka, McMillin, Niedjelski, Shirley
Absent.	Miller
Also Present.	Planning Consultant Lehoczyk TIFA Board Member Bennett 20 Guests

LOCATION: Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

SP96-29, Auburn Entertainment Restaurant Park

Mr. Lehoczyk presented the site plan for a proposed restaurant/retail center totaling approximately 46,310 square feet on the southeast corner of Walton Boulevard and Joswick Road (Sidwell 14-13-126-006, 012, 001, 002). He referenced as follows the July 2, 1996 recommendation from Lehoczyk & Associates:

We are recommending Conditional Approval of the above site plan and offer the following discretionary findings of fact for conditional approval:

1. *The site plan contains sufficient basic information required by Zoning Ordinance No. 372 for a recommendation.*
2. *The requirements of Section 1815, Items 7A-7E of Zoning Ordinance No. 372 can be met as follows:*
 - a. *All requirements and standards of the Zoning Ordinance, and other City Ordinances, can be met (see Additional Comments).*
 - b. *Safe, convenient vehicular and pedestrian ingress/egress has been depicted.*
 - c. *Traffic circulation features within the site, and the location of parking areas, avoid common traffic problems and can promote safety.*
 - d. *A satisfactory and harmonious relationship will exist between the proposed development and surrounding area. Adjacent areas to the east, north and south are existing or proposed nonresidential development. Screening has been provided for the residential area (R-2) to the west.*
 - e. *The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel or the adjacent area.*
3. *Based upon usable floor area 465 parking spaces are required and 614 are proposed.*
4. *The parking layout meets minimum requirements and parking spaces are provided for the handicapped (based upon Michigan Code requirements 14 handicapped spaces are required and 14 will be provided).*
5. *Landscaping represents in excess of 20% of the site.*
6. *Landscape islands have been provided.*
7. *Parking spaces will be double striped.*
8. *Greenbelts have been provided paralleling Joswick, Five Points Drive and Walton Boulevard.*
9. *Lighting requirements will be met.*
10. *A note indicates that signs shall meet Ordinance requirements.*

ADDITIONAL COMMENTS FOR CONDITIONAL APPROVAL

1. *Parking space lengths are required to be 20 feet in depth adjacent to 15-foot greenbelts.*
2. *This recommendation does not include consideration for Restaurant "F". It appears that this is a drive-through restaurant. As such IT DOES NOT meet the requirements of Zoning Ordinance No. 372 (site size, separation of queuing lanes, loading/unloading area, etc.).*

Mr. Lehoczky suggested particular attention to the elevations and landscape plan to address concerns of Joswick residents regarding potential impact on wetlands and the residential neighborhood.

Ms. Hurt-Mendyka referenced as follows the July 3, 1996 recommendation from Orchard Hiltz & McCliment:

2. *Details of the storm sewer and detention areas must comply with City of Auburn Hills regulations. If the wetland area is to be used for storage, approval must be obtained from the MDEQ and an easement obtained from the adjacent property owner if applicable.*

Mr. Lehoczky advised that MDEQ approval will be required if the wetland is to be impacted by sedimentation ponds, detention areas and soil erosion.

Mr. Shirley called for comments from the petitioner. **Mr. Laurie Lodico** (engineer from Giffels Webster) explained proposed detention and sedimentation ponds to contain a volume of storage for a 10-year storm, noting that flow will follow the existing drainage pattern with decrease in the current discharge rate because of storage in the pond and piping. He affirmed that there will be no detrimental impact on the wetland even at the 100-year storm level and that application to the MDEQ will be made because stormwater on the site, in its improved state, will be discharging water into the wetland. Mr. Lodico explained that Orchard Hiltz is recommending a control structure at the outlet on Joswick. In response to a question from Mr. Shirley, Mr. Lodico stated that the wetlands will not be disturbed and all work, including the sedimentation basin, will be outside the wetland area. Ms. Hurt-Mendyka ascertained that the MDEQ permit will be required prior to any landbalancing.

Mr. McMillin asked if there will be a "no left turn" restriction for traffic westbound on Walton (as at the McDonald's site). Mr. Lehoczky referenced a recommendation from the Police Department that their concerns have been addressed. He noted the parking configuration to eliminate straight-through traffic and suggested that a turn restriction might increase the traffic problem on Walton. Ms. Hurt-Mendyka commented that her training at various seminars indicates that ingress/egress on a busy thoroughfare should be limited for purposes of safety. She questioned the distance between Joswick and the two Walton curbcuts. **Mr. Charles Fossi** (architect) estimated 280 feet from the west drive, 360 feet between the two drives and 170 feet from the east drive to the McDonald's curbcut. Ms. Hurt-Mendyka requested that the petitioner consider a single boulevard-type ingress/egress on Walton. **Mr. Cary Gittre** (property owner) stated that he has spent a great deal of time with Mr. Lehoczky, Mr. Thacker and the City Engineers, who have all reviewed site plan configurations regarding access to Walton and Five Points Drive. He noted that one of the two curbcuts on Five Points Drive was eliminated as recommended by the Police Chief. Mr. Gittre stated that he would be willing to consider all recommendations of City consultants, noting that the northwest parcel is under option to purchase; and, if it is not included, there would probably be another ingress/egress on that parcel to serve whatever use is developed there. Mr. Lodico suggested that a single route for users and deliveries would create back-ups both on-site and on Walton. He felt that the number of parking spaces and amount of Walton frontage warrants two curbcuts as proposed. Mr. Lehoczky explained that approval of B-1 zoning for the referenced parcel included a condition that there would be no access from Joswick. He concurred that, if the parcel is separated from the subject site plan, there would be another curbcut on Walton. Ms. Hurt-Mendyka expressed concern regarding traffic problems on Walton. Mr. Lodico advised that the site plan includes lane widening and acceleration/deceleration lanes on Walton. A resident in the audience noted that Walton narrows from two lanes to one lane directly in front of the subject site.

Mr. McMillin questioned the landscape plan. Mr. Lehoczky noted a berm and heavily-wooded area at the northwest corner adjacent to Joswick. In response to a question from Mr. Shirley, Mr. Fossi explained the proposal for a restaurant/entertainment cluster with retail being entertainment-oriented to complement the restaurants. He presented an artist's rendering of the facade which will include a turn-of-the-century, small-town architectural theme. Mr. Fossi noted that the landscape plan includes: elevated boulder wall planters with large areas of landscaping, islands throughout parking lots, landscaped signage at the entrances, a buffer of landscaping around the back of the building, a double row of pines on the eastern side of the wetlands along Joswick all the way to Walton to buffer the residential area. He noted that the

northwest parcel (zoned B-1) will be restricted to employee parking. Mr. Shirley questioned if that parking is essential to the site. Mr. Fossi explained that the increased quantity of parking will be needed to serve restaurant uses. He requested a recommendation for approval with the understanding that a site plan for the drive-through restaurant referenced by Mr. Lehoczky will be presented when a specific tenant is determined. Mr. Fossi affirmed his belief that the drive-through site can be designed to meet ordinance requirements without variances. Mr. Lehoczky noted that site size requirements for drive-through restaurants have been revised. Mr. Fossi suggested that the drive-through would be considered as part of the entire site - not as a separate parcel. Mr. Lehoczky referenced the ordinance requirement that each site must stand on its own for condominium-type development. In response to a question from Mr. Niedjelski, Mr. Lehoczky explained that frontage plantings will be approximately 75 feet from the centerline of Walton (60-foot right-of-way plus 15-foot greenbelt).

Mr. Blomquist questioned the type of entertainment proposed for this site. Mr. Lehoczky explained that some of the entertainments will require Special Land Use approval. Mr. Gittre noted a similar development in Farmington Hills (Roosevelts) with uses which include billiards, indoor golf, modern-day banquet facilities, etc. Four restaurants are proposed with possibly three retail tenants, along with service-type facilities such as a travel agency. In response to a question from Mr. Beckett, Mr. Gittre explained that negotiations are in process with upscale restaurants, although no agreements have been signed as yet.

Mr. Shirley called for comments from the audience. **Mr. Steven Clark** of 2429 Joswick expressed concern regarding safety of children since the development will create additional traffic on Joswick where there are no sidewalks. He requested that the petitioner install a sidewalk on the west side of the entire length of Joswick. Mr. Lodico explained that all trees will remain in the wetland area as they are now, with additional evergreens to be installed on the eastern boundary of the wetland. He suggested that patrons would enter and exit the site from the Five Points ingress/egress to access I-75. Mr. Shirley agreed that users would probably not exit, turning left onto Walton and left on Joswick. Mr. Lodico advised that, with the development, a lane will be added to Walton from Joswick to the westernmost entrance. He noted the petitioner's efforts to design the site with potential to relieve a flooding situation on Joswick.

Mr. Richard Wagner (resident at the corner of Walton and Joswick) expressed concern that the entertainment not encourage a video game/beer drinking atmosphere. In response to a question from Mr. McMillin, Mr. Lehoczky affirmed that games, billiards, etc. would require Special Land Use which can be denied on the basis of health, safety and welfare concerns. He noted that Special Land Use can also be conditioned with time limits, etc.

Ms. Valery Latender of 2136 Snellbrook noted the proliferation of area strip malls which have ongoing vacancies. Mr. Shirley advised that the City can neither encourage nor discourage types of development. Mr. McMillin explained that the property is zoned B-1 for business use.

Mr. Kevin Dewey opposed the development (because of traffic congestion) until Walton is widened. He expressed concern with gas, salt, oil run-off which will eventually destroy the wetland. Mr. Lodico noted that: the wetland is isolated from the parking area; the MDEQ has established criteria for removing sediment from run-off before it enters the wetland; provisions for wetland protection on this site exceed MDEQ requirements; sedimentation basins will be cleaned on a yearly basis.

Mr. Dewey questioned hours of operation, liquor licenses, etc. Mr. Shirley advised that these items would be approved by City Council under Special Land Use considerations.

Ms. Patti Hassett of 2471 Joswick questioned discrepancies in the landscape text and drawing. Mr. Lodico explained the drawing and plant list, affirming that, if there are any discrepancies, the most stringent requirement would be adhered to. Ms. Hassett requested that the Redman Linden be exchanged for another species since it is attractive to bees and her son is very allergic to bee stings. Mr. Lodico agreed to the revision. Ms. Hassett expressed concern regarding run-off into the wetland and questioned the setback when Walton is widened. Mr. Lehoczky advised that widening of Walton will not affect the proposed greenbelt. In response to a question from Ms. Hassett, Mr. Shirley advised that all

residents who were notified of this meeting would be notified of future meetings regarding Special Land Uses, liquor licenses, etc. Ms. Hassett questioned what percentage of landscaping is required for the B-1 parcel. Mr. Lehoczky advised that proposed landscaping exceeds ordinance requirements. In response to further questions from Ms. Hassett, Mr. Lehoczky explained that a traffic impact study was done prior to development of the McDonald's site. Ms. Hassett suggested that new development should not be permitted until a left turn lane is installed on Walton. Mr. Lehoczky verified that the Walton entrance is two-way. Ms. Hassett alleged that lunchtime traffic will travel Joswick to make a right turn into the site. She questioned if the Planning Commission can request a traffic count on Joswick to determine if there is increased traffic following completion of the subject development. Mr. Shirley suggested that this question be presented to Council. In response to a question from Ms. Hassett, Mr. Lodico explained that red dots on the trees indicate that they are protected. He reiterated that no trees will be removed from the wetland. Mr. Shirley referenced woodland ordinance requirements for a complete inventory of all trees on the site. Ms. Hassett concurred with the comment regarding vacant strip malls in the City. She expressed concern with customer parking on the side of Joswick when parking within the development is filled and requested a high wall on the east side of the trees in the northwest corner. Mr. McMillin noted that parking on the east side of Joswick would be illegal and patrons would not continue to use it after being ticketed or having their vehicles towed away. Ms. Hassett referenced Section 1808 of the Zoning Ordinance which indicates that the Planning Commission can recommend some type of buffer between commercial and residential uses. She requested a masonry wall higher than 5 feet.

Mr. Glen Nelson of 2459 Joswick questioned if Joswick could be made a dead end because of traffic concerns. In response to his questions regarding the landscape plan, Mr. Lehoczky explained the requirement for one tree for every 30 feet of road frontage. Mr. Lodico affirmed that 10 trees are required for Joswick from the wetland to Walton. Mr. Lehoczky reiterated that the petitioner is proposing more landscaping than required. Mr. Nelson questioned fencing of the retention area. Mr. Lodico advised that depth of the area does not require fencing. Mr. Nelson noted that the tree survey was done some time ago and suggested that some trees may have grown in the interim to the size for protected tree designation. Mr. Lehoczky explained that Mr. Schoonfield is very diligent in addressing woodland ordinance requirements. Mr. Lodico advised that the tree survey was done in two phases - the wetland area in November of 1995 and the remainder of the site earlier. He noted that a significant number of additional plantings are being proposed. Mr. Nelson suggested that a "no left turn" restriction, necessary address traffic on Walton, will encourage use of Joswick. Ms. Hurt-Mendyka noted that the left turn restrictions in this area were imposed at the request of residents. Mr. Nelson questioned the Farmington Hills development referenced earlier in the meeting. **Mr. William Gittre** (owner of the Roosevelt's development) invited everyone to visit his operation and check with Farmington Hills City Council members who will confirm that the facility attracts an upscale clientele and presents no crime or nuisance problems. Mr. Nelson questioned the aforementioned control structure, which Mr. Lehoczky and Mr. Lodico explained is an underground drainage device. They affirmed that the 30-foot high lighting in parking areas will be shielded away from the residential area in accordance with ordinance requirements. In response to a question from Mr. Nelson, Mr. Lehoczky advised that setback from Joswick would be 30 feet from the centerline plus the 15-foot greenbelt. Mr. Nelson requested an 8-foot high wall for safety of Joswick residents and to buffer noise from the development. He also requested denial of the site plan until all requirements are met.

Ms. Diane Nelson of 2459 Joswick commented that, since development of the parcel in some manner is inevitable, she would request an 8-foot high wall to keep patrons away from residents - particularly since liquor will be served.

Mr. Clarence Bennett of 3814 Tienken advised that, although Tienken Road has been barricaded for some time, there is still a constant flow of high speed traffic. He expressed doubt regarding a previous comment that ticketing and towing of vehicles will discourage illegal parking on Joswick.

Mr. Dewey asked if the sidewalk and landscaping proposed on Walton will be torn out when the road is widened. Mr. Lehoczky explained that the City would probably require escrow of funds for installation of a pathway after the road is widened. Mr. Shirley suggested that any future Joswick sidewalk would probably be installed on the west side because there are no residences on the east side. Mr. Dewey stated that a

left turn restriction into the site from westbound Walton will only encourage a left turn onto Joswick to enter from Five Points Drive. He explained that his concern is more with speed than volume of traffic on Joswick. Residents in the audience concurred that the Auburn Hills Police Department patrols Joswick on a regular basis.

Ms. Hassett requested that construction traffic for the subject site be prohibited on Joswick. Mr. Shirley agreed that this could be included in the Planning Commission's recommendation since there is to be no construction along Joswick frontage.

Mr. Cary Gittre explained that the property was purchased approximately 1 1/2 years ago at a significant cost and he is making every effort to please everyone on the community. He noted that this will be a restaurant park designed as a benefit to the area. In response to a question from Mr. McMillin, Mr. Gittre advised that he does not envision parking on Joswick since sufficient spaces (150 more than required by ordinance) are being provided within the development. He noted that some of the retail uses will probably be open only during the day. Ms. Hurt-Mendyka asked if liquor licenses can be approved since there is a church across the road. Mr. Lehoczky explained that the 500-foot requirement can be measured in different ways. Ms. Hurt-Mendyka referenced a notation that no seating is required in the billiard area. Mr. Gittre explained that there will be stools and wall benches. In response to a question from Ms. Hurt-Mendyka, Mr. Lehoczky advised that site lines would be required around the proposed drive-in facility prior to approval. He affirmed that the pathway is part of the site plan. Ms. Hurt-Mendyka requested that installation of the pathway be required by other businesses to connect from Joswick to Squirrel Road. Mr. Lehoczky suggested that the City Engineer will review plans to determine installation of a pathway fronting the subject site. Ms. Hurt-Mendyka recommended combining the two Walton curbcuts into one boulevard entrance. Mr. Lehoczky noted that the westernmost ingress/egress would be primarily for the proposed drive-through establishment. Ms. Hurt-Mendyka questioned if the Walton curbcuts could be designated individually as an entrance and an exit. Mr. Gittre reiterated that the majority of traffic will enter the site from Five Points Drive. Mr. Lodico explained that Mr. Hiltz and the Police Chief concurred that the concentration of traffic will be from Five Points Drive. He affirmed that Walton Boulevard site plan lines are projected in accordance with future road widening. Ms. Hurt-Mendyka stated that, while the development appears to be a very desirable design, she would not support it unless entrances are combined into one or made one-way. Mr. Wagner and Mr. Shirley suggested that one-way ingress/egress might increase back-up problems on Walton. Mr. Lehoczky affirmed that the site plan includes acceleration/deceleration lanes for safer ingress/egress. Mr. Cochran referenced the June 18 letter from Police Chief Dalton indicating that they have no objection to the site plan. Ms. Hurt-Mendyka noted that, although the Police Department indicated no objection to the WalMart site plan, there are significant traffic problems now that the facility is in operation.

Mr. McMillin expressed concerns with rights of the property owner since the City zoned the area for business several years ago. Mr. Shirley suggested that the property was zoned for business because of the high traffic volume on Walton. Mr. Lehoczky noted the City's intent to concentrate on quality of development - not quantity. He expressed concern with a masonry wall requested by Joswick residents, suggesting that the greenbelt and berm would be more desirable. Mr. Blomquist asked the petitioner if he would be willing to install a chain link fence inside the tree line on the northwest parcel since this would be more attractive than a wall. Mr. Gittre suggested approval of the site plan with the understanding that he will install a chain link fence if problems develop in the future. Mr. Lehoczky affirmed that a condition for fencing in the future, if needed, would be enforceable since Mr. Gittre's willingness to do so is now a matter of record. Mr. Lehoczky noted that chain link fences tend to collect blowing debris which becomes unsightly. Mr. Gittre reiterated that the northwest lot will be for employee use, and the high berm should discourage trespassing onto Joswick. Mr. Wagner stated that he would prefer a fence. Ms. Hassett stated that a chain link fence will not buffer sound and can be climbed easily for access to Joswick. Mr. Lehoczky suggested that the proposed vegetation should buffer noise.

Mr. Dewey questioned the City's liability if a child drowns in the retention area, which he feels should be fenced. Mr. McMillin questioned potential depth of the pond. Mr. Lodico explained that, while depth of the basin will be up to 42 inches, it should be empty most of the time. Ms. Nelson opposed a chain link fence, questioning why businesses on the other side of Joswick have a wall and none is proposed for the

subject site. She emphasized her concern to have her home protected from patrons who have been drinking. Mr. McMillin suggested that a solid wall and trees might encourage undesirable loitering since it would be impossible for police patrols to see what activity is taking place. In response to a question from Mr. McMillin, Mr. Lehoczy affirmed that the Planning Commission recommendation will not include Building F, which does not meet requirements of the ordinance.

Mr. Beckett moved to recommend to City Council conditional approval of SP96-29, Auburn Entertainment Restaurant Park, including discretionary findings of fact in Mr. Lehoczy's letter of July 2, 1996, and including discretionary findings of fact from all applicable City agencies, with the conditions that all requirements and standards of the ordinance are met in that parking space lengths are required to be 20 feet in depth adjacent to the 15-foot greenbelt, that restaurant "F" as depicted on the site plan is not included in this recommendation, that any billiard operation or entertainment operation would have to come before the Planning Commission/City Council for Special Land Use, that a fence on the east side of the berm along Joswick will be added if there are any problems, and that construction traffic cannot use Joswick.

Supported by Mr. Cochran.

VOTE: Yes: Beckett, Blomquist, Cochran, McMillin, Niedjelski, Shirley
 No: Hurt-Mendyka

Motion carried (6-1)

**CITY OF AUBURN HILLS
ENVIRONMENTAL REVIEW BOARD**

June 26, 1996

CALL TO ORDER: Chairman Kresnak called the meeting to order at 7:32 p.m.

ROLL CALL:

Present.	Barber, P. Kresnak, Rollin, Rowe
Absent.	Chilkott, Peters, Wilson
Also Present.	Public Services Director Schoonfield
	5 Guests

LOCATION: Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

PUBLIC HEARING

SP96-29, Auburn Entertainment - Restaurant Park

The public hearing was opened at 7:33 p.m. with Mr. Kresnak presenting the request for a tree removal permit to facilitate construction of 46,310 square feet of buildings consisting of 4 restaurants and 2 retail areas located at the southeast corner of Joswick and Walton Boulevard with frontage on Five Points Drive (Sidwell Nos. 14-13-126-001, 002, 006 and 012). Mr. Schoonfield referenced as follows his June 19, 1996 memo:

Attached is a report from our woodlands consultant relating to the above mentioned project. The report states that the plan is in general conformance to the woodlands ordinance requirements and a tree removal permit is recommended. An on-site inspection was also made to confirm plan correctness. After the public hearing, if you find your questions satisfactorily answered it would be appropriate to move to recommend to City Council approval of a tree removal permit for SP96-29, Auburn Entertainment - Restaurant Park.

Mr. Kresnak referenced a call from **Ms. Patti Hassett** of 2471 Joswick requesting that ERB action be deferred to the next meeting since she and her neighbor, Mr. Nelson, were unable to be present on June 26. Mr. Kresnak explained that, if the plan is in compliance with requirements of the woodland ordinance, it would be appropriate for the ERB to make a recommendation since property owners within 300 feet will be notified of site plan review by the Planning Commission.

Mr. Kresnak called for comments from the petitioner. **Mr. Laurie Lodico** of Giffels Webster explained that all trees on the heavily-wooded site have been inventoried, and the petitioner has attempted to preserve as many existing trees as possible as a buffer for neighboring residences. He noted that:

1. There are 420 protected trees on the site.
2. 280 trees will be removed from the building area.
3. Trees to be removed will be replaced in compliance with the City's woodland ordinance and will include two rows of evergreens (along Joswick and at the back of the site) for a double level of year-round screening
4. Landscaping is designed to qualify for the 15% "high quality" reduction, although this is not being requested since proposed landscaping exceeds the required percentage.
5. The regulated wetland will be preserved with modifications only as requested by the City Engineer to provide a controlled structure as protection for the existing stormwater system.
6. Retention will be within the site development area to maintain the existing rate of flow into the wetland.

Mr. Kresnak questioned the required caliper for understory or ornamental trees. Mr. Schoonfield verified that 2-inch caliper is required by ordinance. Mr. Rowe noted that the structure more than meets the requirement for a 200-foot setback from the nearest Joswick residence.

Mr. Lodico explained that the site is designed to have run-off filter through a grassy area before it enters the wetland. In response to questions from Mr. Kresnak, he advised that no fencing is proposed around the existing wetland and that the landscaping plan allows ample space for tree growth. Mr. Lodico affirmed that he is aware of proposed practices for removal of tree wrap, guy wires, etc. and that these standards will be included in the bid documents.

Mr. Kresnak called for comments from the audience. **Mr. Raymond Price** of 2391 Joswick noted lack of storm sewers on Joswick and requested assurance that existing drainage problems will not be further impacted by development of the subject site. Mr. Kresnak advised that the site is being engineered so as not to increase the current rate of run-off into the wetland. Mr. Schoonfield affirmed that handling of stormwater for the site is appropriately addressed.

In response to a question from Ms. Barber, **Mr. Cary Gitre** (representing Alliance Realty) advised that negotiations with restaurant tenants for the development have not been finalized at this time.

There being no further comments, the public hearing was declared held at 7:48 p.m.

Mr. Rowe moved to recommend to City Council approval of a tree removal permit for SP96-29, Auburn Entertainment - Restaurant Park.

Supported by Ms. Barber.

VOTE: Yes: Barber, P. Kresnak, Rollin, Rowe
 No: None

Motion carried (4-0)



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 9B

COMMUNITY DEVELOPMENT

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Steven J. Cohen, AICP, Director of Community Development
Submitted: May 13, 2025
Subject: Motion – To Accept the Third Quarter 2024, Fourth Quarter 2024, and First Quarter 2025 Monitoring Network Review Summaries, along with the 2024 Annual Monitoring Network Review Summary for the Oakland Heights Development Landfill

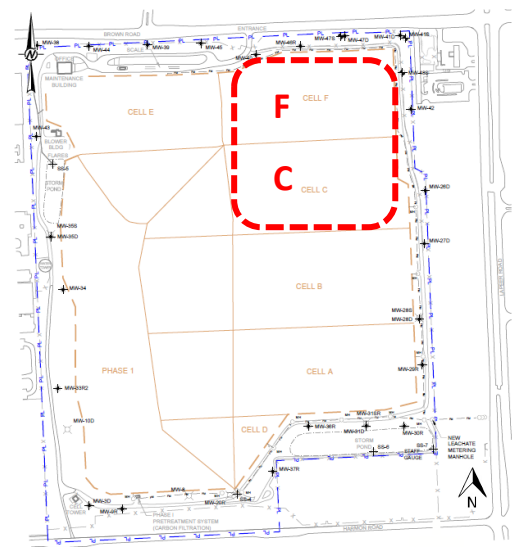
INTRODUCTION AND HISTORY

Attached are the Third Quarter 2024, Fourth Quarter 2024, and First Quarter 2025 Monitoring Network Review Summaries and the 2024 Annual Monitoring Network Review Summary by the City's consultant, Andy Foerg, with Environmental Consulting Solutions, for the Oakland Heights Development Landfill. **The landfill's monitoring network appears to be adequate for detecting potential releases to the environment.**

ACTION ITEMS TO WATCH

Exceedances in the Secondary Collection System Monitoring Action Flow Rates (AFR) were noted in Cell C in the first two quarters of 2024 and in March 2025. Also, AFR exceedances were reported in Cell F every month in 2024 through March 2025, except for November 2024. **Oakland Heights Development's environmental consultant concluded that another source, such as surface water infiltration, is responsible for the elevated flows in these cells, and Mr. Foerg concurred.**

Oakland Heights Development completed the primary/secondary liner tie-in for Cell F and a portion of Cell C in early November 2024 to address the AFR exceedances. **Oakland Heights Development continues to investigate the cause of the AFR exceedances and will provide an update at the Council meeting.**



Location of Cells F and C at the OHD Landfill

STAFF RECOMMENDATION

Staff recommend accepting the reports. Mr. Foerg and Robb Moore from the Oakland Heights Development Landfill are scheduled to attend the meeting, should the City Council wish to discuss the summary reports.

MOTION

Move to accept the Third Quarter 2024, Fourth Quarter 2024, and First Quarter 2025 Monitoring Network Review Summaries, along with the 2024 Annual Monitoring Network Review Summary for the Oakland Heights Development Landfill.

I CONCUR:

THOMAS A. TANGHE, CITY MANAGER



environmental consulting solutions
523 W. Sunnybrook Drive, Royal Oak, Michigan 48073

May 7, 2025

Mr. Steven J. Cohen, AICP
City of Auburn Hills
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: 1st Quarter 2025 Monitoring Network Review Summary
Oakland Heights Development Landfill
ECS Project: A101-0001

Dear Mr. Cohen:

Environmental Consulting Solutions, LLC (ECS) is pleased to present the 1st Quarter 2025 (2025 Q1) Monitoring Network Review Summary for the Oakland Heights Development Landfill (OHD) in Auburn Hills, Michigan. ECS reviewed the April 23, 2025 WSP USA Inc. First Quarter 2025 Hydrogeologic Monitoring Report for Oakland Heights Development and provided monitoring oversight.

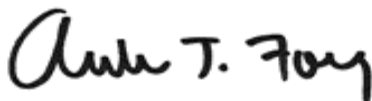
WSP USA Inc. (WSP) of Farmington Hills, Michigan is OHD's monitoring consultant and Environmental Sampling Services Inc. (ESS) of Holly, Michigan is the sampling contractor that performed the 2025 Q1 sampling. The following table provides a summary of our conclusions/recommendations.

Service	Notes	Conclusion
Field Observations	The monitoring system was observed to be in a generally satisfactory condition.	Acceptable
Groundwater Monitoring	Multiple unconfirmed initial exceedances were reported. They will be verified during the Q2 event. No newly verified exceedances were reported for this event.	Acceptable

Secondary Collection System Monitoring	<p>The SCS daily average flow rates exceeded the specified AFR in in Cell F in January, February and March 2025 and in Cell C in March 2025. SCS samples were collected from both Cells. WSP stated that indicator parameters in site leachate were reported at concentrations that are significantly higher than those observed in the SCS samples. WSP believes that surface water infiltration may be responsible for the elevated flows in these cells.</p> <p>OHD previously completed the primary/secondary liner tie-in for Cell F along with a portion of Cell C in early November 2024. OHD is currently investigating the cause(s) of the ongoing elevated SCS flows.</p>	AFR exceedances warrant further investigation and monitoring
Surface Water Monitoring	All of the Surface Water sample locations were dry; therefore, no samples were collected during Q1.	Acceptable
Leachate Monitoring	WSP concluded that the Q1 2025 leachate sample results were typical for landfill leachate.	Acceptable

ECS is pleased to provide these services to the City of Auburn Hills. If you have any questions or desire further clarification, please contact us at (248) 763-3639.

Sincerely,
ENVIRONMENTAL CONSULTING SOLUTIONS, LLC



Andrew J. Foerg, CPG
President

cc: Mary L. Siegan, P.E. – WSP USA Inc.
Rachel Rubach – WSP USA Inc.
Robb Moore – Republic Services



environmental consulting solutions
523 W. Sunnybrook Drive, Royal Oak, Michigan 48073

February 3, 2025

Mr. Steven Cohen
City of Auburn Hills
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: Annual 2024 Monitoring Network Review Summary
Oakland Heights Development Landfill
ECS Project: A101-0001

Dear Mr. Cohen:

Environmental Consulting Solutions, LLC (ECS) is pleased to present this Annual 2024 Monitoring Network Review Summary for the Oakland Heights Development Landfill (OHD) in Auburn Hills, Michigan. This report summarizes notable issues identified during 2024 and provides ECS's professional opinion regarding the need for additional actions or whether the issues appear to have been resolved. ECS reviewed 2024 WSP Hydrogeologic Monitoring Reports and conducted field oversight of 2024 monitoring events.

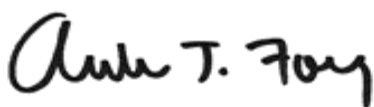
The following table provides a summary of the systems that were monitored, notable issues identified and ECS's conclusions/recommendations.

System	Notes	Conclusion
Field Observations	In 2024 the condition of the monitoring system was generally acceptable. Typical repairs and routine maintenance were conducted throughout the year.	Acceptable
Groundwater Monitoring	Several 2024 events reported newly verified statistical exceedances. Alternate Source Demonstrations (ASDs) addressing the exceedances were prepared by WSP. ECS concurred that none of the exceedances appeared to be associated with leachate releases from the landfill.	Acceptable

Secondary Collection System Monitoring	<p>Action Flow Rates (AFR) exceedances were noted in Cell C in the first 2 quarters of 2024 and not since that time. AFR exceedances were noted in Cell F every month in 2024 except November. WSP concluded that another source(s) such as surface water infiltration may be responsible for the elevated flows in these cells and ECS concurred.</p> <p>In an effort to address the SCS AFR exceedances, OHD completed the primary/secondary liner tie-in for Cell F along with a portion of Cell C in early November 2024. The volume decreased below the AFR in November, however it increased in December. OHD is currently investigating the cause of volumes increasing in December.</p>	AFR exceedances warrant further investigation and monitoring
Surface Water Monitoring	Dry conditions were frequently found during 2024. On the occasions when samples were collected, WSP noted that surface water concentrations were generally consistent with historical results.	Acceptable
Leachate Monitoring	According to WSP, leachate concentrations were considered typical for landfill leachate.	Acceptable

ECS is pleased to provide these services to the City of Auburn Hills. If you have any questions or desire further clarification, please contact us at (248) 763-3639.

Sincerely,
ENVIRONMENTAL CONSULTING SOLUTIONS, LLC



Andrew J. Foerg, CPG
President

cc: Mary L. Siegan, P.E. – Golder Associates Inc.
Rachel Rubach – WSP USA Inc.
Robb Moore – Republic Services



environmental consulting solutions
523 W. Sunnybrook Drive, Royal Oak, Michigan 48073

February 2, 2025

Mr. Steven J. Cohen, AICP
City of Auburn Hills
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: 4th Quarter 2024 Monitoring Network Review Summary
Oakland Heights Development Landfill
ECS Project: A101-0001

Dear Mr. Cohen:

Environmental Consulting Solutions, LLC (ECS) is pleased to present the 4th Quarter 2024 (2024 Q4) Monitoring Network Review Summary for the Oakland Heights Development Landfill (OHD) in Auburn Hills, Michigan. ECS reviewed the January 30, 2025 WSP USA Inc. Fourth Quarter 2024 Hydrogeologic Monitoring Report for Oakland Heights Development and provided monitoring oversight.

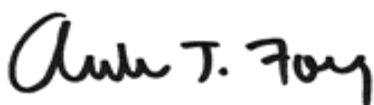
WSP USA Inc. (WSP) of Farmington Hills, Michigan is OHD's monitoring consultant and Environmental Sampling Services Inc. (ESS) of Holly, Michigan is the sampling contractor that performed the 2024 Q4 sampling. The following table provides a summary of our conclusions/recommendations.

Service	Notes	Conclusion
Field Observations	The monitoring system appeared to be in a satisfactory condition.	Acceptable
Groundwater Monitoring	Several unconfirmed initial exceedances were reported. They will be verified during the next event. One newly verified exceedance (TIN in MW-44) was reported for this event. WSP prepared an Alternate Source Demonstration to address this exceedance. They concluded that the TIN level was within the range of other monitoring wells in the Middle Regional Aquifer and that other indicator parameter concentrations in MW-44 for this event were consistent with past events. Therefore, they stated that the TIN concentration was not the result of a release from the landfill, however it is a result of field and/or laboratory variability. ECS concurs with their opinion.	Acceptable

Secondary Collection System Monitoring	The SCS daily average flow rates exceeded the specified AFR at Cell F for October and December. An SCS sample was collected from Cell F. WSP stated that indicator parameters in site leachate were reported at concentrations that are significantly higher than those observed in the SCS sample. WSP believes that surface water infiltration may be responsible for the elevated flows in these cells. ECS concurs. For additional action towards the SCS AFR exceedances, OHD completed the primary/secondary liner tie-in for Cell F along with a portion of Cell C in early November 2024. OHD is currently investigating why volumes increased in late December.	AFR exceedances warrant further investigation and monitoring
Surface Water Monitoring	No Surface Water samples were collected during Q4 as all of the sample locations were dry.	Acceptable
Leachate Monitoring	WSP concluded that the Q4 2024 leachate sample results were typical for landfill leachate.	Acceptable

ECS is pleased to provide these services to the City of Auburn Hills. If you have any questions or desire further clarification, please contact us at (248) 763-3639.

Sincerely,
ENVIRONMENTAL CONSULTING SOLUTIONS, LLC



Andrew J. Foerg, CPG
President

cc: Mary L. Siegan, P.E. – WSP USA Inc.
Rachel Rubach – WSP USA Inc.
Robb Moore – Republic Services



environmental consulting solutions
523 W. Sunnybrook Drive, Royal Oak, Michigan 48073

November 11, 2024

Mr. Steven J. Cohen, AICP
City of Auburn Hills
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: 3rd Quarter 2024 Monitoring Network Review Summary
Oakland Heights Development Landfill
ECS Project: A101-0001

Dear Mr. Cohen:

Environmental Consulting Solutions, LLC (ECS) is pleased to present the 3rd Quarter 2024 (2024 Q3) Monitoring Network Review Summary for the Oakland Heights Development Landfill (OHD) in Auburn Hills, Michigan. ECS reviewed the October 25, 2024 WSP USA Inc. Third Quarter 2024 Hydrogeologic Monitoring Report for Oakland Heights Development and provided monitoring oversight.

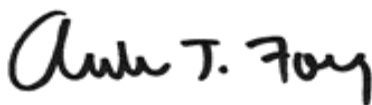
WSP USA Inc. (WSP) of Farmington Hills, Michigan is OHD's monitoring consultant and Environmental Sampling Services Inc. (ESS) of Holly, Michigan is the sampling contractor that performed the 2024 Q3 sampling. The following table provides a summary of our conclusions/recommendations.

Service	Notes	Conclusion
Field Observations	The monitoring system was in satisfactory condition.	Acceptable
Groundwater Monitoring	Some unconfirmed, initial exceedances were reported. They will be verified during the 4th Quarter event. No newly verified exceedances were reported for this event.	Acceptable

Secondary Collection System Monitoring	<p>The SCS daily average flow rates exceeded the specified AFR at Cell F for all months in Q3. SCS samples were collected from Cell C (due to previous AFR exceedances) and Cell F. WSP stated that indicator parameters in site leachate were reported at concentrations that are significantly higher than those observed in the SCS samples. WSP believes that surface water infiltration may be responsible for the elevated flows in these cells. ECS concurs.</p> <p>OHD has found no operational issues within Cell C and Cell F. OHD has begun investigating the eastern sides of Cell C and Cell F to try and determine how runoff is infiltrating the SCS. OHD will provide an investigation update in Q4.</p>	AFR exceedances warrant further investigation and monitoring
Surface Water Monitoring	No Surface Water samples were collected during Q3 as all of the sample locations were dry.	Acceptable
Leachate Monitoring	WSP concluded that the Q3 2024 leachate sample results were typical for landfill leachate.	Acceptable

ECS is pleased to provide these services to the City of Auburn Hills. If you have any questions or desire further clarification, please contact us at (248) 763-3639.

Sincerely,
ENVIRONMENTAL CONSULTING SOLUTIONS, LLC



Andrew J. Foerg, CPG
President

cc: Mary L. Siegan, P.E. – WSP USA Inc.
Rachel Rubach – WSP USA Inc.
Robb Moore – Republic Services



CITY OF AUBURN HILLS
REGULAR CITY COUNCIL MEETING
Minutes - **EXCERPT**

AUGUST 12, 2024

CALL TO ORDER & Mayor Marzolf at 7:00 PM.

PLEDGE OF ALLEGIANCE:

LOCATION: Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

ROLL CALL: Present: Council Members Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, and Verbeke

Absent: None

Also Present: City Manager Tanghe, Assistant City Manager Skopek, City Attorney Beckerleg, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Community Development Director Cohen, Asst to Dir./Construction Coord. Lang, Economic Development Mgr Carroll, DPW Director Baldante, Mgr of Fleet & Roads Hefner, Finance Director Schulz, Deputy Treasurer Vittone, Accountant Faulk, Assistant to the Manager Hagge, Engineer Driesenga

8 Guests

4. NEW BUSINESS

9c. Motion – To accept the First and Second Quarter 2024 Monitoring Network Review Summaries for the Oakland Heights Development Landfill.

Mr. Foerg, consultant for the Oakland Heights Development, shared his concerns with water seeping into the secondary collection system. It does not appear to be coming from the landfill itself but should be corrected.

Mr. Moore stated that the water is collecting in the secondary collection system. The water has been tested and it is clean. This issue should be resolved within the next six weeks.

Moved by Ferguson, Seconded by Hawkins.

RESOLVED: To accept the First and Second Quarter 2024 Monitoring Network Review Summaries prepared by Environmental Consulting Solutions for the Oakland Heights Development Landfill.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

Resolution No. 24.08.121

Motion Carried (7 - 0)



CITY OF AUBURN HILLS
REGULAR CITY COUNCIL MEETING
MINUTES - EXCERPT

APRIL 1, 2024

CALL TO ORDER & Mayor Marzolf at 7:00 PM.

PLEDGE OF ALLEGIANCE:

LOCATION: Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

ROLL CALL: Present: Council Members Ferguson, Fletcher, Hawkins, Knight, and Marzolf

Absent: Council Members McDaniel and Verbeke

Also Present: Assistant City Manager Skopek, City Attorney Beckerleg, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Community Development Director Cohen, Construction Coordinator Lang, DPW Director Baldante, Manager of Fleet & Roads Hefner, Commercial/Industrial Appraiser Griffin, Engineers Driesenga

8 Guests

4. NEW BUSINESS

9a. Motion – To accept the First, Second, Third, and Fourth Quarter 2023 Monitoring Network Review Summaries and the 2023 Annual Monitoring Network Review Summary of the Oakland Heights Development Landfill.

Mr. Foerg discussed the excess water that has been found in the secondary collection system. He explained that if the liquid goes over a certain amount, it is examined to see what is causing the increase. It has been sampled and it did not indicate any leachate, so the liquid is not coming from the landfill but rather surface water infiltration, a construction issue.

Moved by Fletcher, Seconded by Ferguson.

RESOLVED: To accept the First, Second, Third, and Fourth Quarter 2023 Monitoring Network Review Summaries and the 2023 Annual Monitoring Network Review Summary prepared by Environmental Consulting Solutions for the Oakland Heights Development Landfill.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.56

Motion Carried (5 - 0)



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: MAY 19, 2025

AGENDA ITEM NO 9C

DEPARTMENT OF PUBLIC WORKS

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Jason Hefner, Manager of Fleet & Roads
Submitted: May 13, 2025
Subject: Motion – Award the 2025 Butler Road Improvements Bid Award, Construction Engineering/Observation and Contract Administration Services to OHM Advisors, and Material Testing Services to G2 Consulting

INTRODUCTION AND HISTORY

Included in the 2025 Capital Plan for the Department of Public Works is the reconstruction of Butler Road from North Squirrel Road to the City Limit. In 2020, the City upgraded the gravel road by adding asphalt millings and topped the road with a chip and slurry seal. In 2021, large potholes began to form due to improper base. The following year, those pothole areas were dug out and proper base was placed, the road rebuilt in those places, and another chip and slurry seal were placed on the entire road. Those repairs have held up, but now the adjacent areas are failing. After review, a full reconstruction with new stormwater management was recommended to permanently fix the road. The project was then designed to include grading and tree removal to allow for two 11-foot lanes of traffic and the addition of curb and gutter. This would make the new roadway 27 feet wide, roughly 9 feet wider than it is currently. In addition, 8 inches of new base material, 5 inches of asphalt, new underdrain, and new storm sewer will be constructed. The length of Butler Road within the city limits is anticipated to be closed during the entirety of the construction process. The project was put out for bid with bids opened on May 1st, 2025.

Main Street Contracting Inc. of Wayne, Michigan is the low bidder for this project. Their company has over 10 years of experience in similar construction, much of their key management has over 20+ years of industry experience, and they have completed many other projects throughout Oakland County. Based on our previous experience, reference checks, and their qualifications, we recommend that City Council award this contract to Main Street Contracting Inc. in the amount of \$1,620,500.00, per the unit prices listed on the bid. The amount entered in the bid for Crew Days (\$58,500) is not included in the recommended award amount as these are not part of payments made to the Contractor, but these amounts are included in the total for determining the lowest bid.

OHM Advisors serve as the City Engineer and provides engineering, observation, and contract administration for all of the City's infrastructure capital projects. Their Scope of Services is attached as Exhibit 3 and includes G2 Consulting Group's estimate for material testing services. The total breakdown is included in the following chart:

	Construction Contract	CE/CA Services	Crew Days (Observation)	Testing Services	Total
Butler Road	\$1,620,500.00	\$95,500.00	\$58,500.00	\$34,000.00	\$1,808,500.00

Currently budgeted is \$2,100,000.00 for the Butler Road Reconstruction (203-453-973.000-BUTLERROADXX). While this project is being paid from the local streets fund, TIFA-A is reimbursing the City \$250,000 for the project. The DPW has applied for the Oakland County Local Road Improvement Pilot Program grant which contributes \$75,778 in matching funds as well.

STAFF RECOMMENDATION

Staff recommend award of the 2025 Butler Road Improvements construction contract to Main Street Contracting Inc., Construction Engineering/ Observation and Contract Administration Services to OHM Advisors, Material Testing Services to G2 Consulting Group for an estimated total cost of \$1,808,500.00 to be paid from 203-453-973.000-BUTLERROADXX.

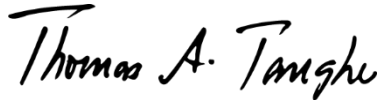
MOTION

Move to award the 2025 Butler Road Improvements construction contract to Main Street Contracting Inc., Construction Engineering/ Observation and Contract Administration Services to OHM Advisors, Material Testing Services to G2 Consulting Group for an estimated total cost of \$1,808,500.00.

EXHIBITS

Exhibit 1 – OHM Scope of Services

I CONCUR:

A handwritten signature in black ink that reads "Thomas A. Tanghe". The signature is written in a cursive style with a horizontal line underneath it.

THOMAS A. TANGHE, CITY MANAGER



May 6, 2025

Mr. Stephen Baldante
Director of Public Works
City of Auburn Hills
1500 Brown Road
Auburn Hills, Michigan 48326

RE: **Butler Road Improvements**
Scope of Construction Services

Dear Mr. Baldante:

Outlined below is a Scope of Work for construction services to be provided by OHM Advisors for the above referenced project.

PROJECT UNDERSTANDING

It is our understanding that the City of Auburn Hills plans to move forward with the construction phase of the Butler Road Improvements project for which bids were received on Thursday, May 1, 2025. The proposed project consists of new curbed asphalt roadway construction for the entirety of Butler Road under City control from Squirrel Road to the east City Limits with Rochester Hills. The roadway construction work includes clearing, excavation, underdrain and storm sewer improvements, aggregate base, subgrade repairs as needed, curb/gutter, asphalt pavement, and restoration.

SCOPE OF SERVICE

Construction Engineering / Observation

Under this task the project team will observe the construction efforts on the project and assist with any necessary field changes to successfully complete the work. Specific work efforts include:

- ▶ Provide daily observation of the project when construction work is occurring to verify that materials, installation, and construction methods used are in conformance with the project plans and specifications as well as applicable standards. Full-time observation will be provided for all roadway and utility construction.
- ▶ Produce daily field reports to document construction activities and record quantities of contract pay items.
- ▶ Prepare and provide the Contractor with a list of required submittals and review shop drawings, construction schedules, materials certifications, and other submittals.
- ▶ Address Contractor's construction concerns and resolve conflicts with the executed contract specifications.
- ▶ Arrange and attend regularly scheduled progress meetings during the construction phase. It is anticipated that meetings will be held weekly during the active construction period.
- ▶ Coordinate with the materials testing consultant on material related items.
- ▶ Coordinate with the property owners and other stakeholders in the construction area regarding access, traffic staging, schedule, and other pertinent items for the duration of the project.
- ▶ Prepare and deliver record (As-Built) plans that include the constructed location of all installed underground utilities. Record plans will be delivered electronically in PDF format.



Contract Administration

Under this task, the project team will complete services necessary to administer the contract. Specific work efforts include:

- ▶ Coordination with the Contractor and City to execute the contract documents.
- ▶ Arrange and attend one (1) pre-construction meeting prior to the start of the project.
- ▶ Provide two (2) signed copies of the contract documents to the City, one (1) to the Clerk's office and one (1) to the DPW.
- ▶ Review Contractor's progress on the project to ensure that the work is in compliance with the proposed schedule.
- ▶ Prepare monthly construction pay estimates and process contract change orders (if required).
- ▶ Request and review information from the Contractor to verify compliance with wage rates, Buy America, and other funding requirements.
- ▶ Review construction claims and coordinate claim resolution with Contractor and City.
- ▶ Request and collect Contractor's declaration, contractor's affidavit, waivers from major suppliers and subcontractors, release of surety, and release from other public agencies for which permits have been obtained under this contract.

Crew Days (Construction Observation)

This project contract includes a line item for Crew Days in Contractor's bid. This item is for construction observation required for the Contractor's operations. OHM will provide daily observation of work under this Crew Day item. Full-time inspection will be provided for all construction operations as indicated in the contract specifications for Crew Days. The Contractor has included the Crew Day amount in their bid based on their anticipated schedule for the project.

SCHEDULE

Based on the TIFA and Council meeting schedule, we anticipate that the project award will be recommended at the May 13th TIFA meeting and approved at the May 19th City Council meeting. Construction on the project is anticipated to begin in early June. The project is expected to be substantially completed by October of this year.

COMPENSATION

The construction engineering and contract administration outlined above will be performed on an hourly basis for the not-to-exceed amount of ninety-five thousand five hundred dollars (\$95,500.00). The construction observation as Crew Days will be performed on a per day basis for the amount of fifty-eight thousand five hundred dollars (\$58,500.00), which is based on the amount bid by the Contractor for this item. The City will be invoiced for services on a monthly basis. The estimated budget breakdown is as follows:

Construction Engineering	\$ 48,500
Contract Administration	\$ 47,000
Crew Days (Observation)	<u>\$ 58,500</u>
Total	\$154,000
Materials Testing Services Estimate (G2)	\$ 34,000



FURTHER CLARIFICATIONS AND ASSUMPTIONS

The above-listed scope of services was prepared with the following assumptions:

- Materials testing services will be provided by G2 Consulting Group under a separate contract and are not included in this scope of services. The estimated amount for this service is indicated above.
- The City will be responsible for all permit fees.
- An easement is required from the property at 1075 West Entrance to construct the proposed storm sewer through the property from Butler Road to West Entrance Drive. The City has been working with the property owner to secure this easement. If the easement cannot be secured, the plans will be modified to eliminate the proposed storm sewer and outlet within the Butler Road right-of-way to match existing conditions.

Should you find this agreement acceptable, please execute both copies and return one copy to us for our files. We look forward to providing professional services on this project. If you have any questions, please contact us.

Sincerely,

OHM ADVISORS

Timothy J. Juidici, P.E.

Principal

cc: Jason Hefner, Manager of Fleet & Roads
Alex Parent, OHM
Jerry Ashburn, OHM
File

**City of Auburn Hills
Butler Road Improvements
Construction Services**

Accepted By: _____

Printed Name: _____

Title: _____

Date: _____



Avondale

Strengthening Families
Through Community Involvement

**1435 West Auburn Road
Rochester Hills
Michigan 48309
(248) 537-6626**

avondaleyouth@gmail.com

May 5, 2025

Mr. Thomas Tanghe, City Manager
City of Auburn Hills
1827 N. Squirrel Road
Auburn Hills, Michigan 48326

Re: Annual Support from the City of Auburn Hills

Sponsored by:

**City of Auburn Hills
City of Rochester Hills
City of Troy
Bloomfield Township**

Avondale Schools

**Oakland County Circuit Court -
Family Division**

Dear Mr. Tanghe:

On behalf of the Avondale Youth Assistance Board of Directors, I would like to thank the City of Auburn Hills for its continued support, and the City's recent contribution of \$13,000.00. We rely heavily on our community sponsors to help us bring worthwhile programs to the youth in the Avondale community and to fulfill our mission of preventing juvenile delinquency. With the City's continued support we hope to continue to provide services to those who need us.

Thank you again. We truly appreciate your partnership in our community.

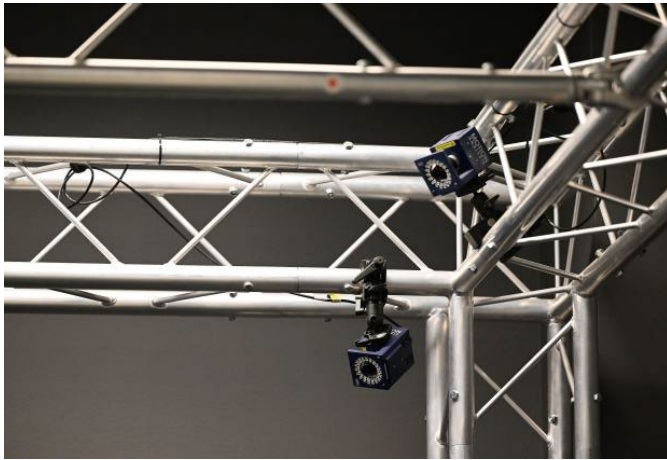
Sincerely,

Michael Kazyak, Chairperson
Avondale Youth Assistance

*"To strengthen youth and families and prevent and reduce delinquency,
neglect and abuse through community involvement."*

Avondale Youth Assistance is a 501(c)3 nonprofit organization. Tax ID #38-2505280

Inside ‘virtual reality arena,’ Stellantis aims to build better factories



A part is 3D printed on a Markforged fused filament fabrication printer (FFF) at the Stellantis Virtual Reality Lab during a media event at the Chrysler Technology Center in Auburn Hills on Thursday, May 8, 2025. (Robin Buckson, The Detroit News/The Detroit News/TNS)

By [The Detroit News](#)

UPDATED: May 12, 2025 at 5:04 PM EDT

By Luke Ramseth, The Detroit News

Deep inside the sprawling Chrysler Technology Center in Auburn Hills is a metal structure equipped with sensors that Stellantis NV engineers call their “virtual reality arena.”

Stepping into this VR laboratory, the engineers don headsets, pick up controllers, and are virtually transported to an assembly line inside any one of the automaker’s North American production facilities.

They can simulate what it’s like to attach the doors to a Toledo-made Jeep Wrangler SUV, or connect wiring on the underbody of a Sterling Heights-built Ram 1500 pickup.

The purpose behind the lab is to improve the automaker’s existing assembly lines and help design new factories, specialists said in a Thursday demonstration. In virtual reality, engineers can try out ergonomic or efficiency improvements, they said, or mock up how to install new equipment at an employee’s workstation.



Don Clack, 3D printing and mixed reality specialist, listens to a question about the Stellantis Virtual Reality Lab during a media event at the Chrysler Technology Center in Auburn Hills. (Robin Buckson, The Detroit News/The Detroit News/TNS)

“It’s very costly to shut down an assembly plant — we never want to do that; we’re not making products for our customers,” said Keenan O’Brien, head of the automaker’s Process Engineering Center. “So doing as much as we can in the digital world beforehand shortens that period in which we have to rely on physical trials and prototypes to get things up and running.”

The virtual reality room opened in 2018 and has been continually updated with better software and equipment. Several trackers mounted on the metal frame trace the movements of the person working below on the “assembly line.”

Stellantis has created digital mock-ups of all of its North American assembly plants and simulations of most of those plants’ operations, said Joe Dzwonkowski, a virtual reality design review specialist. The automaker has in recent years opened similar VR labs at several of its European and South American sites.

Even before construction began on the Detroit Assembly Complex-Mack plant that builds the Jeep Grant Cherokee more than five years ago, Dzwonkowski noted, engineers were already working inside a “digital twin” of the factory. In other instances, virtual testing helps update plants that are being converted to make new models. Those include factories switching over to make electric vehicles, which have new production processes and ergonomic concerns tied to building and installing batteries.

Taylor Road residents to drivers: Slow down

Auburn Hills officials to address complaints



Auburn Hills residents living on a straight stretch of Taylor Road east of Joslyn Road say Taylor's 45 mph speed limit is too fast. (Peg McNichol/MediaNews Group)

By **Peg McNichol** | pmcnichol@medianewsgroup.com

UPDATED: May 2, 2025 at 7:46 AM EDT

One of the best shortcuts in Auburn Hills is Taylor Road, which connects Joslyn and Giddings roads in less than a mile.

From the air, it's clear that Taylor Road is different. Seven light industrial plants dot the north side of the road. On the south side, nearly two dozen family homes sit on large parcels. On the ground, the straightaway rolls up and down hills, some high enough to obscure oncoming traffic until the last minute.

The 45-mph speed limit is far too fast, residents say. The limit drops to 35 mph between Giddings Road and M-24.

Police officers have made 31 traffic stops on Taylor and issued 22 citations since Jan. 1, said Chief Ryan Gagnon. Police issued 20 speeding tickets between April 1 and April 21, including three on April 21, he said.

"It is not typical to write this many tickets per month on Taylor Road," he told The Oakland Press. He responded to residents' complaints with more road patrols and promised to put a digital radar speed-alert trailer on the road.

Several Taylor Road residents appealed to the city council to do more before someone gets hurt. Already, curbside mailboxes are often run over. Several residents said they've narrowly missed crashes while pulling into or out of a driveway and the speeding drivers are rude. They'd like to see more police enforcement, speed bumps and anything else to slow down drivers.



Auburn Hills residents living on a straight stretch of Taylor Road east of Joslyn Road say Taylor's 45 mph speed limit is too fast. (Peg McNichol/MediaNews Group)

Randy Hale watches traffic zip by from his home office, some at an estimated 70 mph.

"They ride bumpers, flipping you off, beeping horns and swearing," he said. "It's a drag strip."

He's tired of picking up fast-food trash and liquor bottles tossed from passing vehicles. When he said the city would earn \$1 million to \$2 million just by ticketing the speeders, he didn't seem to be joking.

He often sees deer, geese, large turtles and other wildlife crossing Taylor and said they can cause crashes.

Karen Johnson owns a Taylor Road home where her disabled son lives. The Rochester Hills woman echoed Hale's concerns about other drivers' rudeness.

She asked why the speed limit can't be changed to 25 mph.

Gagnon said [state law mandates speed limits](#) based on local zoning rules. If the residents lived in a typical neighborhood, the limit would be 25 mph.

Taylor's homes were built on land originally zoned for farming. The [factories across the street are zoned](#) for tech research and light-industrial manufacturing.

Daniel Hazen, a Taylor Road resident since 2011, said Diesel, one of his two dogs, died in a hit-and-run crash.

"I don't think a 120 pound pit bull – or a dog his size – would have died instantly on impact, if the driver wasn't speeding," he said. His other dog died about a year later from what Hazen called heartbreak.



About two dozen homes dot the south side of Taylor Road east of Joslyn Road in Auburn Hills. A new home is being built. But Taylor Road residents say the 45 mph speed limit is too fast. (Peg McNichol/MediaNews Group)

Councilman Jack Ferguson said his car was nearly knocked off the road by a speeding driver. He praised police patrols and said the dog that was killed could have been a child or an adult. Michigan [State Police records show](#) crashes with [pedestrians](#) and [bicyclists](#) rose statewide by 11% from 2022 to 2023. Last year's statistics will be released later this year.

Councilwoman Cheryl Verbeke said she's had several near misses on Taylor Road. She worried that Taylor Road traffic would increase when construction on the railroad tracks across Joslyn starts later this year.



Auburn Hills residents living on a straight stretch of Taylor Road east of Joslyn Road say the 45 mph speed limit is too fast. They'd like ways to slow down the traffic. In 2023, the city installed a roundabout on Simmons Road, east of Lapeer Road. (Peg McNichol/MediaNews Group)

CN, a railway company from Canada, has permits to renovate tracks at Brown and Joslyn roads, from Aug. 11 to Aug. 24; Giddings and Brown roads, between Aug. 25 and 29; and more work on Joslyn locations from Sept. 8-12 and Sept. 15-19, according to Oakland County road commission permit records.

In 2015, the city increased Taylor Road's speed from 35 to 45, despite Verbeke's objections. Gagnon told the council at that time tickets couldn't be issued if the speed limit fell below the state's mandated 45 mph. Taylor doesn't have enough driveways or intersections to justify the lower speed, he said. State law requires between 30 and 40. Taylor has fewer than 30.

Taylor Road is 37 feet wide with three lanes with a center lane for turns. The only sidewalk is on the road's north side, across from the homes.

Councilwoman Shawanna Fletcher asked that the city consider a roundabout at Taylor's intersection with Joslyn, adding that similar changes at Shimmons, just east of Lapeer Road, had a calming effect on traffic. Another city official said there's been some general discussion about a roundabout at the Giddings Road intersection, but no official plans.



Auburn Hills residents living on a straight stretch of Taylor Road east of Joslyn Road say Taylor's 45 mph speed limit is too fast. (Peg McNichol/MediaNews Group)

Gagnon said he sympathized with the residents and would start a study to document peak traffic.

Police records show four traffic crashes in the last five years. A driver lost control and hit a parked car. Two cars collided in a rear-end crash in a construction zone. A car turning onto Taylor from Pacific failed to yield and hit a car on Taylor and a car hit a deer.

Gagnon told The Oakland Press the city may consider putting a permanent speed-radar trailer on the road.

Originally Published: May 2, 2025 at 7:44 AM EDT