



AUBURN HILLS MEETING SCHEDULE

248-370-9402 | WWW.AUBURNHILLS.ORG

APRIL 2024

DAY	TITLE	TIME	LOCATION
1	City Council Workshop	5:30 PM	Administrative Conference Room 1827 N. Squirrel Road
1	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
3	Planning Commission	7:00 PM	Council Chamber 1827 N. Squirrel Road
8	Library Board	7:00 PM	Auburn Hills Public Library 3400 Seyburn Drive
9	Tax Increment Finance Authority	4:00 PM	Administrative Conference Room 1827 N. Squirrel Road
11	Zoning Board of Appeals	7:00 PM	CANCELED
15	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
16	Brownfield Redevelopment Authority	6:00 PM	Administrative Conference Room 1827 N. Squirrel Road

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248.370.9402 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements. PLEASE BE ADVISED, DUE TO A LACK OF AGENDA ITEMS, SOME MEETINGS MAY BE CANCELED.



AUBURN HILLS MEETING SCHEDULE

248-370-9402 | WWW.AUBURNHILLS.ORG

MAY 2024

DAY	TITLE	TIME	LOCATION
6	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
8	Planning Commission	7:00 PM	Council Chamber 1827 N. Squirrel Road
9	Zoning Board of Appeals	7:00 PM	Council Chamber 1827 N. Squirrel Road
13	City Council Workshop	5:30 PM	TO BE ANNOUNCED
13	Downtown Development Authority	6:00 PM	Administrative Conference Room 1827 N. Squirrel Road
13	Library Board	7:00 PM	Auburn Hills Public Library 3400 Seyburn Drive
14	Tax Increment Finance Authority	4:00 PM	Administrative Conference Room 1827 N. Squirrel Road
20	City Council Meeting	7:00 PM	Council Chamber 1827 N. Squirrel Road
21	Brownfield Redevelopment Authority	6:00 PM	Administrative Conference Room 1827 N. Squirrel Road
28	Public Safety Advisory Committee	5:00 PM	Public Safety Building 1899 N. Squirrel Road

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248.370.9402 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements. PLEASE BE ADVISED, DUE TO A LACK OF AGENDA ITEMS, SOME MEETINGS MAY BE CANCELED.



CITY OF AUBURN HILLS
MONDAY, APRIL 15, 2024
Regular City Council Meeting ♦ 7:00 PM

Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI
248-370-9402 ♦ www.auburnhills.org

1. MEETING CALLED TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL OF COUNCIL

4. APPROVAL OF MINUTES

4a. City Council Workshop Minutes, April 1, 2024.

4b. City Council Regular Meeting Minutes, April 1, 2024.

5. APPOINTMENTS AND PRESENTATIONS

5a. Proclamation recognizing ABB's 50th Anniversary

6. PUBLIC COMMENT

7. CONSENT AGENDA

All items listed are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Council Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

7a. Board and Commission Minutes

7a1. Downtown Development Authority, March 25, 2024

7a2. Planning Commission, April 3, 2024

7b. Motion – To approve the CDBG 2024 Lawn Service Contract.

7c. Motion – To approve the Oakland County Tactical Consortium Interlocal Agreement.

7d. Motion – To adopt the Resolution Supporting the Revenue Sharing Trust Fund.

8. UNFINISHED BUSINESS

9. NEW BUSINESS

9a. Motion – To approve the combined PUD Step One – Qualification / Step Two – Site Plan / Greystone Pickleball Club - Auburn Hills.

9b. Motion – To award a bid for the construction of the Public Square in downtown Auburn Hills.

10. COMMENTS AND MOTIONS FROM COUNCIL

11. CITY ATTORNEY REPORT

12. CITY MANAGER REPORT

13. ADJOURNMENT



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 4A

CITY COUNCIL



CITY OF AUBURN HILLS CITY COUNCIL WORKSHOP **DRAFT** MINUTES

APRIL 1, 2024

CALL TO ORDER: Mayor Marzolf at 5:30 PM

LOCATION: Admin Conference Room, City Hall, 1827 N. Squirrel Rd, Auburn Hills, MI 48326

Present: Mayor Marzolf, Council Members Ferguson, Fletcher, Hawkins, Knight

Absent: Council Members McDaniel, Verbeke

Also Present: Assistant City Manager Skopek, City Attorney Beckerleg, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Asst. Fire Chief Robinson, Community Development Director Cohen, Construction Coordinator Lang, Commercial/Industrial Appraiser Griffin, Asst to the City Manager Hagge

0 Guests

Workshop Topic: Fire Department Strategic Update

Chief Massingill explained that the purpose of the workshop is to provide an overview of the suppression operations and capabilities and to solicit feedback from City leadership to help develop the 2025-2028 Strategic Plan.

Chief Massingill reviewed the fire station locations, staffing levels, number of calls per station and response times. He explained the rules, regulations and standards set by each regulating authority as it relates to the Fire Department functions. He noted that staffing levels are budgeted for eight staff per shift, however the average is seven staff per shift, with a minimum of six. He explained that response times increase with less staffing per shift.

The Chief showed a chart comparing the call volume over a twenty-year span. He explained that the City is seeing a steep increase in medical calls, where fire calls have stayed relatively even. He discussed the national standard response times compared to the City's response times. He explained the challenges with the Oakland County mutual aid agreements.

Chief Massingill discussed employee recruitment and development. He noted that the department weakness is attrition and the retirement-retention gap. He stated that they are working hard to get firefighters trained for promotion within the department. He also discussed the apparatus and equipment replacement plan.

Chief Massingill noted that the call volume will continue to increase. The City must decide whether they want service regression, service maintenance, or service improvement. He explained that if nothing is done and the department retains a staffing level of seven staff per shift, the department will have to cut services and budget. He

stated that they want to give the best service possible. To maintain the service delivery, staffing levels should be increased to nine staff per shift. There is an opportunity to apply for a three-year grant which would stabilize the department. Chief Massingill noted that a stop-gap is the best option now.

The meeting adjourned at 6:53 PM.

Brian W. Marzolf, Mayor

Laura M. Pierce, City Clerk



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 4B

CITY COUNCIL



CITY OF AUBURN HILLS REGULAR CITY COUNCIL MEETING DRAFT MINUTES

APRIL 1, 2024

CALL TO ORDER & Mayor Marzolf at 7:00 PM.

PLEDGE OF ALLEGIANCE:

LOCATION: Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

ROLL CALL: Present: Council Members Ferguson, Fletcher, Hawkins, Knight, and Marzolf

Absent: Council Members McDaniel and Verbeke

Also Present: Assistant City Manager Skopek, City Attorney Beckerleg, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Community Development Director Cohen, Construction Coordinator Lang, DPW Director Baldante, Manager of Fleet & Roads Hefner, Commercial/Industrial Appraiser Griffin, Engineers Driesenga

8 Guests

A workshop session was held prior to the regular City Council meeting at 5:30 PM. Workshop Topic: Fire Department Strategic Update

4. APPROVAL OF MINUTES

4a. City Council Regular Meeting Minutes, March 18, 2024.

Moved by Hawkins, Seconded by Ferguson.

RESOLVED: To approve the City Council Regular Meeting Minutes of March 18, 2024.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.54

Motion Carried (5 - 0)

5. APPOINTMENTS AND PRESENTATIONS

6. PUBLIC COMMENT

There was no public comment.

7. CONSENT AGENDA

7a. Board and Commission Minutes

7a1. Tax Increment Finance Authority, March 12, 2024

RESOLVED: To receive and file the Board and Commission Minutes.

7b. Motion – To approve the dispatch agreement with the County of Oakland for the period April 1, 2024, through March 31, 2027.

RESOLVED: To approve the 2024-2027 Police and Fire Dispatch Service Agreement between the County of Oakland and the City of Auburn Hills for the period April 1, 2024, through March 31, 2027, under the terms and conditions contained in the agreement; and authorize the City Manager to execute the Agreement on behalf of the City. Furthermore, amend the police and fire budgets as directed herein.

7c. Motion – To approve a dump truck upfit for a 2024 RAM 5500 Chassis.

RESOLVED: To approve the dump truck upfit by Truck & Trailer Specialists, Howell, Michigan in the amount of \$31,517.

Mr. Hawkins sought clarification on Item 7a1 as to the use and cost of the splashpad in the downtown area and how DPW reduced the cost of operation from \$43,000 in 2019 to \$15,000 in 2023. Mr. Baldante shared that DPW has been exploring all possible options to keep the cost down by monitoring water usage and operating times. The splashpad will be operational and open to the public once the permit from EAGLE is available.

Moved by Hawkins, Seconded by Knight.

RESOLVED: To approve the Consent Agenda.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.55

Motion Carried (5 - 0)

8. UNFINISHED BUSINESS

9. NEW BUSINESS

9a. Motion – To accept the First, Second, Third, and Fourth Quarter 2023 Monitoring Network Review Summaries and the 2023 Annual Monitoring Network Review Summary of the Oakland Heights Development Landfill.

Mr. Foerg discussed the excess water that has been found in the secondary collection system. He explained that if the liquid goes over a certain amount, it is examined to see what is causing the increase. It has been sampled and it did not indicate any leachate, so the liquid is not coming from the landfill but rather surface water infiltration, a construction issue.

Moved by Fletcher, Seconded by Ferguson.

RESOLVED: To accept the First, Second, Third, and Fourth Quarter 2023 Monitoring Network Review Summaries and the 2023 Annual Monitoring Network Review Summary prepared by Environmental Consulting Solutions for the Oakland Heights Development Landfill.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.56

Motion Carried (5 - 0)

9b. Public Hearing/Motion – To adopt a Resolution declaring necessity and to proceed with the project and defray a portion of the costs of the project by special assessments upon specially benefited properties (Resolution No. 3).

Mr. Hefner presented the proposed Resolution No. 3 to the repair and improvements to Superior Court. He shared that Resolution No. 2 was approved on March 18, 2024. The legal requirements were followed, and no letters or comments were received. The cost estimate of this project is \$940,000 and 50% of the cost will be

paid by the city with the remaining 50% being paid for by the seven benefiting properties at \$67,142.86 per property.

Mayor Marzolf opened the Public Hearing at 7:14 PM

Hear no comment, Mayor Marzolf Closed the Public Hearing at 7:15 PM

Moved by Knight, Seconded by Fletcher.

RESOLVED: To approve Resolution No. 3, a Resolution Declaring Necessity and to Proceed with Project and Defray a Portion of the Costs of the Project by Special Assessments upon Specially Benefited Properties for the proposed Special Assessment District No. 9 regarding the repair of and improvements to Superior Court. (Attachment A)

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.57

Motion Carried (5 - 0)

9c. Public Hearing/Motion – To establish a speculative building designation for Mancini Holdings LLC.

Mr. Griffin presented the request from Mancini LLC to build a speculative building at 1600 Atlantic Blvd. He shared that a speculative building must be constructed before a specific tenant is defined and must be approved by the City Council. A building with this designation allows the new tenant to apply for an abatement after the normal six-month construction deadline has lapsed. The design of the building is expected to be over 53,000 sq ft and will be a industrial light manufacturing building. The permit was issued on March 5, 2024.

Mr. Griffin confirmed for Mr. Knight that there are no empty speculative buildings in Auburn Hills.

Mayor Marzolf opened the Public Hearing at 7:17 PM.

Mr. Edward Mancini shared that they are optimistic to bring a great tenant to this site.

Hear no comment, Mayor Marzolf Closed the Public Hearing at 7:18 PM

Moved by Fletcher, Seconded by Knight.

RESOLVED: To approve the request to establish a Speculative Building Designation for Mancini Holdings LLC by adopting the attached resolution. (Attachment B)

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.58

Motion Carried (5 - 0)

10. COMMENTS AND MOTIONS FROM COUNCIL

Mr. Knight shared a brief report as the Brownfield Redevelopment Authority liaison. He also thanked those that inquired about the health of his wife.

Dr. Fletcher thanked DPW for the great care of the roads and shared that bordering residents have commented on how nice the roads were in Auburn Hills when the last snowstorm took place.

Mr. Ferguson commented that he enjoyed his time at the Bunny Bash event.

Mayor Marzolf asked the staff to check in with the management at Bloomfield Square. He stated that the conditions of the building are starting to look aged and may need repair. He also congratulated the Oakland University Basketball team and their tremendous season.

11. CITY ATTORNEY REPORT

12. CITY MANAGER REPORT

13. ADJOURNMENT

Moved by Hawkins, Seconded by Ferguson.

RESOLVED: To adjourn the meeting.

VOTE: Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf

No: None

Resolution No. 24.04.59

Motion Carried (5 - 0)

The meeting adjourned at 7:24 PM.

Brain W. Marzolf, Mayor

Laura M. Pierce, City Clerk

ATTACHMENT A

CITY OF AUBURN HILLS

RESOLUTION DECLARING NECESSITY AND TO PROCEED WITH PROJECT AND TO DEFRAY A PORTION OF THE COSTS OF THE PROJECT BY SPECIAL ASSESSMENTS UPON SPECIALLY BENEFITED PROPERTIES (RESOLUTION NO. 3)

At a regular meeting of the City Council of the City of Auburn Hills, Oakland County, Michigan, held in the Council Chambers at 1827 N. Squirrel Road, Auburn Hills, Michigan 48326, at 7:00 PM. on the 1st day of April 2024, the following resolution was offered by Councilperson Knight and seconded by Councilperson Fletcher:

WHEREAS, the City has considered construction of the proposed improvement described below (the Project) and has further requested the establishment of a special assessment district to finance and defray a portion of the costs of the project; and

WHEREAS, the proposed improvement (the Project) is the repair of and improvements to Superior Court; and

WHEREAS, the Project is designed and intended to specially benefit the properties identified in the special assessment district (the District) attached to this Resolution; and

WHEREAS, after an initial consideration, the City Council on March 18, 2022, adopted its Resolution No. 2 declaring its tentative intent to proceed with the Project and with the establishment of the District; and

WHEREAS, plans for the Project, and an estimate of the costs of the project in the amount of \$940,000, of which amount it is estimated that approximately \$470,000 will be defrayed by special assessments against the properties in the special assessment district, have been prepared and notice of public hearing has been duly given, according to law, to the owners of property in the District to inform them of their opportunity to present comments and objections to the Project and to the District; and

WHEREAS, the hearing was duly conducted and held on April 1, 2024, consistent with the notice, following which the City Council determined to proceed with the project and the establishment of the district.

NOW, THEREFORE, it is hereby resolved as follows:

1. The City Council determines that the Project is necessary.
2. The City shall proceed with the Project.
3. The plans and specifications prepared for the Project and the cost estimate for the Project in the amount of \$940,000 presented at the hearing are approved.
4. The District shall consist of the properties identified in the special assessment district attached to this Resolution and against which 50% of the cost of the project shall be assessed.
5. The District shall be designated and known as the Superior Court Road Improvement Special Assessment District, Special Assessment District No. 9.
6. The duration of the District's existence shall be ten (10) years, and unless paid in cash earlier with respect to a particular property, the special assessment shall be paid in ten (10) annual installments at the rate of five percent (5%) interest to be charged on said installments, with

the date of the first assessment installment to be determined and set forth in the City Council’s Resolution confirming the special assessment roll.

- 7. The City Assessor shall prepare a special assessment roll that includes all lots and parcels of land within the District with the names of the respective record owners of each property, if known, and shall also include the total amount to be assessed against each property. The amount to be assessed against each property shall be based upon the proportionate amount of special benefit to be received by each property from the Project. The amount spread in each case shall be based upon the detailed estimate of costs as approved by the City Council.
- 8. When the Assessor completes the assessment roll, the Assessor shall file it with the City Clerk for presentation to the City Council, along with the Assessor’s certification that the roll has been prepared by the Assessor pursuant to the April 1, 2024, Resolution of the City Council and that in making the assessments contained in the assessment roll, the Assessor has, as near as may be, according to the Assessor’s best judgment, conformed in all respects with the directions contained in the April 1, 2024, Resolution of the City Council and the Auburn Hills City Charter and the provisions of Chapter 58 of the Auburn Hills City Code.
- 9. The City Manager is directed to obtain firm bids from companies and/or other entities who are interested in performing the work necessary to complete the project.

AYES: 5 (Ferguson, Fletcher, Hawkins, Knight, Marzolf)
NAYS: None
ABSENT: 2 (McDaniel, Verbeke)
ABSTENTIONS: None

RESOLUTION ADOPTED

STATE OF MICHIGAN)
)ss
COUNTY OF OAKLAND)

I, Laura M. Pierce, the duly qualified and appointed City Clerk of the City of Auburn Hills, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of a Resolution adopted at a regular meeting of the Auburn Hills City Council held on the 1st day of April, 2024, the original of which is on file in my office.

In witness whereof, I have hereunto affixed my official signature on this ____ day of _____, 2024.

Laura M. Pierce,
City Clerk

Property Address	Parcel Number	Owner/Name	Mailing Address	City	State	Zip	Legal Description	Benefit	Assessment
2611 Superior Ct	02-14-02-201-001	Auburn Bus Park Unit 1 Investment	32 Journey	Also Volo	CA	92656-5329	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 1 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
2631 Superior Ct	02-14-02-201-002	Auburn Bus Park Unit 2 Investment	27750 Stansbury, Ste 222	Farmington Hills	MI	48334-3803	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 2 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
2661 Superior Ct	02-14-02-201-003	Auburn Bus Park Unit 3 Investment	27750 Stansbury, Ste 222	Farmington Hills	MI	48334-3803	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 3 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
2800 Superior Ct	02-14-02-201-004	Auburn Bus Park Unit 4 Investment	27750 Stansbury, Ste 222	Farmington Hills	MI	48334-3803	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 4 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
2660 Superior Ct	02-14-02-201-005	Auburn Bus Park Unit 5 Investment	27750 Stansbury, Ste 222	Farmington Hills	MI	48334-3803	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 5 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
2630 Superior Ct	02-14-02-201-006	Auburn Bus Park Unit 6 Investment	2630 Superior Ct	Auburn Hills	MI	48326	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 6 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
2600 Superior Ct	02-14-02-201-007	Auburn Bus Park Unit 7 Investment	7680 Innovation Way	Mason	OH	45040-9695	T3N, R10E, SEC 2 OAKLAND COUNTY CONDOMINIUM PLAN NO 1319 AUBURN BUSINESS PARK CONDO UNIT 7 L 22166 P 244 1-4-01 FR 200-018	1	\$ 67,142.86
Total Parcels Assessed	7						Grand Total		\$ 470,000.00

Certification of Assessor

I, William Griffin, City Assessor, do hereby certify that the roll has been prepared by the Assessor pursuant to the _____, 2024, Resolution of City Council, and that in making the assessments contained in the assessment roll, the Assessor has, as near as may be, according to the Assessor's best judgment, conformed in all respects with the directions contained in the _____, 2024 Resolution of the City Council and the Auburn Hills City Charter and the provisions of Chapter 58 of the Auburn Hills City Code.

Signed _____

Date _____

I hereby certify that on _____, 2024 the City Council of the City of Auburn Hills did confirm the attached special assessment roll.

Signed _____

Date _____

ATTACHMENT B

RESOLUTION APPROVING SPECULATIVE BUILDING DESIGNATION FOR PACIFIC HOLDINGS LLC

At a regular meeting of the City Council of the City of Auburn Hills, Oakland County, Michigan, held in the Council Chamber at 1827 N. Squirrel Road, Auburn Hills Mi, 48326 on the 1st day of April 2024. The following resolution was offered by Councilperson Fletcher and seconded by Councilperson Knight.

Whereas, Mancini Holdings LLC has requested a Speculative Building designation located at 1600 Atlantic Boulevard under the provisions of Public Act 198 of 1974, as amended; and

Whereas, the building is being constructed as a manufacturing facility before the identification of a specific user of the building; and

Whereas, the building has not been occupied; and

Whereas the designation of the building as a Speculative Building would allow future tenants to apply for Industrial Facility Exemption Certificate for real property to be located at 1600 Atlantic Boulevard; and

Whereas, the availability of tax abatement may serve as an inducement for attracting tenants to occupy the building and increase the tax revenues to the City of Auburn Hills,

NOW, THEREFORE, BE IT RESOLVED that the request for Speculative Building Designation for 1600 Atlantic Boulevard is hereby approved with the following conditions,

That the Speculative Building Designation does not constitute approval of an Industrial Facility Exemption Certificate, but serves to give notice that City Council will consider future applications.

AYES: 5 (Ferguson, Fletcher, Hawkins, Knight, Marzolf)
NAYS: None
ABSENT: 2 (McDaniel, Verbeke)
ABSTENTIONS: None

RESOLUTION ADOPTED

STATE OF MICHIGAN)
COUNTY OF OAKLAND)

I, the undersigned, the duly qualified and appointed Clerk of the City of Auburn Hills, Oakland County, Michigan do hereby certify that the foregoing is a true and complete copy of a resolution adopted at a regular meeting of the City Council held on the 1st day of April 2024, the original of which is on file in my office.

IN WITNESS WHEREOF, I have hereunto affixed my official signature on this 2nd day of April 2024.

Laura M. Pierce, City Clerk



PROCLAMATION

PROCLAMATION IN RECOGNITION OF THE 50th ANNIVERSARY OF ABB

WHEREAS, in 1974 ABB began its journey in what would become the industrial robot era; and

WHEREAS, in 1993, ABB opened its North American headquarters facility in Auburn Hills, solidifying their presence in the robotics market; and

WHEREAS, in 2015, ABB opened the manufacturing plant becoming the first global industrial robotics company to fully commit to a North American robotics production footprint; and

WHEREAS, ABB continues to be on the cutting-edge of robotics technology and supports the production of electric vehicles, medical devices, electronics and even pastries; and

WHEREAS, ABB continued to create economic momentum by investing \$20 Million on a recent expansion to their robotics headquarters facility that includes a state-of-the-art Customer Experience Center and training facility; and

WHEREAS, Auburn Hills recognizes the significance of ABB's presence in Auburn Hills due to the demand of robotics technology and ABB's commitment to long-term growth in the U.S. market as well as their continued investment.

NOW, THEREFORE, it is with the highest regard, that the City of Auburn Hills, through its Mayor and City Council, hereby congratulates ABB on the expansion of their U.S. robotics headquarters and manufacturing facility and for 50 years of robotics innovation.

Hereby presented on this 15th day of April
2024, on behalf of the Auburn Hills City
Council.

Brian W. Marzolf, Mayor



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 7A1

DOWNTOWN DEVELOPMENT AUTHORITY

“Not Yet Approved”
CITY OF AUBURN HILLS
DOWNTOWN DEVELOPMENT AUTHORITY INFORMATIONAL MEETING

March 25, 2024

LOCATION: Auburn Hills City Hall – Administrative Conference Room

CALL TO ORDER: Chairman Young called the meeting to order at 5:34 p.m.

ROLL CALL:

Present:	Young, Mayor Marzolf, Jernigan, Wayne and Bachan
Absent:	Casey, Wise, Gaton
Also Present:	Stephanie Carroll, Economic Development Manager
Guests:	None

PERSONS WISHING TO BE HEARD

None.

APPROVAL OF MINUTES

A. Informational Meeting Minutes – February 26, 2024

Moved by Mr. Wayne to approve the DDA Informational Meeting Minutes from February 26, 2024.
Seconded by Ms. Bachan

Motion Carried

B. Regular Meeting Minutes-February 26, 2024

Moved by Mr. Wayne to approve the DDA Regular Meeting from February 26, 2024.
Seconded by Ms. Bachan.

Motion Carried

CORRESPONDENCE AND PRESENTATIONS

None.

FINANCIAL REPORT

A. FY 2024 Adopted Budget and YTD Summary – February 29, 2024

Ms. Carroll reviewed the financial report for the period ending February 29, 2024.

Moved by Ms. Jernigan receive and file the financial report for period ending February 29, 2024.
Seconded by Mr. Bachan.

Motion Carried

UNFINISHED BUSINESS

None.

NEW BUSINESS**A. Election of Officers**

Ms. Carroll called for nominations for the 2024 DDA Chairperson. Mr. Young was nominated by Ms. Jernigan. Nomination was supported by Ms. Bachan. There being no other nominations from the floor, nominations were closed. Ms. Carroll called roll, and there were no objections.

Moved by Mr. Wayne to nominate Mr. Young for DDA Chair.
Seconded by Ms. Bachan.

Yes: Jernigan, Bachan, Marzolf, Wayne, and Young
No: None

Motion Carried

Chairman Young called for nominations for the 2024 DDA Vice Chairperson. Ms. Jernigan was nominated by Mr. Wayne. Nomination was supported by Ms. Bachan. There being no other nominations from the floor, nominations were closed. Ms. Carroll called roll, and there were no objections.

Yes: Jernigan, Bachan, Marzolf, Wayne, and Young
No: None

Motion Carried

B. Procurement of Downtown Public Art Piece

Ms. Carroll reviewed the memo regarding the procurement of a sculpture from Detroit Design Center for the downtown. The art piece proposed will be a greater public art initiative that will add additional art and culture to the downtown. Staff will meet with Mr. Nordin to determine a final location. Approval from the City Council will be necessary since the art piece will be located on city property. The purchase of the art piece was included in the 2024 budget.

Moved by Mr. Wayne to procure the art piece as presented by Detroit Design Center in the not-to-exceed amount of \$30,000 with funding provided in account 248-738-972.000-PUBLIC_ARTXX. Such art piece shall include appropriate mounted and secured installation. Additionally, waive the purchasing ordinance competitive bid requirement and award the procurement to a single source vendor due to the unique nature of the public art project.
Seconded by Ms. Bachan.

Yes: Jernigan, Bachan, Marzolf, Wayne and Young
No: None

Motion Carried

BOARD MEMBER COMMENTS

Mr. Wayne mentioned that the new Cantina El Dorado is open—he's hearing great feedback from people who have visited. Several other DDA members have visited and concur that it's a great addition to the downtown. He also commented that they only have two more office spaces to fill at the Brunswick then they will be full. If you know anyone interested, please have them contact him directly.

Ms. Jernigan complimented Ms. Carroll on the work she does to secure grant funding for important downtown projects, like the public square and other grants from Main Street Oakland County.

EXECUTIVE DIRECTOR UPDATE

Ms. Carroll reminded the Board that the next Board Meeting is scheduled for May 13. Chairman Young asked if we might be able to change the date since he has a conflict.

ADJOURNMENT

Moved by Mr. Wayne to adjourn the DDA Board meeting.

Seconded by Ms. Bachan

Motion Carried

The DDA Board of Directors meeting adjourned at 6:13 p.m.

Respectfully submitted,
Stephanie Carroll
Economic Development Manager



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 7A2
PLANNING COMMISSION



CITY OF AUBURN HILLS PLANNING COMMISSION MINUTES **NOT YET APPROVED**

April 3, 2024

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 7:00 p.m.

ROLL CALL: Present: **Sam Beidoun, Dominick Tringali, Jack Ferguson, Cynthia Pavlich, Laura Ochs, Chauncey Hitchcock, Greg Ouellette**
Absent: Carolyn Shearer, Ray Saelens
Also Present: Director of Community Development Steve Cohen, and Assistant to the Director of Community Development Devin Lang
Guests: 6

LOCATION: Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

3. PERSONS WISHING TO BE HEARD

4. APPROVAL OF MINUTES – March 6, 2024

Moved by Beidoun to approve the minutes of March 6, 2024.

Second by Ferguson.

VOTE: Yes: Beidoun, Ferguson, Ochs, Pavlich, Tringali, Hitchcock, Ouellette

No: None

Motion Carried (7-0)

5. PETITIONERS

5a. Greystone Pickleball Club – Auburn Hills (7:02 p.m.)

Public Hearing/Motion – Recommendation to City Council for combined PUD Step One – Qualification/Step Two – Site Plan approval to construct an indoor recreational facility and event venue.

Mr. Cohen explained that this is a request from Greystone Pickleball Club, LLC for Planned Unit Development Option (PUD) approval to construct a 60,528 square-foot indoor recreational facility and event venue on a 4.7-acre site located east of N. Opdyke, north of Featherstone Road. The development is proposed to occupy three vacant parcels, currently zoned B-2, General Business District and T&R, Technology and Research District. The land was previously used as an overflow parking lot for the former Pontiac Silverdome.

Greystone Pickleball Club, LLC proposed constructing this state-of-the-art 18-court pickleball facility to serve the growing demand for this recreational activity. The facility will also have the flexibility and amenities to host special events like corporate parties and tournaments since it will have a full kitchen and central gathering area.

Staff has recommended the PUD option be used for implementing the proposed project. The site has two zoning districts (B-2 and T&R Districts) and three typical Special Land Use Permit components (indoor recreational facility, event venue, and outdoor seating). Landscape requirements will be met, except for minimum greenspace requirements. A deviation is requested as the site will have 18% greenspace instead of 20%. A high-quality landscape with additional trees and shrubs will be provided.

Greystone Pickleball Club, LLC has also agreed to enter into a Development Agreement with the City to provide a portion of the facility's pickleball court capacity at a twenty percent (20%) discounted rate on all court rentals for Auburn Hills residents and Auburn Hills business residents to be administered by the City's Recreation Department.

The overall investment in the property is estimated at \$13 million, and construction is anticipated to begin this summer and be completed by the summer of 2025.

Patrick Chisholm, Greystone Pickleball Club LLC, Franklin, TN, presented the proposal and was available to answer any questions the Commission had. Mr. Chisholm wanted the Planning Commission to know that he has worked as a developer in many communities nationwide and has never encountered staff as helpful and professional as in Auburn Hills.

The Commission asked about the following:

1. The number of employees expected daily;
2. The adequacy of the number of charging stations;
3. The number of similar developments by the applicant;
4. The access and maintenance agreement for the shared access;
5. Peak hours;
6. The landscaping adjustment and the potential for a precedent;
7. The walking path along Opdyke and potential issues with pedestrians and bicycles;
8. How the event space would work;
9. Open play vs. walk-in use;
10. Anticipated rates.

Mr. Chisholm explained that there will be a combination of full-time and hourly staff. There will be 6-7 full-time staff and approximately 14-15 hourly staff, including eight professionals for instruction. He also stated that they will discuss additional EV charging stations with City staff because there is more parking than required.

Mr. Chisholm stated that while he is a real estate developer, this project is more of a family project and the first one of its kind in which he has been involved. The shared access and maintenance agreement from the site south to Featherstone Road is already in place.

Mr. Chisholm explained that any lull in usage would probably be in the early afternoon. Weekends are anticipated to be the busiest, but with lessons and open play/walk-in use, the peak hours could be spread throughout the day. The expected hours of operation are 7:00 a.m. to 10:00 p.m. This is intended to be a public facility available for events. The owners plan to be active with the Auburn Hills Chamber of Commerce. The interior of the facility will have removable partitions and nets. This will allow the space to be used for various event activities, including weddings, classic car shows, etc.

Mr. Cohen explained that the landscape area adjustment has been done before on other projects and does not set a precedent.

Mr. Chisholm acknowledged that pedestrian traffic concerns are an issue with every development, and it is necessary to educate the public.

Mr. Chisholm explained pickleball's player skill level system and the difference between open play and walk-in. There will also be league and tournament play opportunities. Most facilities charge \$10/hour per person.

Mr. Ouellette opened the public hearing at 7:20 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 7:20 p.m.

**Moved by Hitchcock to recommend to City Council approval of the combined PUD Step One – Concept Plan and PUD Step Two – Site Plan for the Greystone Pickleball Club – Auburn Hills subject to the conditions of the City's Administrative Review Team.
Second by Ferguson.**

VOTE: Yes: Ochs, Hitchcock, Tringali, Beidoun, Ferguson, Pavlich, Ouellette
No: None

Motion Carried (7-0)

6. UNFINISHED BUSINESS – None.

7. NEW BUSINESS – None.

8. COMMUNICATIONS

Mr. Cohen stated that one project, Penske Vehicle Services, is anticipated to be considered at the May 8, 2024 meeting.

9. NEXT SCHEDULED MEETING

The next scheduled meeting is on Wednesday, May 8, 2024 at 7:00 p.m. in the Auburn Hills Council Chambers.

10. ADJOURNMENT

There being no further business, Chairperson Ouellette adjourned the meeting at 7:25 p.m.

Submitted by:

Susan McCullough, MiPMC III, CMC

Recording Secretary



CITY OF AUBURN HILLS

CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 7B

RECREATION & SENIOR SERVICES

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Pauline Beckett, Assistant Director Recreation & Senior Services
Submitted: April 9, 2024
Subject: Motion – Approval for CDBG 2024 Lawn Service Contract

INTRODUCTION AND HISTORY

The Lawn Service Program is a part of the Community Development Block Grant Program (CDBG), which is a federally funded program by Housing Urban Development (HUD) and Oakland County Neighborhood and Housing Development and administrated through the Recreation and Senior Services Department. The Lawn Service Program is part of the CDBG grant program under the category of Public Services, which also includes the Snow Removal Program.

This program is for income-eligible senior citizens, ages 65 or older and disabled homeowners who need assistance with lawn mowing. Participants must own and reside in the home year-round and be unable to mow their lawn or have a household member physically unable to mow the lawn.

Eligible participants must register each year for the service and provide income documentation such as previous year's tax forms and current Social Security Statement. The grid below shows maximum guidelines.

Persons Per Household	Maximum Total Household Income
1	\$33,000
2	\$38,000
3	\$43,000
4	\$47,000

On March 7, 2024, staff posted on the Michigan intra-Governmental Trade Network (MITN) an Invitation To Bid (ITB) to provide lawn mowing and a onetime spring cleanup service for eligible residents in the city CDBG program. The deadline to submit proposals was March 21, 2024. CDBG requires at least three separate quotes for services over \$10,000. If less than three bids are received, we are required to reissue another ITB.

The program guidelines provide a onetime spring cleanup service and lawn mowing every other week to all eligible participants. Participants are responsible for mowing on the non-mowing weeks of this program.

Three bids were received from Luxury Lawn and Snow, C-care Lawn services and S & H Lawn and Snow companies.

Company Name	Address	Total Bid Amount
Luxury Lawn and Snow LLC	28240 Farmington Rd., Farmington Hills	\$44,060.00
C-Care Lawn Services	1950 S. Rochester Rd., Rochester Hills	\$52,260.00
S & H Lawn & Snow LLC	3124 Lincolnview, Auburn Hills	\$33,380.00

Two of these companies we have used in the past for this program, both with positive results. The CDBG guidelines for awarding a contract is to accept the lowest qualified and reasonable bidder.

If we do not award the contract to the lowest bidder, we must make sure we have valid reasons for not accepting the lowest bid and document our reason in the records.

The low-bid company, S & H Lawn and Snow, has several years' experience of providing lawn and snow removal services including providing this service to our Auburn Hills residents through the 2023 CDBG Lawn Service Program. This company not only provided exceptional service to our residents in 2023, but they also communicated well with staff and were timely in billing for services provided. We received numerous calls from residents about S & H Lawn and Snow complimenting the company on their friendly, reliable, and effective service.

Staff talked to S & H Lawn and Snow about providing this service for the 2024 season and confirmed that they had enough staff and met all qualifications to provide lawn service.

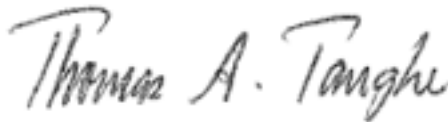
STAFF RECOMMENDATION

Staff is recommending the award of the CDBG Lawn Service Program 2024 contract to S & H Lawn and Snow in the amount of \$33,380.00 following CDBG procurement and Public Service contract guidelines.

MOTION

Move to award of the CDBG Lawn Service Program 2024 contract to S & H Lawn and Snow in the amount of \$33,380.00 following CDBG procurement and Public Service contract guidelines.

I CONCUR:



THOMAS A. TANGHE, CITY MANAGER

BID ITEM:

BID OPENING DATE:

BID OPENING TIME:

ATTENDED BY:

YARD MAINTENANCE BID FOR CDBG RESIDENTIAL LAWN SERVICE PROGRAM


March 21, 2024

10:00 AM

Ries, Monroy, Klassen



COMPANY NAME	ADDRESS		Mobile Homes Lots	Avg residential lots 100 x 180	Lots over 100 x 180 or corner lot up to 1.5 acres	Spring Clean Up
			mobile home lots 100 x 180 = \$50.00 Lots over 100 x 180 or corner lot up to 1.5 acres = \$80.00			
Luxury Lawn and Snow LLC	28240 Farmington Rd., Farmington Hills			\$50.00	\$80.00	\$150.00
Schultz - S&H Lawn & Snow, LLC	3124 Lincolnview, AH		\$35.00	\$45.00	\$55.00	\$45.00
C-Care Lawn Services	1950 S. Rochester Rd, Rochester Hills		\$48.00	\$58.00	\$110.00	\$180.00

 Mailboxes have been checked for bids that may have been mailed in

also send results to:

Adcock, Beckett



CITY OF AUBURN HILLS

CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 7C

POLICE DEPARTMENT

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Ryan Gagnon, Chief of Police
Submitted: April 10, 2024
Subject: Motion – Approval of the Oakland County Tactical Consortium Interlocal Agreement

INTRODUCTION AND HISTORY

In 2009, the Oakland County Law Enforcement – Tactical Consortium (Oak-TAC) was established to coordinate a countywide training initiative to prepare Oakland County in the event of a major incident requiring a mutual aid response. As this workgroup has progressed, we have had a dedicated group of state, county, and local officers come together in this joint effort.

The training initiative of the Oakland County Tactical Consortium consists of training in Small Squad Tactics – Mobile Field Force, and a standardized method of Rapid Deployment – Active Shooter Response. Currently, the members of the executive board are representatives from the Oakland County Sheriff's Office, Troy Police Department, Berkley Department of Public Safety, and the Auburn Hills Police Department. Lieutenant Jeremy Stubbs currently serves as the secretary for this workgroup.

In 2012, an Interlocal Agreement formally establishing the Oakland County Tactical Consortium was prepared by the Troy City Attorney's Office and participating agencies adopted the agreement after approval from their respective governing bodies. Currently every law enforcement agency in Oakland County is a member of Oak-TAC. The Interlocal Agreement has been updated to clean up existing language in the document, add three "trustee" positions to the board, and allow the board to appoint a fiduciary, which will be Oakland County Emergency Management.

This updated agreement is required to be presented for consideration and approval to all local units of government in Oakland County, who participate in Oak-TAC. The agreement has been reviewed by City Attorney Beckerleg and is in proper order for your consideration and approval.

STAFF RECOMMENDATION

Staff recommends approval of the updated Oakland County Tactical Consortium Inter-Local Agreement.

MOTION

Move to approve the updated Oakland County Tactical Consortium Inter-Local Agreement and authorize the Chief of Police to sign the agreement.

I CONCUR:

A handwritten signature in cursive script that reads 'Thomas A. Tanghe'.

THOMAS A. TANGHE, CITY MANAGER

OAKLAND COUNTY TACTICAL CONSORTIUM AGREEMENT

This Agreement is made and entered into by and among the undersigned entities, which are collectively referred to in this Agreement as the “Members” or individually as a “Member”.

In 2012, certain Members entered into an Interlocal Agreement Formally Establishing the Oakland County Tactical Training Consortium (OAK-TAC), and they now wish to amend and replace the existing agreement by executing this Agreement.

Members may include law enforcement agencies, other governmental entities, and non-governmental entities who share a common interest in the goals of OAK-TAC.

The purpose of this Agreement is to establish and document an organizational framework of collaboration and cooperation for OAK-TAC and its Members, who have a common interest in coordinating and standardizing training, communication, policies, and tactical response and recovery techniques.

In consideration of the mutual promises, obligations, representations, and assurances in this Agreement, the Members agree to the following:

1. **DEFINITIONS.** The following words and expressions used throughout this Agreement, whether used in the singular or plural, shall be defined, read, and interpreted as follows:
 - a. **Agreement** means the terms and conditions of this Agreement and any other mutually agreed to written and executed modification, amendment, exhibit and attachment.
 - b. **Board** means OAK-TAC’s Board of Directors.
 - c. **Claims** mean any alleged losses, claims, complaints, demands for relief or damages, lawsuits, causes of action, proceedings, judgments, deficiencies, liabilities, penalties, litigation, costs, and expenses, including, but not limited to, reimbursement for reasonable attorney fees, witness fees, court costs, investigation expenses, litigation expenses, amounts paid in settlement, and/or other amounts or liabilities of any kind which are incurred by or asserted against a Member, or for which a Member may become legally and/or contractually obligated to pay or defend against, whether direct, indirect or consequential, whether based upon any alleged violation of the federal or the state constitution, any federal or state statute, rule, regulation, or any alleged violation of federal or state common law, whether any such claims are brought in law or equity, tort, contract, or otherwise, and/or whether commenced or threatened.
 - d. **Day** means any calendar day beginning at 12:00 a.m. and ending at 11:59 p.m.
 - e. **Fiduciary Member** means a Non-Voting or Voting Member appointed by the Board.
 - f. **Non-Voting Member** means an OAK-TAC Member that signs this Agreement and is not a law enforcement agency in Oakland County.
 - g. **Voting Member** means an OAK-TAC Member that signs this Agreement and is a law enforcement agency in Oakland County.
2. **AGREEMENT EXHIBITS.** The attached Exhibit A, Oakland County Tactical Consortium Bylaws (“Bylaws”), and any amendments thereto, are incorporated into and part of this Agreement.

3. **PURPOSE & OBJECTIVES OF OAK-TAC.** The purpose and objectives of OAK-TAC are as follows:
 - a. to provide professional training and leadership to law enforcement personnel;
 - b. to establish and implement cooperative programs and activities for training and response in small squad tactics and use of weapons, such as, but not limited to, hostage situations, events requiring use of special weapons and tactics ("SWAT"), Mobile Field Force, active assailant and terrorist situations, and Homeland Security Defense;
 - c. to promote education and safety in the use of special tactics;
 - d. to establish a forum for the free exchange of ideas regarding training by various law enforcement personnel; and
 - e. to establish coordinated response and recovery protocols, policy recommendations, and training for significant events requiring a multi-agency law enforcement response, as permitted in the Mutual Aid Agreement implemented by the Oakland County Chiefs of Police organization.
4. **POWERS OF THE BOARD.** The Board of Directors shall have the power and duty to establish policies and procedures for meetings; to determine topics of training; to implement training programs; to select training instructors and personnel; to provide for equipment, protective gear and venues for training; to schedule dates and times for training; to establish criteria for those eligible for specific trainings; to establish communication protocol between multiple agencies; to resolve disputes between or among Members; and to call for investigations of incidents involving the Members. The Board shall also have any other power or duty that has not been delegated to the Members in this Agreement and in the Bylaws.
5. **NON-EXCLUSIVE TRAINING.** No Member is obligated by this Agreement to use OAK-TAC exclusively for training and is expressly allowed to train internally or participate in other training programs.
6. **FUNDING.** OAK-TAC and its Board of Directors are not legal entities, so the Board shall appoint a Fiduciary Member, according to the process herein. The Fiduciary Member shall receive any income generated by OAK-TAC through its Members' dues and training events. The Fiduciary Member shall not decide the allocation of funds. The allocation of OAK-TAC funds shall be decided by the Board.
7. **NEW MEMBERSHIP.** An entity that wishes to become a Member of OAK-TAC must make its request to the Board Secretary. Membership shall be approved upon a two-thirds (2/3) vote of the Voting Members. If approved, that entity must become a signatory and execute this Agreement within 6 months of approval by the Board to become a Member of OAK-TAC.
8. **DUES.** All Members shall be responsible for annual dues. Different rates will be set for Non-Voting and Voting Members. The rates shall be set and approved upon a two-thirds (2/3) vote of the Voting Members.
9. **COMPENSATION.** No Members, including Board Members, shall receive any compensation from OAK-TAC for the performance of their duties. However, a Member may be reimbursed for costs that Member incurred as a result of business meetings or other expenses directly related to OAK-TAC activities, if such costs are approved by the Board.
10. **MEMBER INSURANCE REQUIREMENTS.** Each Member shall have adequate insurance or self-insurance coverage to protect it from any Claims arising under or related to this Agreement and its participation in OAK-TAC.

11. **REMOVAL OF MEMBERS.** A Member may be removed upon a two-thirds (2/3) vote of the Voting-Members. The removed Member shall not receive any refund or compensation from OAK-TAC.
12. **DURATION OF AGREEMENT.**
- a. This Agreement and any amendments hereto shall be effective when executed by the Members. Voting and Non-Voting Members that are governmental entities must also have resolutions passed by their governing bodies, and this Agreement and any amendment must be filed in accordance with MCL 124.510. The approval and terms of this Agreement and any amendments hereto shall be entered into the official minutes of each governmental entities' governing bodies.
 - b. This Agreement shall remain in effect for so long as two or more Voting Members remain and the Agreement is not terminated in accordance with Section 13.b.
13. **TERMINATION OR CANCELLATION OF AGREEMENT.**
- a. Any Member may terminate their participation in OAK-TAC and withdraw from OAK-TAC for any reason upon a minimum of 30 Days' written notice before the effective date of termination or cancellation. The written notice must be sent to all of the Board Members, and the effective date for termination or cancellation shall be clearly stated in the notice. The terminating Member shall not receive any refund or compensation from OAK-TAC.
 - b. This Agreement shall be terminated upon a unanimous vote of all Voting Members.
14. **ASSETS UPON TERMINATION.** Upon termination of this Agreement, any expenses or outstanding liabilities shall be paid with OAK-TAC's funds. Any remaining funds shall be distributed to the existing Members on an equitable basis, as determined by the Board.
15. **AGREEMENT MODIFICATION OR AMENDMENT.** Any modifications, amendments, restatements of this Agreement, rescissions, waivers, or releases to this Agreement must be in writing and agreed to by all Members. Unless otherwise agreed, the modification, amendment, reinstatement, rescission, waiver, or release shall be signed by the same persons who signed the Agreement or other persons authorized by law. Notwithstanding the language herein, an amendment to add an additional member pursuant to Section 7 shall only require the additional member to become a signatory to this Agreement and they must forward their signature page to the Board.
16. **NO EMPLOYER-EMPLOYEE RELATIONSHIP.** This Agreement does not establish an employer-employee relationship between the Members (including the Board). No liability, right, or benefit associated with any employer-employee relationship shall be implied by the terms of this Agreement or the services or training performed pursuant to this Agreement.
17. **LIABILITY FOR MEMBER EMPLOYEES.** Each Member shall be responsible and liable for any disability and workers' compensation benefits, including derivative benefits, dependent benefits or other benefits related to disability and workers' compensation benefits, for its own employees.
18. **COMPLIANCE WITH LAWS.** Each Member shall comply with all federal, state, and local statutes, ordinances, regulations, administrative rules, and requirements applicable to its activities performed under this Agreement.
19. **PERMITS AND LICENSES.** Each Member shall be responsible for obtaining and maintaining, throughout the term of this Agreement, all licenses, permits, certificates, and governmental authorizations for its employees and/or agents necessary to perform all of its obligations under this

Agreement. Upon request by the Board, a Member shall furnish copies of any permit, license, certificate, or governmental authorization to the Board.

20. **ASSURANCES.**

- a. **Responsibility for Claims.** Each Member shall be responsible for any Claims made against that Member by a third party, and for its own acts and the acts of its employees, agents, and subcontractors arising under or related to this Agreement.
- b. **Responsibility for Attorney Fees and Costs.** In any Claim that may arise from the performance of this Agreement, each Member shall seek its own legal representation and bear the costs associated with such representation, including judgments and attorney fees.
- c. **No Indemnification.** No Member shall have any right under this Agreement or under any other legal principle to be indemnified or reimbursed by any other Member or any of its agents in connection with any Claim.
- d. **Authorization and Completion of Agreement.** The Members have taken all actions and secured all approvals necessary to authorize and complete this Agreement. The persons signing this Agreement on behalf of each Member have legal authority to sign this Agreement and bind the Members to the terms and conditions contained herein.

21. **DISCRIMINATION.** Members shall not discriminate against an employee or an applicant for employment in hiring, any terms and conditions of employment or matters related to employment regardless of race, color, religion, sex, sexual orientation, gender identity or expression, national origin, age, genetic information, height, weight, disability, veteran status, familial status, marital status or any other reason, that is unrelated to the person's ability to perform the duties of a particular job or position, in accordance with applicable federal and state laws.

22. **DELEGATION OR ASSIGNMENT.** No Member shall delegate or assign any obligations or rights under this Agreement without the prior written consent of the other Members.

23. **RESERVATION OF RIGHTS.** This Agreement does not, and is not intended to, impair, divest, delegate or contravene any constitutional, statutory, and/or other legal right, privilege, power, obligation, duty, or immunity of the Members. Nothing in this Agreement shall be construed as a waiver of governmental immunity for any Member.

24. **NO THIRD-PARTY BENEFICIARIES.** Except as provided for the benefit of the Members, this Agreement does not and is not intended to create any obligation, duty, promise, contractual right or benefit, right to indemnification, right to subrogation, and/or any other right in favor of any other person or entity.

25. **NO IMPLIED WAIVER.** Absent a written waiver, no act, failure, or delay by a Member to pursue or enforce any rights or remedies under this Agreement shall constitute a waiver of those rights with regard to any existing or subsequent breach of this Agreement. No waiver of any term, condition, or provision of this Agreement, whether by conduct or otherwise, in one or more instances shall be deemed or construed as a continuing waiver of any term, condition, or provision of this Agreement. No waiver by any Member shall subsequently affect its right to require strict performance of this Agreement.

26. **SEVERABILITY.** If a court of competent jurisdiction finds a term or condition of this Agreement to be illegal or invalid, then the term or condition shall be deemed severed from this Agreement. All other terms, conditions, and provisions of this Agreement shall remain in full force.

27. **CAPTIONS.** The section and subsection numbers, captions, and any index to such sections and subsections contained in this Agreement are intended for the convenience of the reader and are not intended to have any substantive meaning. The numbers, captions, and indexes shall not be interpreted or be considered as part of this Agreement. Any use of the singular or plural, any reference to gender, and any use of the nominative, objective or possessive case in this Agreement shall be deemed the appropriate plurality, gender or possession as the context requires.
28. **NOTICE.** Any written notice required or permitted under this Agreement shall be considered delivered to a Member as of the date that such notice is deposited, with sufficient postage, with the U.S. Postal Service, or the next business day with a written response or receipt of confirmation, if sent by e-mail. Each Member is responsible for ensuring the Board has its updated physical and e-mail addresses for notice under this Agreement. The Board will maintain this list and provide it to a Member upon request.
29. **GOVERNING LAW/CONSENT TO JURISDICTION AND VENUE.** This Agreement shall be governed, interpreted, and enforced by the laws of the State of Michigan. Except as otherwise required by law or court rule, any action brought to enforce, interpret, or decide any Claim arising under or related to this Agreement shall be brought in the 6th Judicial Circuit Court of the State of Michigan, the 50th District Court of the State of Michigan, or the United States District Court for the Eastern District of Michigan, Southern Division, as dictated by the applicable jurisdiction of the court. Except as otherwise required by law or court rule, venue is proper in the courts set forth above.
30. **SURVIVAL OF TERMS.** The Members understand and agree that all terms and conditions of this Agreement that require continued performance, compliance, or effect beyond the termination date of the Agreement shall survive such termination date and shall be enforceable in the event of a failure to perform or comply.
31. **COUNTERPARTS & ELECTRONIC SIGNATURE.** This Agreement, including any amendments, may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same document. In making proof of this Agreement, and any amendments, it shall not be necessary to produce or account for more than one such counterpart executed by the Member against whom enforcement of this Agreement is sought. Signature to this Agreement transmitted by facsimile transmission, by electronic mail in portable format (".pdf") form, or by any other electronic means intended to preserve the original graphic and pictorial appearance of a document, will have the same force and effect as physical execution and delivery of the paper document bearing the original signature.
32. **ENTIRE AGREEMENT.** This Agreement represents the entire agreement and understanding between the Members, and supersedes all other prior oral or written understandings, communications, agreements, or contracts between the Members. The language of this Agreement shall be construed as a whole according to its fair meaning and not construed strictly for or against any Member.

IN WITNESS WHEREOF, David Woodward, Chairperson, Oakland County Board of Commissioners, hereby acknowledges that he has been authorized by a resolution of the Oakland County Board of Commissioners to execute this Agreement on behalf of Oakland County, and hereby accepts and binds Oakland County to the terms and conditions of this Agreement.

EXECUTED: _____ DATE: _____
David Woodward, Chairperson
Oakland County Board of Commissioners

WITNESSED: _____ DATE: _____
Oakland County Board of Commissioners
County of Oakland

OAKLAND COUNTY SHERIFF'S OFFICE

By: _____
Print Name: Michael J. Bouchard
Title: Sheriff
Date: _____

IN WITNESS WHEREOF, [insert name and title of public body official] hereby acknowledges that he/she has been authorized by a resolution of the [insert public body], a certified copy of which is attached, to execute this Agreement on behalf of Public Body and hereby accepts and binds Public Body to the terms and conditions of this Agreement.

EXECUTED: _____ DATE: _____
[insert name of official, title, and name of public body]

WITNESSED: _____ DATE: _____
[insert name, title]

(INSERT ENTITY'S NAME)

By: _____
Print Name: _____
Title: _____
Date: _____

EXHIBIT A

BYLAWS OF OAKLAND COUNTY TACTICAL CONSORTIUM

ARTICLE I

Name, Purpose, and Definitions

- 1.1. Name. The name of this Consortium shall be the “Oakland County Tactical Consortium”, also referred to as “OAK-TAC”.
- 1.2. Purpose and Objectives. The purpose and objectives of OAK-TAC are as follows:
 - a. to provide professional training and leadership to law enforcement personnel;
 - b. to establish and implement cooperative programs and activities for training and response in small squad tactics and use of weapons, such as, but not limited to, hostage situations, events requiring use of special weapons and tactics (“SWAT”), Mobile Field Force, active assailant and terrorist situations, and Homeland Security Defense;
 - c. to promote education and safety in the use of special tactics;
 - d. to establish a forum for the free exchange of ideas regarding training by various law enforcement personnel; and
 - e. to establish coordinated response and recovery protocols, policy recommendations, and training for significant events requiring a multi-agency law enforcement response, as permitted in the Mutual Aid Agreement implemented by the Oakland County Chiefs of Police organizations.
- 1.3. Definitions. Any words or expressions defined in the Oakland County Tactical Consortium Agreement shall have the same meaning in these Bylaws.

ARTICLE II

Membership

- 2.1. Request for Membership. Any political subdivision in Oakland County that has law enforcement personnel and provides law enforcement services may be eligible to become a Voting Member of OAK-TAC. This includes colleges and universities in Oakland County that provide public safety coverage through the use of sworn police personnel. Any other legal entity whose membership would benefit OAK-TAC through training, partnerships, or other supporting functions, may be eligible to become a Non-Voting Member of OAK-TAC.

All requests for membership shall be made in writing to the Secretary of OAK-TAC stating the prospective member’s ability to meet all of the requirements set forth in the Agreement. The request must be made by an authorized signor from the prospective member.

- 2.2. Receipt of Membership Request. The Secretary shall send a copy of the request for membership to each Voting Member. The request shall appear on the agenda for discussion at the first regular or special meeting held after receipt of the request.
- 2.3. Approval. Approval of membership shall be granted upon a two-thirds (2/3) vote of the Voting Members. Upon approval, the prospective member can execute the Agreement in accordance with the terms therein to become a Member.
- 2.4. Removal. A Member may be removed upon a two-thirds (2/3) vote of the Voting-Members. The removed Member shall not receive any refund or compensation from OAK-TAC.
- 2.5. Withdrawal. Any Member may terminate their participation in OAK-TAC and withdraw from OAK-TAC for any reason upon a minimum of 30 Days' written notice before the effective date of termination or cancellation. The written notice must be sent to all of the Board Members, and the effective date for termination or cancellation shall be clearly stated in the notice. The terminating Member shall not receive any refund or compensation from OAK-TAC.
- 2.6. Representation. Each Voting Member shall be represented by its Sheriff, Chief of Police, Director of Public Safety, Chief Executive Officer, or a designee of the Sheriff, Chief of Police, Director of Public Safety, or Chief Executive Officer.
- 2.7. Voting. Each Voting Member, or designated representative, present at a meeting, shall have one (1) vote on all items brought before the Board for Voting Members, and must be present in person at the meeting to cast their vote.
- 2.8. No Compensation. No Members, including Board Members, shall receive any compensation from OAK-TAC for the performance of their duties. However, a Member may be reimbursed for costs that Member incurred as a result of business meetings or other expenses directly related to OAK-TAC activities, if such costs are approved by the Board.

ARTICLE III

The Board, the Officers, and the Fiduciary Member

- 3.1. Officers. The Board shall consist of the following Officers: President, Vice President, Secretary, Treasurer, and three Trustees.
- 3.2. Term of Office. Each Officer's term of office shall be from January 1st to December 31st of each year, until such successor is duly elected.
- 3.3. Election of Officers. The election of Officers shall be conducted at the first regularly scheduled meeting where a quorum is present after September 30th of each year. Officers elected before January 1st shall take office on January 1st. If there is not a quorum at a regularly scheduled meeting between September 30th and December 31st of any year, the Officers of OAK-TAC shall be elected at the first regularly scheduled meeting when a quorum is present after January 1st, and the Officers shall commence their terms immediately. Officers shall be elected by a majority vote of the Voting Members present and voting at a duly constituted meeting.

- 3.4. Vacancies. If an Officer vacates their position mid-term for any reason, nominations shall be made and voted on at the next regularly scheduled meeting or at a special meeting called by the President, or, in the President's absence, the Vice President of OAK-TAC.
- 3.5. Removal. An Officer may be removed from the Board with or without cause upon a two-thirds (2/3) vote of the Voting Members.
- 3.6. Duties of Officers. The President shall be the chief Officer of OAK-TAC. The President shall preside over all meetings of OAK-TAC and set the meeting agenda. The President shall call meetings as necessary, as requested by a majority of the Voting Members, or on an emergency basis. The President shall also have the power to appoint an at-large member or members to assist the Board with special projects or assignments during their term in office.

The Vice President shall assume the duties of the President if the President is absent or unavailable for any reason.

The Secretary shall assume the duties of the President if the President and the Vice President are absent or unavailable. The Secretary shall keep the records and minutes of OAK-TAC and shall provide each Member of OAK-TAC with a copy of the meeting minutes from the last meeting in advance of the next regularly scheduled meeting. The Secretary shall also maintain a roster of Members (with their physical and e-mail addresses), the Agreement, these Bylaws, and all other OAK-TAC documentation. It shall be the Secretary's duty to receive and acknowledge all communications of OAK-TAC, and perform such duties as assigned by the President.

The Treasurer shall be responsible for the management and oversight of the financial affairs, including facilitating the adoption of an annual budget, completing invoices, as well as reviewing and approving the payment of expenses by the Fiduciary Member.

The Trustees shall only have the power to vote.

- 3.7. Powers of the Board. The Board of Directors shall have the power and duty to establish policies and procedures for meetings; to determine topics of training; to implement training programs; to select training instructors and personnel; to provide for equipment, protective gear and venues for training; to schedule dates and times for training; to establish criteria for those eligible for specific trainings; to establish communication protocol between multiple agencies; to resolve disputes between or among Members; to call for investigations of incidents involving the Members. and to perform any other function stated in the Agreement and these Bylaws. The Board shall also have any other power or duty that has not been delegated to the Members in the Agreement and in these Bylaws.
- 3.8. The Fiduciary Member. The Fiduciary Member of OAK-TAC shall be appointed upon a two-thirds (2/3) vote of the Board. The Fiduciary Member shall be the custodian and sole depositor of OAK-TAC's funds and shall disburse such funds as herein authorized or upon approval of the Board. The Fiduciary Member shall render a complete summary of any income, disbursements, and balances, whenever requested by the Board, and to the Members at each regularly scheduled meeting. A written copy of the same shall be made available to any Member upon request.

ARTICLE IV

Meetings

- 4.1. Regular Meetings. Regular meetings of OAK-TAC shall be held on dates approved by the Board that shall allow the majority of Voting Members to attend.
- 4.2. Special Meetings. Special meetings of OAK-TAC may be called by the President, or by a majority vote of the Voting Members. The place and time shall be determined by the President. Members must receive at least five (5) days' notice with the place and time of the special meeting stated in the notice.
- 4.3. Rules of Order. The most recently published version of Robert's Rules of Order shall be the parliamentary authority of the Board and shall govern proceedings of the Board and its Committees. Bylaws adopted by the Board that conflict with Robert's Rules of Order shall supersede any conflicting rules.
- 4.4. Motions requiring special procedures. All proposed motions for termination of OAK-TAC or decisions regarding assessments and/or dues to each Member must be announced at a meeting at least one month prior to the meeting where a vote on such a motion is scheduled.
- 4.5. Quorum. Unless otherwise stated herein, a quorum shall be required for the conduct of any business at regular or special meetings. A quorum for an action of the Voting Members shall be the minimum number of Voting Members required to pass that item. A quorum for an action of the Board shall be five (5) Officers; however, unless otherwise stated herein, approval of any item before the Board shall only require a majority vote of the Board.
- 4.6. Attendance. Any Voting Member whose designated representative fails to attend three (3) consecutive meetings of OAK-TAC within one calendar year should be notified of such absences by the Secretary.
- 4.7. Fiduciary Duties. Members are under a fiduciary duty to conduct the activities and affairs of OAK-TAC in the best interests of OAK-TAC. The Members shall discharge this duty in good faith. In the event that any Members of OAK-TAC, including the Board, are faced with a conflict of interest between their fiduciary duty to OAK-TAC and the duty owed to their organization, those Members should refrain from voting on the issue that presents a conflict of interest.

ARTICLE V

Dues, Fees, and Other Charges

- 5.1. Dues. All Members will be responsible for annual dues. Different rates will be set for Non-Voting and Voting Members. The rates and due dates shall be set and approved upon a two-thirds (2/3) vote of the Voting Members.

- 5.2. Fees and Other Charges. Fees or other charges assessed by OAK-TAC, including any conditions of payment (i.e., due dates), shall be set and approved upon a two-thirds (2/3) vote of the Voting Members.
- 5.3. Failure to Pay. The failure of any Member to pay dues, fees, or other charges within ninety (90) days of the due date may result in that Member's forfeiture from OAK-TAC without a vote. Reinstatement shall be granted upon a two-thirds (2/3) vote of the Voting Members and payment of all arrears.
- 5.4. Annual Dues will not be Prorated. If new prospective members are accepted for Membership after the annual dues have been assessed for that year, they will not be responsible for the annual dues that year. The new Members will be responsible for annual dues starting the following year.

ARTICLE VI

Committees

Special Committees and Sub-Committees. The Board may establish such committees and sub-committees as necessary to conduct the OAK-TAC's business. Ad hoc committees may be established by a majority vote of the Board for short-term purposes; however, any committee whose active work continues for greater than one (1) year shall be considered a standing committee, except by majority vote of the Board. Standing committees may be established by a majority vote of the Board.

ARTICLE VII

Amendments

- 7.1. Requirements. These Bylaws may be amended at any regular or special meetings of the Board by a two-third (2/3) vote of the Voting Members and in the following manner:
- a. Any Voting Member in good standing at a regular meeting may propose an amendment, alteration, revision, or addition to these Bylaws.
 - b. A written copy of the proposed amendment, alteration, revision, or addition shall be filed with the Secretary.
 - c. The Secretary shall include the proposed amendment, alteration, revision, or addition in the minutes, and read the proposal at two successive meeting, and it shall be voted upon at the second successive meeting.
- 7.2. Effective Date. Amendments to these Bylaws shall be effective thirty (30) days after they are approved; unless a longer period of time is designated by a majority vote of the Board.



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 7D
CITY MANAGER'S OFFICE

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Andrew Hagge, Assistant to the City Manager
Submitted: April 11, 2024
Subject: Motion – To adopt the Resolution Supporting the Revenue Sharing Trust Fund

INTRODUCTION AND HISTORY

The City of Auburn Hills receives revenues from the State of Michigan via State Revenue Sharing. State revenue sharing is divided into two parts, constitutional and statutory. The revenues that Auburn Hills, and other municipalities receive, come from the revenue derived from State sales tax. The constitutional part remains unchanged each year. The statutory part, however, is subject to change and often redirected to fund other parts of the state budget.

The Michigan Municipal League (MML), a nonprofit association of municipalities and municipal leaders, has provided reliable data for every community that includes the total statutory funding amount for each municipality compared to what each community actually received in statutory revenue sharing payments. Their data spans from 2003 to 2017, which is referenced in the attached resolution.

STAFF RECOMMENDATION

There is currently strong, bipartisan support for this legislation in Lansing. Additionally, this legislation will help to guarantee that local governments consistently receive the fully funded statutory revenue sharing amount. Staff recommends that the resolution in support of the Revenue Sharing Trust Fund be adopted by the City Council.

MOTION

Move to adopt the resolution supporting the Revenue Sharing Trust Fund.

I CONCUR:

A handwritten signature in black ink that reads 'Thomas A. Tanghe'.

THOMAS A. TANGHE, CITY MANAGER



**RESOLUTION SUPPORTING STATUTORY REVENUE SHARING REFORM
“REVENUE SHARING TRUST FUND”**

At a regular meeting of the City Council of the City of Auburn Hills, Oakland County, Michigan, held in the City Council Chamber at 1827 N. Squirrel Road, Auburn Hills, MI 48326 at 7:00 PM, on the 15th day of April, 2024. The following resolution was offered by Council Member ____ and seconded by Council Member ____:

- WHEREAS,** The City of Auburn Hills, along with other local units of government, rely upon State Revenue Sharing to provide general fund services to its residents; and
- WHEREAS,** State revenue sharing in Michigan is divided into two types: constitutional and statutory, with the latter being subject to legislative appropriations; and
- WHEREAS,** Through the State government’s annual appropriation process, actual statutory revenue-sharing payments to cities, villages, townships, and counties have been below full funding each year since 2001; and
- WHEREAS,** In 2017, for example, the City of Auburn Hills received \$458,735 less in statutory revenue-sharing payments than it did in 2003; and
- WHEREAS,** This reduction in statutory revenue sharing is a cumulative \$8,004,837 over the period beginning in 2003 and ending in 2017, for which the City of Auburn Hills has reliable data from the Michigan Municipal League, that has placed an undue financial strain on the City of Auburn Hills and other Michigan cities, resulting in a reduction of essential services or increased local taxation, both of which adversely affect residents; and
- WHEREAS,** The 2023 State budget allocated \$530 million in Statutory Revenue Sharing to be distributed to all cities, villages, townships, and counties through its annual appropriation process; and
- WHEREAS,** In October 2023, The State House of Representatives voted 106-4 to amend the Michigan Trust Fund Act and the General Sales tax Act, respectively, to establish a “Revenue Sharing Trust Fund” that would distribute money from sales tax revenue to local units of government; and
- WHEREAS,** The act creates a stable and predictable revenue source by dedicating a portion of sales tax revenue for annual statutory revenue sharing payments dedicated for cities, villages, townships, and counties; and

NOW, THEREFORE BE IT RESOLVED, that the Mayor and City Council of Auburn Hills hereby ask our State Representatives and Governor Whitmer's administration to support the adoption of House Bills 4274 and 4275.

BE IT FURTHER RESOLVED, that the City Clerk's Office provide certified copies of this Resolution to State Representatives Carter and Steele, Senator Moss, and Governor Whitmer.

STATE OF MICHIGAN)
COUNTY OF OAKLAND)

I, Laura M. Pierce, the duly qualified and appointed City Clerk of the City of Auburn Hills, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of a Resolution adopted at a regular meeting of the Auburn Hills City Council held on the 15th day of April, 2024, the original of which is on file in my office.

In witness whereof, I have hereunto affixed my official signature on this ____ day of ____, 2024.

Laura M. Pierce
City Clerk



CITY OF AUBURN HILLS CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 9A

COMMUNITY DEVELOPMENT

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Steven J. Cohen, AICP, Director of Community Development
Submitted: April 5, 2024
Subject: Greystone Pickleball Club - Auburn Hills
Motion – Approval of combined PUD Step One – Qualification / Step Two – Site Plan

INTRODUCTION

This is a request from Greystone Pickleball Club, LLC for Planned Unit Development Option (PUD) approval to construct a 60,528-square-foot indoor recreational facility and event venue on a 4.7-acre site located east of N. Opdyke Road, north of Featherstone Road. The development is proposed to occupy three vacant parcels, currently zoned B-2, General Business District and T&R, Technology and Research District.

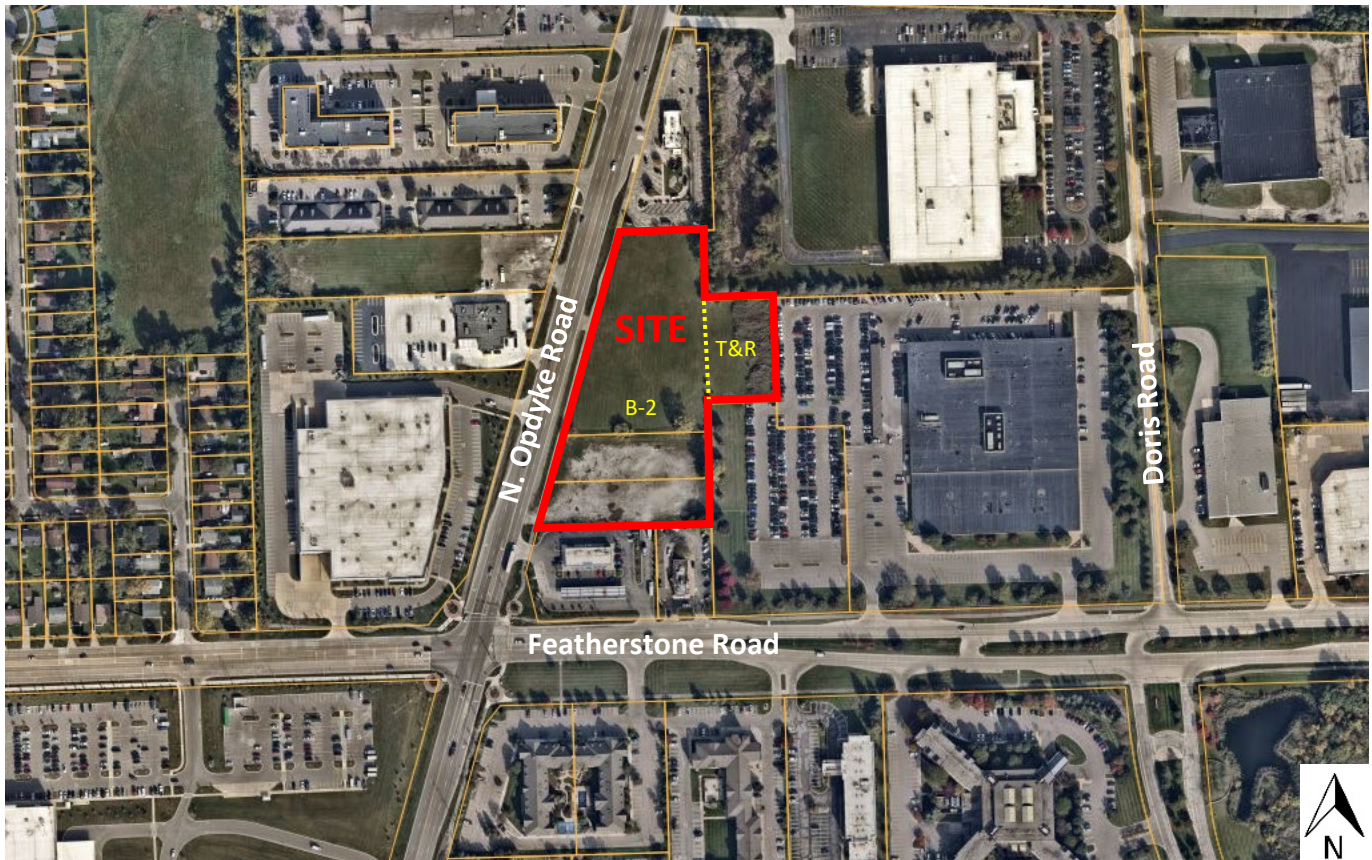


Rendering of the Proposed Building

Greystone Pickleball Club, LLC proposes to construct this state-of-the-art 18-court indoor pickleball facility to serve the growing demand for this recreational activity. The facility will also have the flexibility and amenities to host special events like corporate parties, community events, and tournaments since it will have a full kitchen and central gathering area. The project is eligible for PUD consideration and meets several criteria for PUD qualification, as outlined later in this report. In summary, the proposed project will not only redevelop a longtime undeveloped site and place it on the tax rolls at a higher taxable value, but it will also increase the recreational opportunities for the City's residents. The land was previously used as an overflow parking lot for the former Pontiac Silverdome.

The overall investment in the project is estimated at \$13 million. Construction is anticipated to start this Summer, with targeted completion in the Summer of 2025.

INTRODUCTION (cont.)



Aerial Photo of the Site and Surrounding Properties

PUD OPTION USED TO IMPLEMENT THE PROPOSED PROJECT

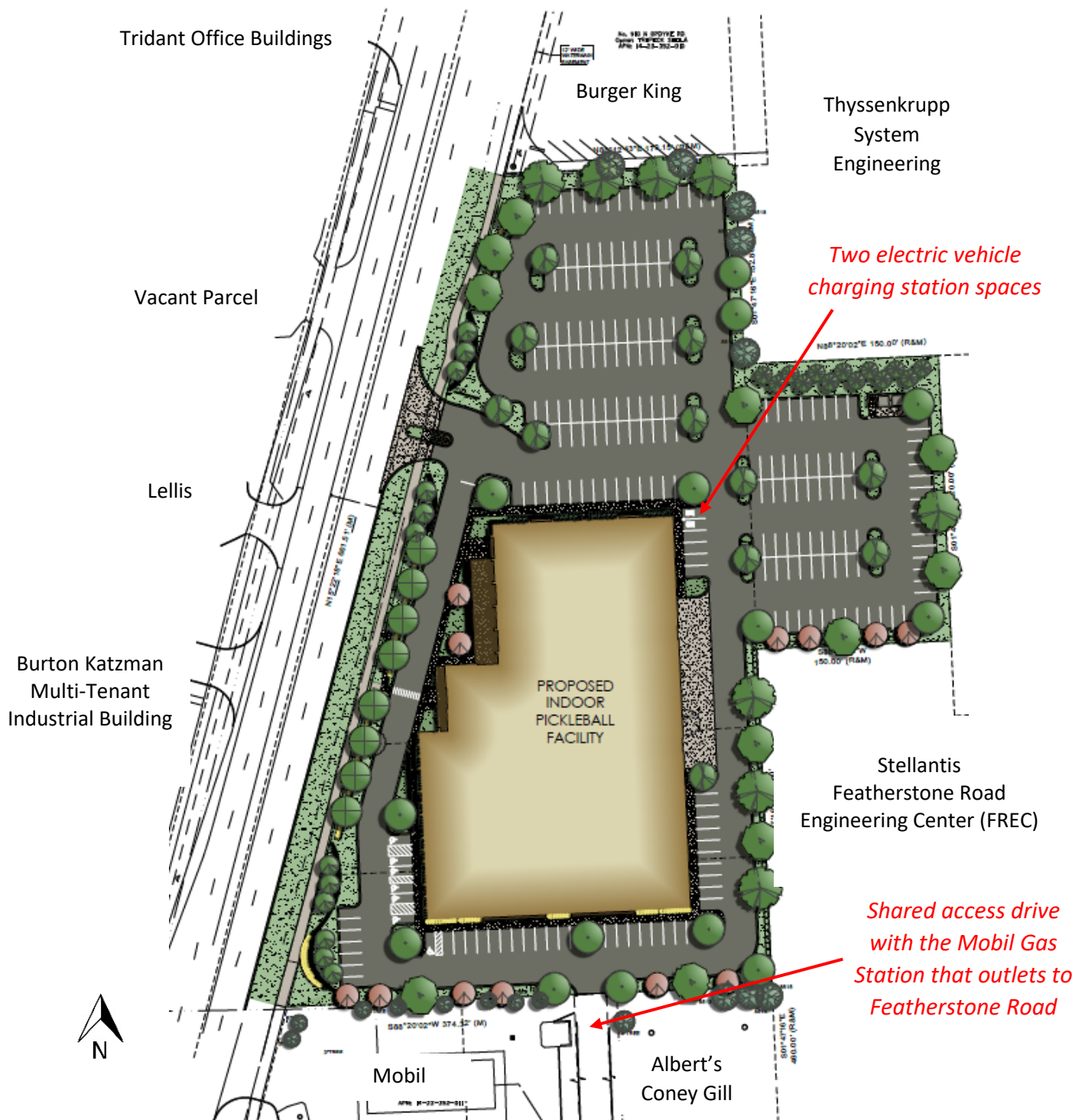
Staff recommends the PUD Option as the best mechanism for implementing the proposed project. The site has two zonings (B-2 and T&R Districts) and three typical Special Land Use Permit components (indoor recreational facility, event venue, and outdoor seating). A deviation from the Zoning Ordinance is needed, as less than 20% of its land area will be dedicated to greenspace.

For the development to become eligible for the PUD Option, it must provide a recognizable net public benefit to the health, safety, and welfare of the City's residents. Staff finds the project would offer numerous net public benefits and meet several of the criteria for PUD qualification, such as:

1. Efficient consolidation of poorly dimensioned parcels or property with difficult site conditions such as topography, shape, etc. *The property has a unique and challenging parcel configuration, making it difficult to develop the site. In addition, the project consolidates three small parcels and creates a single developable site.*
2. Unique factors related to a particular site. *Special footings and foundations will be needed to address the site's poor soil conditions. The Auburn Hills Tax Increment Finance Authority (TIFA) approved a business recruitment incentive grant on March 12, 2024, to assist with extraordinary costs associated with developing the property.*
3. Redevelopment of sites where an orderly change of use is desirable. *The site previously served as a gravel parking lot to support the Pontiac Silverdome and has not been fully utilized since the Detroit Lions last game was played at the stadium on January 6, 2002.*

PUD OPTION USED TO IMPLEMENT THE PROPOSED PROJECT (cont.)

4. Extent and type of landscaping. *The project has been designed with a high-quality landscape plan.*
5. Shared vehicular access between properties or uses. *A shared driveway will allow vehicles to access the Mobil Gas Station and Featherstone Road south of the site.*
6. Install plug-in electric vehicle charging stations for use by employees and visitors per Section 1834 and/or the installation of other infrastructure for alternative fuel vehicles. *Two electric vehicle charging station spaces will be installed near the northeast corner of the building.*

**Illustrated Site Plan**

PUD OPTION USED TO IMPLEMENT THE PROPOSED PROJECT (cont.)

7. Architectural design quality and innovation. *The facility will be a unique, customized building with upgraded architectural elements and design.*



Rendering of the Proposed Building

8. Any other factor that contributes to Conditions that Create PUD Eligibility. *Greystone Pickleball Club, LLC has committed to providing a portion of the facility's court capacity at a discounted rate for Auburn Hills residents and Auburn Hills business residents that the City's Recreation staff will administer as a public benefit to the community.*

STAFF RECOMMENDATION

Please be advised that this project has been reviewed by the City's Administrative Site Plan Review Team and has received a recommendation for approval.

We recommend Approval of the PUD Step One – Concept Plan and offer the following discretionary findings of fact:

1. The project is eligible for the PUD option because it provides a recognizable net public benefit to the health, safety, and welfare of the residents of the City of Auburn Hills and accomplishes the following:
 - a) Permits flexibility in the regulation of land development.
 - b) Encourages innovation in land use and variety in design, layout, and type of structures constructed.
 - c) Achieves economy and efficiency in the use of land, natural resources, energy, and the provision of public services and utilities.
 - d) Encourages useful open space/recreational opportunities.
 - e) Provides better employment opportunities that are particularly suited to the needs of the residents of the City of Auburn Hills.

STAFF RECOMMENDATION (cont.)

2. The concept plan contains sufficient basic information required for a recommendation.
3. The PUD Concept Plan promotes the land use goals and objectives of the City of Auburn Hills.
4. There is an adequate means of disposing of sanitary sewage and supplying the development with water.
5. The road system and stormwater drainage system are adequate.

We recommend Conditional Approval of the PUD Step Two - Site Plan and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
 - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
 - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to N. Opdyke Road, with secondary access via a shared drive to Featherstone Road.
 - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
 - d) A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
 - e) The proposed use will not have an unreasonable, detrimental, or injurious effect upon the natural characteristics of the subject parcel or the adjacent area.
3. Based on the project's occupancy as an indoor recreational facility, 183 parking spaces are required, and 242 parking spaces are depicted. *Note: The surplus 59 parking spaces are provided to accommodate the additional parking needs anticipated for tournaments and special events.*
4. The parking layout meets minimum requirements, and barrier-free parking spaces are provided (Seven are required, and seven are provided). Two spaces are van accessible.
5. Building and parking setback requirements will be met.
6. Greenbelts will be provided.
7. Landscape requirements will be met, except for minimum greenspace requirements, and calculations have been submitted. *Note: A deviation is requested as the site will have 18% greenspace instead of the required 20%. A high-quality landscape with additional trees and shrubs will be provided.*
8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. Light poles shall not be taller than the proposed height of 25 feet from grade.
9. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
10. A note indicates that parking spaces shall be double-striped.
11. A note indicates that ground-mounted mechanical equipment will be screened.
12. A note indicates that there will be no pallet storage and overnight vehicles.
13. An eight-foot pathway exists along N. Opdyke Road. Complete Streets considerations were made as part of the site design. A sidewalk from N. Opdyke Road to the building's entrance is provided.
14. Two electric vehicle charging station spaces (served by one dual unit) will be installed during construction. Greystone Pickleball Club, LLC shall obtain appropriate permits from the City and comply with City electric vehicle station signage and pavement marking standards.
15. No Tree Removal Permit is required. No regulated trees exist on the property.

Conditions:

1. Greystone Pickleball Club, LLC agrees to enter into a Development Agreement with the City as the project's Developer, which will outline the conditions of PUD approval. Specifically, a provision of that agreement shall include the following:
"The Developer shall provide a portion of the facility's pickleball court capacity at a twenty percent (20%) discounted rate on all "Court Rentals" for Auburn Hills residents and Auburn Hills business residents, as defined by City policy to determine resident rates, that the City's Recreation Department staff will administer as a net public benefit for the PUD approval. All Court Rentals shall be defined as all pickleball-related play, including lessons, open play, leagues, tournaments, and monthly unlimited play, and shall exclude food, beverage, and pro shop items. The portion offered at a twenty percent (20%) discounted rate shall be fifty (50) single-use/single-person passes per month, and the discount program availability shall begin on the first day of the month following the facility's opening. The passes shall not guarantee a court on any certain day or time, but the Developer will make every effort to accommodate usage of the fifty (50) passes each month to include peak and off-peak hours. The Developer shall provide the City's Recreation Department with the physical passes in a design that meets the operation's needs and uses a system of distribution that is easily understandable and achievable by the City's Recreation Department. Each month, the fifty (50) passes shall be given to the City's Recreation Department at least three (3) days before the first day of the next month. The passes shall have the month listed on the pass, and the pass shall be redeemable for the month listed on the pass only. The program shall continue indefinitely or until such time the parties mutually agree upon an alternate net public benefit, should such need arise."
2. A land combination shall be required to create the site via the Assessing Department.
3. Greystone Pickleball Club, LLC shall comply with the requirements of Section 2007. Performance Guarantees of the Zoning Ordinance.
4. Greystone Pickleball Club, LLC shall utilize an underground grease containment/trap and internal oil/grease management system (closed-loop) for the kitchen. Above-ground grease containment systems shall be prohibited on the site.
5. Site plan approval shall be based on the representations made by Greystone Pickleball Club, LLC, as documented in this report, submittal materials, and the public meeting minutes.

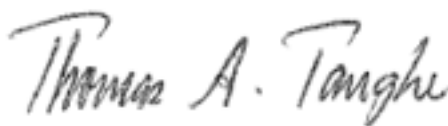
PLANNING COMMISSION RECOMMENDATION

Recommended Approval on April 3, 2024 (7-0 vote)

MOTION

Move to accept the Planning Commission's recommendation and approve the combined PUD Step One – Concept Plan and PUD Step Two – Site Plan for the Greystone Pickleball Club – Auburn Hills subject to the conditions of the City's Administrative Review Team.

I CONCUR:



THOMAS A. TANGHE, CITY MANAGER



CITY OF AUBURN HILLS
PLANNING COMMISSION
MINUTES
NOT YET APPROVED

April 3, 2024

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 7:00 p.m.

ROLL CALL: Present: **Sam Beidoun, Dominick Tringali, Jack Ferguson, Cynthia Pavlich, Laura Ochs, Chauncey Hitchcock, Greg Ouellette**
Absent: Carolyn Shearer, Ray Saelens
Also Present: Director of Community Development Steve Cohen, and Assistant to the Director of Community Development Devin Lang
Guests: 6

LOCATION: Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

3. PERSONS WISHING TO BE HEARD

4. APPROVAL OF MINUTES – March 6, 2024

Moved by Beidoun to approve the minutes of March 6, 2024.

Second by Ferguson.

VOTE: Yes: Beidoun, Ferguson, Ochs, Pavlich, Tringali, Hitchcock, Ouellette

No: None

Motion Carried (7-0)

5. PETITIONERS

5a. Greystone Pickleball Club – Auburn Hills (7:02 p.m.)

Public Hearing/Motion – Recommendation to City Council for combined PUD Step One – Qualification/Step Two – Site Plan approval to construct an indoor recreational facility and event venue.

Mr. Cohen explained that this is a request from Greystone Pickleball Club, LLC for Planned Unit Development Option (PUD) approval to construct a 60,528 square-foot indoor recreational facility and event venue on a 4.7-acre site located east of N. Opdyke, north of Featherstone Road. The development is proposed to occupy three vacant parcels, currently zoned B-2, General Business District and T&R, Technology and Research District. The land was previously used as an overflow parking lot for the former Pontiac Silverdome.

Greystone Pickleball Club, LLC proposed constructing this state-of-the-art 18-court pickleball facility to serve the growing demand for this recreational activity. The facility will also have the flexibility and amenities to host special events like corporate parties and tournaments since it will have a full kitchen and central gathering area.

Staff has recommended the PUD option be used for implementing the proposed project. The site has two zoning districts (B-2 and T&R Districts) and three typical Special Land Use Permit components (indoor recreational facility, event venue, and outdoor seating). Landscape requirements will be met, except for minimum greenspace requirements. A deviation is requested as the site will have 18% greenspace instead of 20%. A high-quality landscape with additional trees and shrubs will be provided.

Greystone Pickleball Club, LLC has also agreed to enter into a Development Agreement with the City to provide a portion of the facility's pickleball court capacity at a twenty percent (20%) discounted rate on all court rentals for Auburn Hills residents and Auburn Hills business residents to be administered by the City's Recreation Department.

The overall investment in the property is estimated at \$13 million, and construction is anticipated to begin this summer and be completed by the summer of 2025.

Patrick Chisholm, Greystone Pickleball Club LLC, Franklin, TN, presented the proposal and was available to answer any questions the Commission had. Mr. Chisholm wanted the Planning Commission to know that he has worked as a developer in many communities nationwide and has never encountered staff as helpful and professional as in Auburn Hills.

The Commission asked about the following:

1. The number of employees expected daily;
2. The adequacy of the number of charging stations;
3. The number of similar developments by the applicant;
4. The access and maintenance agreement for the shared access;
5. Peak hours;
6. The landscaping adjustment and the potential for a precedent;
7. The walking path along Opdyke and potential issues with pedestrians and bicycles;
8. How the event space would work;
9. Open play vs. walk-in use;
10. Anticipated rates.

Mr. Chisholm explained that there will be a combination of full-time and hourly staff. There will be 6-7 full-time staff and approximately 14-15 hourly staff, including eight professionals for instruction. He also stated that they will discuss additional EV charging stations with City staff because there is more parking than required.

Mr. Chisholm stated that while he is a real estate developer, this project is more of a family project and the first one of its kind in which he has been involved. The shared access and maintenance agreement from the site south to Featherstone Road is already in place.

Mr. Chisholm explained that any lull in usage would probably be in the early afternoon. Weekends are anticipated to be the busiest, but with lessons and open play/walk-in use, the peak hours could be spread throughout the day. The expected hours of operation are 7:00 a.m. to 10:00 p.m. This is intended to be a public facility available for events. The owners plan to be active with the Auburn Hills Chamber of Commerce. The interior of the facility will have removable partitions and nets. This will allow the space to be used for various event activities, including weddings, classic car shows, etc.

Mr. Cohen explained that the landscape area adjustment has been done before on other projects and does not set a precedent.

Mr. Chisholm acknowledged that pedestrian traffic concerns are an issue with every development, and it is necessary to educate the public.

Mr. Chisholm explained pickleball's player skill level system and the difference between open play and walk-in. There will also be league and tournament play opportunities. Most facilities charge \$10/hour per person.

Mr. Ouellette opened the public hearing at 7:20 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 7:20 p.m.

Moved by Hitchcock to recommend to City Council approval of the combined PUD Step One – Concept Plan and PUD Step Two – Site Plan for the Greystone Pickleball Club – Auburn Hills subject to the conditions of the City's Administrative Review Team.

Second by Ferguson.

VOTE: Yes: Ochs, Hitchcock, Tringali, Beidoun, Ferguson, Pavlich, Ouellette

No: None

Motion Carried (7-0)

6. UNFINISHED BUSINESS – None.

7. NEW BUSINESS – None.

8. COMMUNICATIONS

Mr. Cohen stated that one project, Penske Vehicle Services, is anticipated to be considered at the May 8, 2024 meeting.

9. NEXT SCHEDULED MEETING

The next scheduled meeting is on Wednesday, May 8, 2024 at 7:00 p.m. in the Auburn Hills Council Chambers.

10. ADJOURNMENT

There being no further business, Chairperson Ouellette adjourned the meeting at 7:25 p.m.

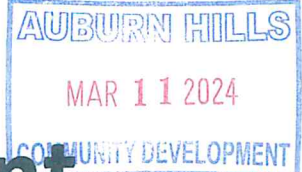
Submitted by:

Susan McCullough, MiPMC III, CMC

Recording Secretary



Development Application



Project Name: Greystone Pickleball Club
General Project Location: N. Opdyke Rd.
North of Featherstone South of Burger King
Parcel Size: 4.77 AC. Zoning: PUD
Sidwell Number(s): _____
Project Description: _____ Indoor
Pickleball Facility
Building Size (sq. ft.): 60,528

City Use Only

Address: _____

14-23-352-002

Date Received: 3/11/24

Fees Paid: 6804.00

SP #: _____

SLU #(s): _____

LD/LE/SUB #: _____

RZ #: _____

PUD #: 240002

ZBA #: _____

Check requested review(s)

☐ Site Plan

☒ Tree Removal Permit No Regulated Trees on Site

☐ Special Land Use Permit(s) _____

☐ Land Division

☐ Land Exchange

☐ Subdivision 14-23-352-009

☒ Planned Unit Development - Step 1/Step 2/Combined

☐ Rezoning _____ to _____

☐ ZBA Variance or Interpretation
(see supplemental application)

☐ Other _____

Applicant

Name: Greystone Pickleball Club LLC Signature: [Signature]

Business Name and Address: 1864 Fairview

City: Birmingham State: MI Zip Code: 48009 Phone Number: 248-761-7792

Fax Number: _____ Alt. Phone Number(s): 407-923-8366

Property
Owner(s)

Name: Auburn Hills Lodging LLC Signature: See Attached Letter

Business Name and Address: 31100 Stephenson Hwy.

City: Madison Heights State: MI Zip Code: 48071 Phone Number: _____

(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department,
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939
www.auburnhills.org

AUBURN HILLS INN & SUITES, INC.
a Michigan Corporation
Akram Namou, President
31100 Stephenson Hwy., Madison Heights, MI 48071
Phone: (248) 721-8500 E-mail: pnbutleresq@gmail.com

March 25, 2024

VIA EMAIL pat@plcpartnersllc.com

Patrick Chisholm
PLC Partners, LLC

Re: Vacant Land / Opdyke Road, Auburn Hills, MI
Parcel ID Nos.: 02-14-23-352-002/003


Dear Patrick:

This letter authorizes you to proceed with any property proposal in order to proceed with a development application for your property by next Tuesday, March 3, 2024 or Wednesday, March 4th at the latest for the Planning Commission packet.

Should you have any questions, please feel free to call me.

Sincerely,

SELLER: AUBURN HILLS INN & SUITES, INC.,
a Michigan corporation

By: 
Akram Namou
Its: President

AUBURN HILLS LODGING, INC.
a Michigan Corporation
Akram Namou, President
31100 Stephenson Hwy., Madison Heights, MI 48071
Phone: (248) 721-8500 *E-mail: pnbutleresq@gmail.com*

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Sincerely,

SELLER: AUBURN HILLS LODGING, INC.,
a Michigan corporation

By: _____


Akram Namou

Its: President

March 27, 2024

Mr. Steven Cohen, AICP
Director of Community Development
CITY OF AUBURN HILLS
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: Greystone Pickleball Club
Site Plan 1st Review

Dear Mr. Cohen:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on March 26, 2024 was prepared by Nowak and Fraus. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.
- Right-of-way construction and signing permit from R.C.O.C.
- Water main extension permit from E.G.L.E.
- Permit or waiver from O.C.W.R.C. for discharge into a county controlled drain
- Water main and temporary grading easement from adjacent property owner

GENERAL:

The site is located north of Featherstone Road and east of North Opdyke Road, in Section 23 of the City of Auburn Hills. The applicant is proposing to construct an approximately 54,000 sq. ft. pickleball facility that will include 18 pickleball courts and other amenities. The site along with the adjacent properties to the north and south are zoned General Business (B-2). The adjacent properties to the east are zoned Light Industrial (I-1) and Technology & Research (T&R). A complete legal description of the parcel is shown on the plan. The City of Auburn Hills Standard Notes and Fire Department Notes are not included on the plan and shall be provided at engineering review. A landscape plan was included in the plan set and appears to be acceptable. Furthermore, a soil erosion and sedimentation control plan is needed for engineering review.

MUNICIPAL UTILITIES:

There is an existing 8-inch water main that extends along the west side of North Opdyke Road and an existing 8-inch water main that extends along the east side of North Opdyke Road but has a 775 foot gap along the frontage of the site. The applicant is proposing to connect to the stub just north of the site and extend new water main south, along the west side of the site, connecting into the stub just south of the site. Due to the alignment of the proposed water main, an easement will need to be granted by the adjacent property owner to the south, prior to installation of the water main. The applicant is then proposing to extend new water main around the proposed building looping back into the proposed water main on North Opdyke Road. Five (5) fire hydrant assemblies are



proposed to provide adequate coverage for the site. The proposed fire suppression and domestic service location was not shown on the plan. These locations along with the size and material type of the proposed water main shall be labeled for engineering review.

There is an existing 10-inch sanitary sewer that extends south along the west side of North Opdyke Road. The sanitary sewer then crosses underneath North Opdyke Road to the east side where it continues south along the west side of the property. The applicant is proposing to tap the existing sanitary sewer on the east side of North Opdyke Road and extend a new sanitary sewer lead to the west side of the building. The size, material type, and slope of the proposed sanitary sewer lead shall be labeled for engineering review.

STORM SEWER AND DETENTION:

The site is located in the Johnson Drainage District, which is under the jurisdiction of the Oakland County Water Resources Commission. The Johnson Drain extends south along the east side of North Opdyke Road, along the west side of the site. Storm water runoff for the site will be collected via a series of catch basins and routed to an underground detention system located underneath the parking lot on the north side of the site. The underground detention system will then outlet to the Johnson Drain. Preliminary proposed underground detention calculations were provided on the plan and appear to meet City requirements. The underground detention system is currently sized for Oakland County's 100 year volume. Additional information on the proposed storm sewer and underground detention system (i.e., material, slope, profile, calculations, etc.) will be required for the engineering submittal. A water quality unit has been provided on the plans prior to the storm water entering the underground detention system. The water quality unit shall conform to City standards and additional details and calculations for the water quality unit will be needed for the engineering review.

TRAFFIC/PAVING:

There are currently two existing drive approaches located off North Opdyke Road, however the applicant is proposing to remove those approaches and construct one boulevard approach. Parking is located around the north, east, and south sides of the proposed building with a drop-off lane located along the west side of the building near the main entrance. The plans indicate concrete curb and gutter throughout the site with 4-inch asphalt pavement proposed for the drive aisles and parking lot and 8-inch concrete pavement proposed for the loading area and dumpster pad. A 9-inch concrete pavement cross-section was also included for the approach off North Opdyke Road which appears to meet the Road Commission for Oakland County's (RCOC's) standards. North Opdyke Road is currently not curbed along the frontage of the site. Per the City and RCOC's request, curb is proposed to be installed along the east side of North Opdyke Road. Additional details and grading will be needed for engineering review.

The applicant is proposing 242 parking spaces including 7 barrier free accessible parking spaces and 2 future electric vehicle parking spaces. A loading area has been provided on the east side of the building and one dumpster enclosure is proposed on the north side of the east parking lot. A 7-foot-wide concrete sidewalk has been provided around the proposed building and there is an existing 8-foot-wide asphalt pathway located on the east side of North Opdyke Road that is to remain.

GRADING:

Existing and proposed grades are shown with contours and spot elevations. The site is mostly flat but there is a small amount of fall towards the west and east side of the site. Perimeter site slopes shall match into existing contours prior to all abutting property lines. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalk slopes shall comply with ADA standards.

A boulder retaining wall is proposed along the drive aisle and parking lot on the east side of the site. Design details and computations (sealed by a licensed engineer) will need to be submitted and approved during the engineering



review for walls greater than one (1) foot in height. A decorative safety fence is proposed where the height of the boulder wall exceeds 2.5 feet.


RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements, and has been stamped “Approved” by our office. We ask that the site plan approval acknowledge the following:

1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
2. The developer must post a performance guarantee, in accordance with the City’s requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities, pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.

If you have any questions or are in need of any further information, please feel free to contact our office.

Sincerely,
OHM Advisors



Hannah Driesenga, P.E.

Transmitted via e-mail to Steven Cohen: March 27, 2024
cc: File

P:\0101_0125\SITE_AUBURNHILLSCITY\2024\0120241020_PICKLEBALL COUNTRY CLUB_SITE\GREYSTONE PICKLEBALL_SITE REV#1_APP.DOCX



“Not Yet Approved”
CITY OF AUBURN HILLS
TAX INCREMENT FINANCE AUTHORITY MEETING
Excerpt

March 12, 2024

CALL TO ORDER: Chairman Kneffel called the meeting to order at 4:00 PM.

ROLL CALL: Present: Kneffel, Goodhall, Gudmundsen, Eldredge, Fletcher, Waltenspiel, Moniz
Absent:
Also Present: Brandon Skopek, Assistant City Manager & TIFA Executive Director; Andrew Hagge, Assistant to the City Manager; Thomas Tanghe, City Manager; Steve Cohen, Director of Community Development; Tim Wissner, Manager of Municipal Properties; Karen Adcock, Director of Recreation & Senior Services
Guests: Jack McInerney & Pat Chisholm of Greystone Pickleball Club, LLC

LOCATION: Council Conference Room, 1827 N. Squirrel Road, Auburn Hills, MI 48326

NEW BUSINESS

Request to Approve Development Incentive Grant to Greystone Pickleball Club, LLC

Mr. Skopek presented the agenda item related to the development incentive grant to Greystone Pickleball Club, LLC. Mr. Skopek explained that the Greystone Pickleball Club represents both an opportunity for a new development to come onto the City's tax rolls as well as additional recreational chances for our residents. Mr. Skopek explained the several reasons for the development incentive grant, which include the parcel's configuration making it difficult to develop, the quality and type of soils on the property, which require far more expensive footings and foundations, and the need for parking will cause the stormwater detention to be built underground instead of surface detention.

The Board inquired about the timing of the grant payments to Greystone Pickleball Club, LLC. The Board cited a potential concern that the City would award a grant before the construction has taken place. Mr. Skopek and Mr. Tanghe explained that the total grant amount would be broken out into three separate payments, which would be triggered by the progress of the construction.

Additionally, representatives of Greystone Pickleball Club, LLC, Jack McInerney and Pat Chisholm, presented the designs of the development to the Board as well as their intentions for the use of the development, which is not limited solely to the play of pickleball.

Moved by Dr. Fletcher to adopt the attached resolution providing a grant to Greystone Pickleball Club, LLC in the amount of \$946,500 and paid in accordance with the provisions contained therein; and authorize the Chairman and Executive Director to sign the Resolution on behalf of the Board. As this is an incentive grant for the recruitment of the business, any funds not used specifically for the work contained in the March 4, 2024 memo from Kemp Building & Development Company may be applied by Greystone Pickleball Club, LLC toward the overall project. The incentive, and any release of it, shall be subject to Greystone Pickleball Club and the City agreeing upon a discount program for the residents of the city under similar terms and conditions that have already been discussed. Furthermore, authorize the Finance Department to make the necessary budget amendments to the 2024 TIF-B budget in support of this development incentive grant.

Seconded by Mr. Goodhall

Yes: Kneffel, Goodhall, Gudmundsen, Eldredge, Fletcher, Waltenspiel, Moniz
No: None

Motion Carried

Owner / Developer

PLC Partners LLC
343 Passage Lane
Franklin, TN 37064

Contact: Pat Chisholm, President
Tel: (407) 923-8366

Architect

Frank Salamone Architect INC
48701 Hayes Road
Shelby, MI 48315

Contact: Francesco Salamone

Tel: (586) 532-0091

Landscape Architect

Nowak & Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact: George Ostrowski, PLA, LEED AP

Tel: (248) 332-7931

Civil Engineer

Nowak & Fraus Engineers
46777 Woodward Ave.
Pontiac, MI 48342-5032

Contact: Patrick Williams, P.E.

Tel: (248) 332-7931

City of Auburn Hills,
Oakland County County, Michigan
SITE PLAN DOCUMENTS
Prepared For
PLC Partners, LLC



LEGAL DESCRIPTION

LAND IN THE CITY OF AUBURN HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN
BEING DESCRIBED AS:

PARCEL 1:
"PARCEL C": PART OF LOT 8, MADDOCK ACRES, AS RECORDED IN LIBER 56 OF
PLATS, PAGE 30, OAKLAND COUNTY RECORDS, MORE PARTICULARLY DESCRIBED
AS: A PARCEL OF LAND LOCATED IN AND BEING A PART OF THE SOUTHWEST 1/4
OF SECTION 23, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS,
OAKLAND COUNTY, MICHIGAN, AND BEING MORE PARTICULARLY DESCRIBED AS
FOLLOWS: COMMENCING AT A POINT 1998.46 FEET, SOUTH 88 DEGREES 20
MINUTES 02 SECONDS WEST AND 460.00 FEET, NORTH 01 DEGREE 47 MINUTES
16 SECONDS WEST FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; AND
THENCE EXTENDING SOUTH 88 DEGREES 09 MINUTES 20 SECONDS WEST 312.91
FEET (313.41 FEET RECORDED), ALONG THE SOUTH LINE OF LOT 8; THENCE
NORTH 15 DEGREES 22 MINUTES 18 SECONDS EAST 453.35 FEET ALONG THE
EASTERLY LINE OF OPDYKE ROAD (120 FEET WIDE); THENCE NORTH 88 DEGREES
12 MINUTES 43 SECONDS EAST 179.15 FEET; THENCE SOUTH 01 DEGREE 47
MINUTES 16 SECONDS EAST 152.866 FEET; THENCE NORTH 88 DEGREES 20
MINUTES 02 SECONDS EAST 150.00 FEET; THENCE SOUTH 01 DEGREE 47 MINUTES
16 SECONDS EAST 220.00 FEET; THENCE SOUTH 88 DEGREES 20 MINUTES 02
SECONDS WEST 150.00 FEET; THENCE SOUTH 01 DEGREE 47 MINUTES 16
SECONDS EAST 60.00 FEET TO THE POINT OF BEGINNING.

PARCEL ID NUMBER: 14-23-352-009

PARCEL 2:
LOT 9, MADDOCK ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
LIBER 56 OF PLATS, PAGE 30, OAKLAND COUNTY RECORDS.

PARCEL ID NUMBER: 14-23-352-002

PARCEL 3:
LOT 10, MADDOCK ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
LIBER 56 OF PLATS, PAGE 30, OAKLAND COUNTY RECORDS

PARCEL ID NUMBER: 14-23-352-003

SHEET INDEX

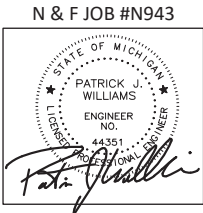
- SP1 Cover Sheet
- SP2 Tree Survey/Existing Conditions Survey
- SP3 Dimensional Site Plan
- SP4 Engineering Site Plan (Paving and Grading)
- SP5 Engineering Site Plan (Utilities)
- L1 Tree Preservation Plan
- L2 Landscape Plan
- A-1 Floor Plan
- A-2 Elevations Plan
- A-3 Occupant Load Plan

REVISIONS:
03-28-24 SUBMIT FOR SITE PLAN REVIEW

Project Name

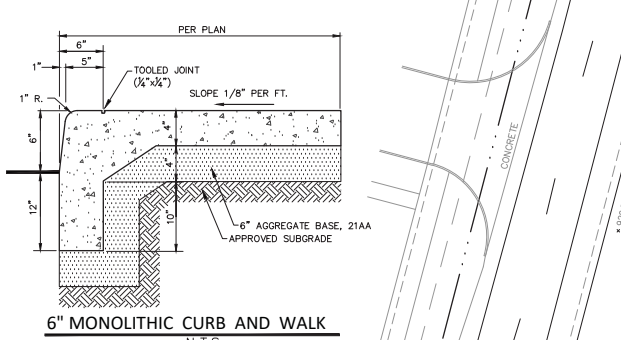
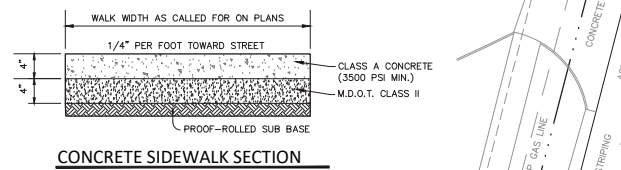
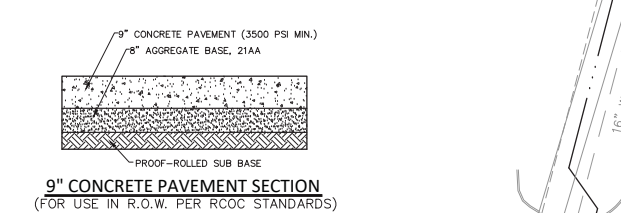
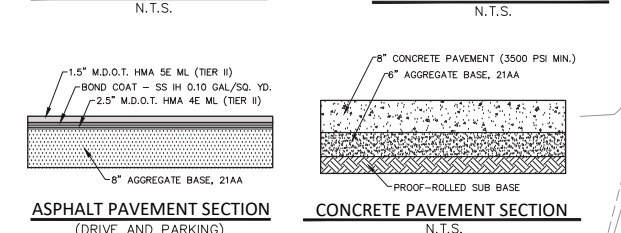
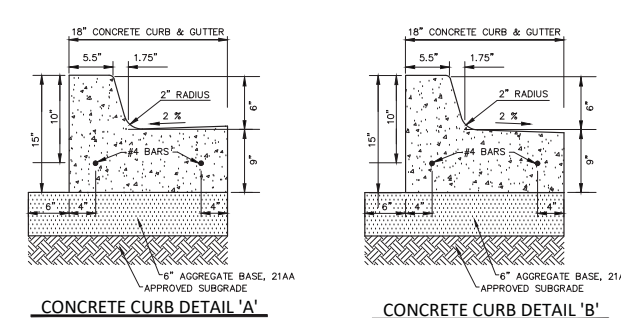
Greystone Pickleball Club
Auburn Hills

SITE PLAN ONLY
NOT FOR CONSTRUCTION

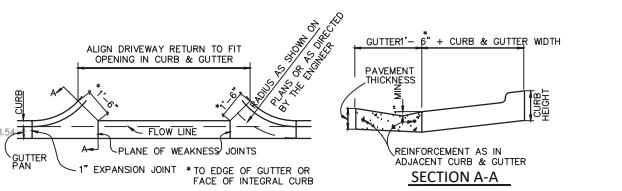
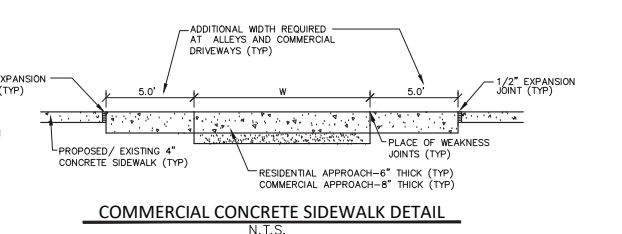
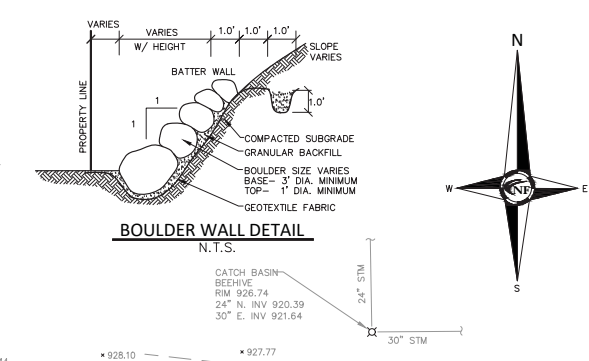


NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NFE-ENGR.COM

NFE JOB NO. N943 SHEET NO. SP3



INSTALLATION OF CURB REQUESTED BY R.C.O.C.
NOTE: DUE TO LACK OF SLOPE ALONG THE EXISTING PAVEMENT EDGE, THE FEASIBILITY OF ADDING CURB TO THE EAST SIDE OF OPDYKE ROAD WILL NEED TO BE DISCUSSED FURTHER WITH R.C.O.C. AND AUBURN HILLS.



SITE PLAN ONLY
NOT FOR CONSTRUCTION

GENERAL PAVING NOTES
PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE HMA 4E ML; SURFACE COURSE - MDOT BITUMINOUS MIXTURE HMA 5E ML; BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD
PAVEMENT BASE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
ALL SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

PAVING LEGEND

PROPOSED CONCRETE PAVEMENT

PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE	EXISTING SANITARY SEWER
	HYDRANT	SAN. CLEAN OUT
	GATE VALVE	EXISTING WATERMAIN
	MANHOLE CATCH BASIN	EXISTING STORM SEWER
		EX. R. Y. CATCH BASIN
		EXISTING BURIED CABLES
	UTILITY POLE	OVERHEAD LINES
	GUY POLE	LIGHT POLE
	GUY WIRE	SIGN
		EXISTING GAS MAIN
	C.O.	PR. SANITARY SEWER
	MANHOLE	PR. WATER MAIN
	HYDRANT	PR. STORM SEWER
	INLET	PR. R. Y. CATCH BASIN
	C.B.	PROPOSED LIGHT POLE
	MANHOLE	
	TC 600.00	PR. TOP OF CURB ELEVATION
	GU 600.00	PR. GUTTER ELEVATION
	TW 600.00	PR. TOP OF WALK ELEVATION
	TP 600.00	PR. TOP OF PWMT. ELEVATION
	FG 600.00	FINISH GRADE ELEVATION



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FAX. (248) 332-8257
WWW.NFE-ENGR.COM



PROJECT
Greystone Pickleball Club
Auburn Hills

CLIENT
PLC Partners, LLC

PROJECT LOCATION
No. N/A
N. Odyke Road
Part of the SW. 1/4 of
Section 23, T.3N., R.10E.,
City of Auburn Hills,
Oakland County, MI

SHEET
Engineering Site Plan
(Utilities)

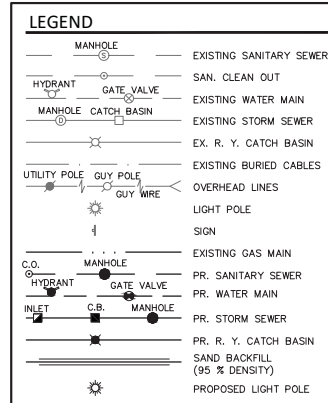


DATE ISSUED/REVISED
03-28-24 SUBMIT FOR SITE PLAN REVIEW

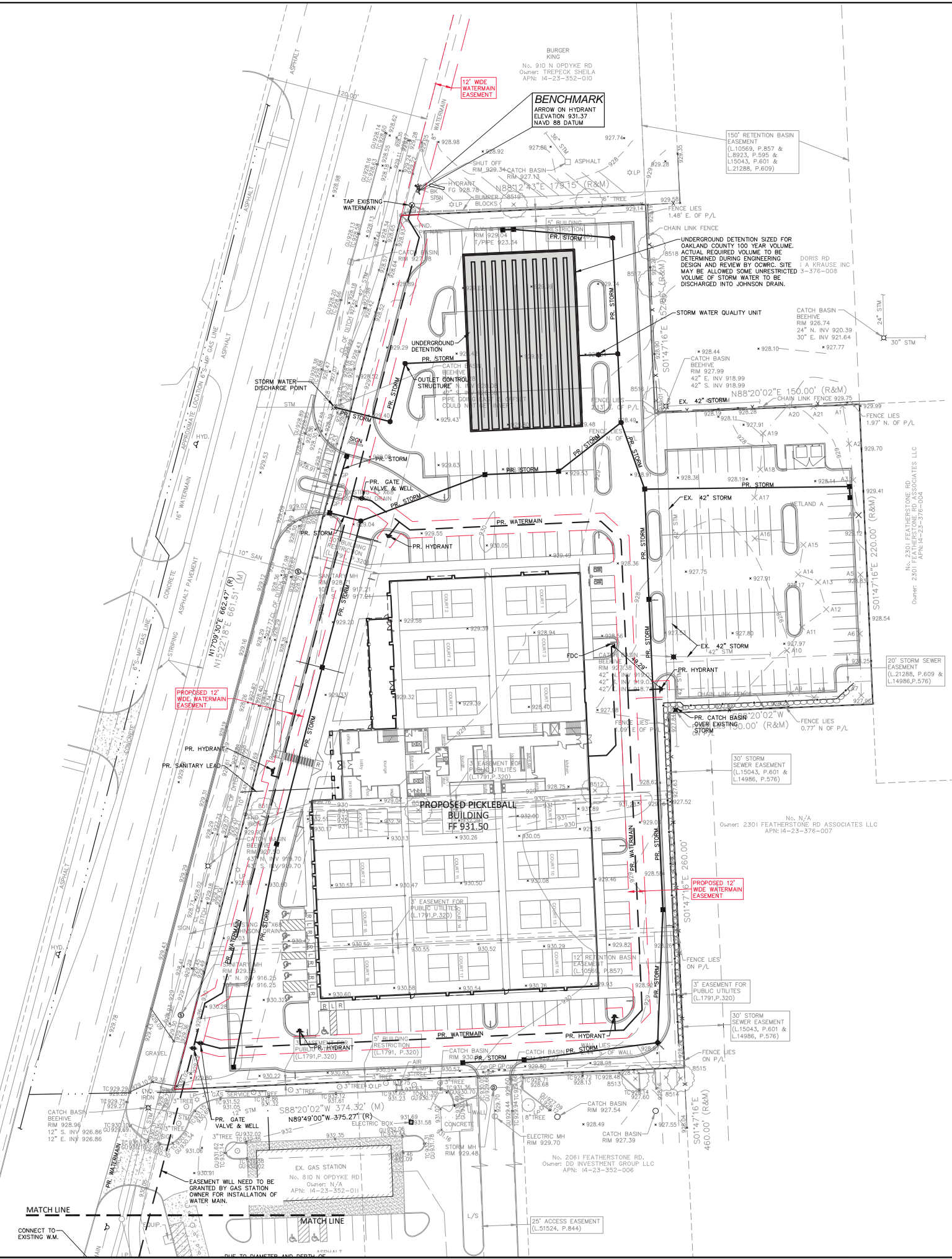
DRAWN BY:
N. Naoum
DESIGNED BY:
M. Kurmas
APPROVED BY:
P. Williams

DATE
03-06-2024
SCALE: 1" = 40'
NFE JOB NO. N943 SHEET NO. SP5

SITE PLAN ONLY
NOT FOR CONSTRUCTION



REQUIRED DETENTION VOLUME CALCULATIONS		
100 Year Post-Development Detention Volume		
Name of Project:	Pickle Ball	
Location of Project:	Auburn Hills	
NFE Project No.:	N943	
Contributing Acreage "A":	4.776 ac	
Weighted Runoff Coefficient "C":	0.77	
Time of Concentration "Tc":	10.00 min	
1. Calculate Required Water Quality Volume (Vwq) (1" Rainfall Event)	Vwq = 3630[C](A)	13,349 cft
2. Calculate Required Water Quality Rate (Qwq)	Qwq = [C](A)30/[Tc+9.17]^0.81	10.15 cfs
3. Calculate Required Channel Protection Volume (Vcp-r) (1.3" Rainfall Event)	Vcp-r = 4719[C](A)	17,354 cft
4. Calculate Required Extended Detention Volume (Ved) (1.9" Rainfall Event)	Ved = 6897[C](A)	25,364 cft
5. Calculate Extended Detention Outlet Rate (Qed) (48 hour discharge)	Qed = Ved / [(48 hr)(60 min)(60 sec)] = Ved/172800	0.15 cfs
6. Calculate 100-year Rainfall Intensity (I100)	I100 = 83.3/[Tc+9.17]^0.81	7.52 in/hr
7. Calculate 100-year Storm Inlet Rate (Q100-in)	Q100-in = [C](I100)(A)	28.01 cfs
8. Determine the Variable Release Rate (Qvrr)	Qvrr = 1.1055-(0.206^LN(A))	0.78 cfs/ac
Restricted Outlet rate per local municipality		N/A cfs/ac
9. Calculate Allowable 100-year Storm Outlet Rate (Q100P)	Q100P = [Qvrr](A)	3.74 cfs
10. Calculate Storage Curve Factor (R)	R = 0.205-(0.15)/[LN(Q100P/Q100-in)]	0.508
11. Calculate Required 100-year Storm Volume In (V100R)	V100R = 18,985[C](A)	69,818 cft
12. Calculate 100-year Storm Detention Storage Volume (V100D)	V100D = (V100R)(R)	35,454 cft
Vcp(credit)		0 cft
TOTAL DETENTION VOLUME REQUIRED:		35,454 cft





1. IDENTIFY ON SITE ALL TREES OR AREAS WHICH ARE BEING PROPOSED TO BE PRESERVED WITH FLUORESCENT ORANGE SPRAY PAINT (CHALK BASE) OR BY RED FLAGGING TAPE.
2. ERECT BARRIERS OF FOUR (4) FEET HIGH FENCING STAKED WITH METAL T-POSTS FIVE (5) FEET ON CENTER OR ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN.
3. PROTECTIVE BARRIERS ARE TO BE ERECTED PRIOR TO CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED.
4. KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER.
5. DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTION WHICH WILL DRIP OR LEAK FROM A PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, DIRT, AND EXCAVATED MATERIAL, BUILDING WASTE OR MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
6. NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLES FOR TREES), SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.

ENVIRONMENTAL NOTES

TREE PROTECTION FENCING SHALL BE PLACED AT THE LIMITS OF TREE DRIP LINE TYPICAL. ALL UNDERSTORY VEGETATION SHALL BE PRESERVED WITHIN THE LIMITS OF THE PROTECTED AREA.

ALL TREES TO BE REMOVED SHALL BE REPLACED PER THE CITY OF AUBURN HILLS WOODLANDS PRESERVATION ORDINANCE NO. 483. ALL PROPOSED REPLACEMENT TREES SHALL BE GUARANTEED FOR AT LEAST TWO (2) YEARS.

PROTECTIVE BARRIERS SHALL REMAIN IN PLACE
UNTIL THE CITY AUTHORIZES REMOVAL, OR ISSUES
A FINAL CERTIFICATE OF OCCUPANCY, WHICHEVER
OCCURS FIRST

ALL TREES BEING RETAINED WILL BE IDENTIFIED BY
PAINTING, TAGGING, OR FLAGGING.



TREE PROTECTION FENCING

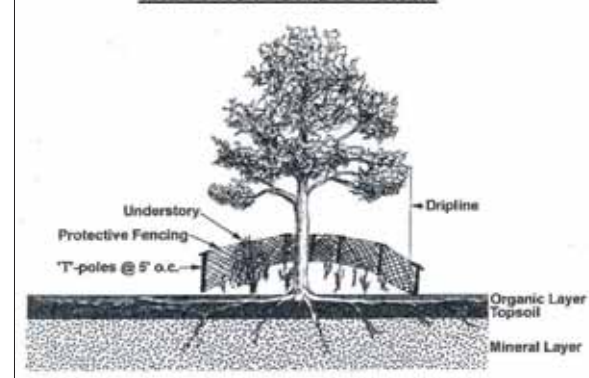
GENERAL TREE PROTECTION NOTES

1. APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE FINAL PLACEMENT OF CONSTRUCTION MATERIALS.
2. ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE REMOVED.
3. NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING OR REMOVING CONSTRUCTION MATERIALS, EQUIPMENT, OR DEPOSITS WITHIN THE DRIP LINE.
4. WHERE THE LIMITS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
5. DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR NAIL TO ANY TREE OR FENCING TO BE PROTECTED.
6. ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER OF THE PROTECTIVE FENCING.
7. STALLS SHALL BE PLACED TO PROTECT ALL TREES WITH DRIP LINES THAT SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
8. STALLS SHALL BE SITUATED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
9. TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES SHALL ALSO BE PROTECTED.
10. ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
11. THE PARKING OF VEHICLES AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINES OF PROTECTED TREES.
12. ALL STUMP REMOVALS SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. STUMP REMOVAL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
13. TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
14. REMOVAL OF TREES SHALL BE COMPLETED PRIOR TO THE START OF GRADING. GRASS SHALL BE CLEANED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR EQUIVALENT.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER SPECIFICATION GUIDELINES FOR THE REMOVAL OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EVALUATION AND REPAIR FOR REMOVAL, BY THE LANDSCAPE ARCHITECT OR FORESTER, UNLESS AS DIRECTED OTHERWISE.

TREE PRESERVATION SUMMARY:

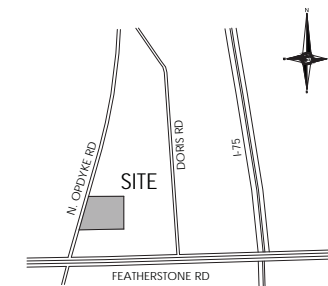
TOTAL NUMBER OF UNREGULATED TREES:	3
TOTAL DEAD TREES:	0
TOTAL LANDMARK TREES:	0
TOTAL REGULATED TREES:	0
TOTAL OFF-SITE TREES:	8
TOTAL TREES SURVEYED:	11
TOTAL REGULATED TREES TO BE REMOVED:	0
TOTAL REGULATED TREES TO REMAIN:	0
TOTAL UNREGULATED TREES TO BE REMOVED:	3
TOTAL UNREGULATED TREES TO REMAIN:	0
TOTAL LANDMARK TREES TO BE REMOVED:	0
TOTAL LANDMARK TREES TO REMAIN:	0
TOTAL REGULATED TREES TO BE REPLACED:	0
TOTAL LANDMARK TREES TO BE REPLACED:	0
TOTAL REPLACEMENT TREES REQUIRED:	0 TREES

TREE PROTECTION DETAIL



TREE INVENTORY

Tree Tag #	Off-site	Remove/Save	Replace	Common Name	Scientific Name	# DBHs	DBH1 (inches)	DBH2 (inches)	DBH3 (inches)	DBH4 (inches)	Condition	Landmark	Notes
8510	no	remove	no	Box-elder	<i>Acer negundo</i>	3	13.8	6.0	6.0	0.0	Good		
8511	no	remove	no	Box-elder	<i>Acer negundo</i>	4	9.8	9.0	6.5	6.0	Good		
8512	no	remove	no	Cottonwood	<i>Populus deltoides</i>	1	38.0	0.0	0.0	0.0	Good		
8513	yes	save		Honey Locust (cultivar)	<i>Gleditsia triacanthos</i>	1	13.8	0.0	0.0	0.0	Good		
8514	yes	save		Honey Locust (cultivar)	<i>Gleditsia triacanthos</i>	1	17.0	0.0	0.0	0.0	Good		
8515	yes	save		Austrian Pine	<i>Pinus nigra</i>	1	16.7	0.0	0.0	0.0	Good		
8516	yes	save		Siberian Elm	<i>Ulmus pumila</i>	1	7.7	0.0	0.0	0.0	Good		
8517	yes	save		Cottonwood	<i>Populus deltoides</i>	1	17.2	0.0	0.0	0.0	Good		
8518	yes	save		Cottonwood	<i>Populus deltoides</i>	2	14.8	6.7	0.0	0.0	Good		
8519	yes	save		Apple	<i>Malus pumila</i>	1	7.5	0.0	0.0	0.0	Good		

LOCATION MAP N.T.S.

ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT

GreystonePickleball Club
Auburn Hills

CLIENT

PLC Partners, LLC
343 Passage Lane
Franklin, TN 37064

Contact:
Patrick Chisolm
(O) 615-905-4587
(C) 407-923-8366

PROJECT LOCATION

No. N/A
N. Opdyke Road
Part of the SW. 1/4 of
Section 23, T.3N., R.10E.,
City of Auburn Hills,
Oakland County, MI

SHEET

Tree Preservation Plan



Know what's below
Call before you dig.

REVISIONS

03/26/2024 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
G. Ostrowski

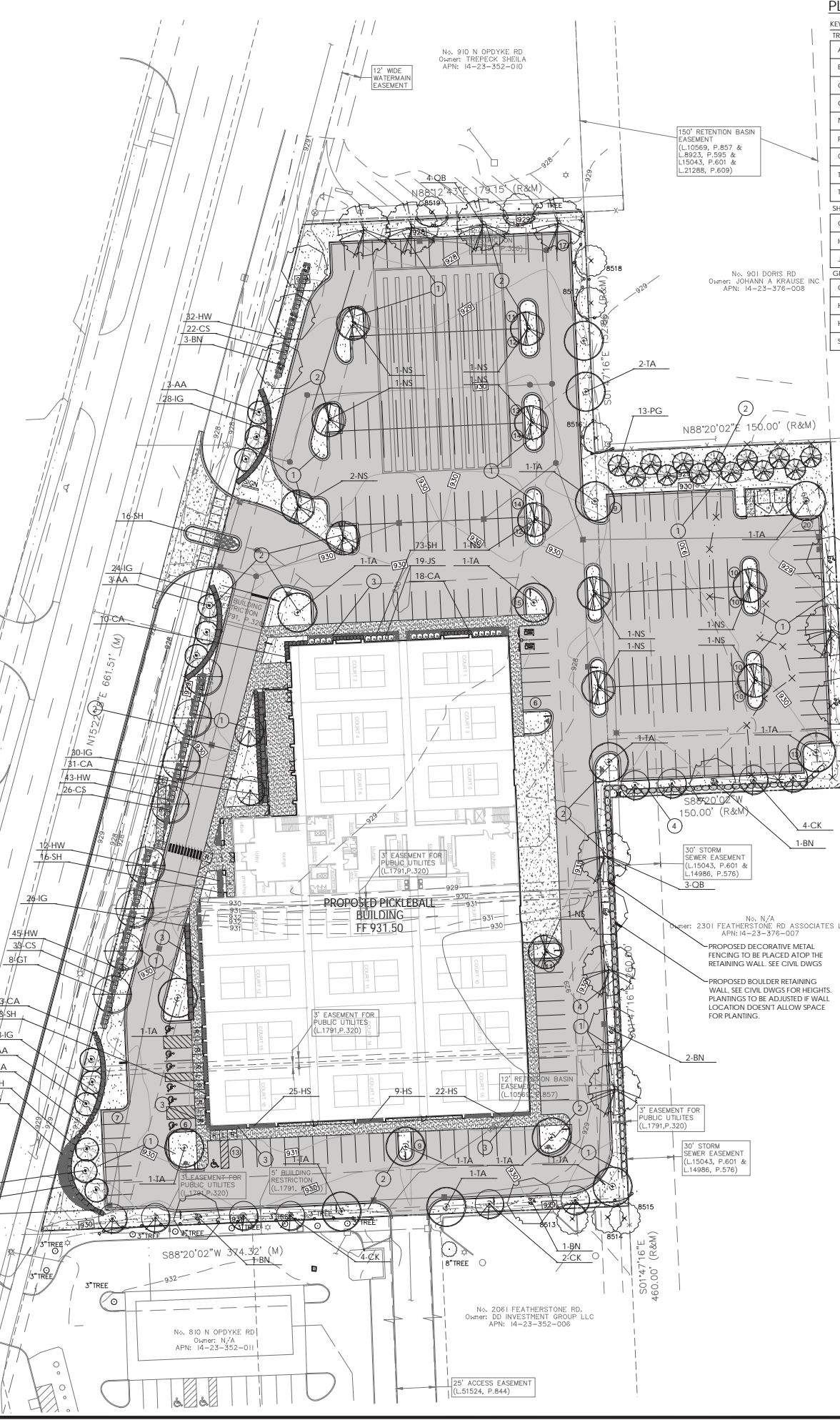
DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
02-27-2024

SCALE: 1" = 40'

NFE JOB NO. N943 SHEET NO. L1



1. ALL INSTALLED TREES SHALL HAVE A STRAIGHT TRUNK
2. ALL INSTALLED TREES ARE TO BE NORTHERN GROWN
3. ALL INSTALLED TREES ARE TO BE STATE DEPARTMENT OF AGRICULTURE GRADE NO 1 OR BETTER
4. ALL INSTALLED TREES ARE CONSIDERED PROTECTED REGARDLESS OF SIZE
5. ALL TREES SHALL BE GUARANTEED FOR A MINIMUM OF TWO (2) YEARS.
6. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM

ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W. SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SEPARATE ZONES SHALL BE PROVIDED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.

PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEED
WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH
(2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEED LAWN SHALL
BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION
BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A
MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY
UNTIL ESTABLISHED.

SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL 1 TO JUNE 1
FALL: AUGUST 15 TO OCTOBER 15

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX AT A RATE OF 220 LBS PER ACRE

MIX IS COMPRISED OF

- 30% NITE HAWK PERENNIAL RYE
- 30% KENTUCKY BLUEGRASS
- 20% CREEPING RED FESCUE
- 10% MERIT KENTUCKY BLUEGRASS
- 10% NEWPORT KENTUCKY BLUEGRASS

- 1 TYPICAL SEED LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 3 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 4 PROPOSED BOULDER RETAINING WALL

KEY	QTY	BOTANICAL COMMON NAME	SIZE	SPACING	ROOT	COMMENT	GENUS/SPECIES
TREES							
AA	12	Acer rubrum 'Armstrong' Red Maple	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	13%/13%
BN	10	Betula nigra River Birch	12-14' HT	SEE PLAN	B&B	FULLY BRANCHED HEADS	11%/11%
CK	12	Cornus kousa chinensis Kousa Dogwood	2" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	13%/13%
GT	8	Gleditsia hicanthos 'Streetkeeper' Streetkeeper Honey Locust	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	9%/9%
NS	12	Nyssa sylvatica 'Red Rage' Red Rage Black Tupelo	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	14%/14%
PG	13	Picea glauca 'Demarest' Black Hills Spruce	8' HT	SEE PLAN	B&B	FULL TO GROUND	14%/14%
QB	8	Quercus bicolor Swamp White Oak	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	9%/9%
TA	15	Tilia americana 'McSentry' American Sentry Linden	2.5' CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	16%/16%
TOTAL	90						
SHRUBS							
CS	81	Cornus sericea 'Arctic Fire' Arctic Fire Dogwood	30" HT	36" OC	B&B		
IG	148	Ilex glabra 'Strong Box' Strong Box Holly	30" HT	30" OC	B&B		
JS	19	Juniperus chinensis 'Spartan' Spartan Juniper	5' HT	4' OC	B&B		
GROUNDCOVERS/PERENNIALS							
CA	74	Calamagrostis a. 'Karl Foerster' Karl Foerster Feather Reed Grass	3 GAL	30" OC	CONT		
HS	95	Hemerocallis 'Stella D'Oro' Stella D'Oro Daylily	2 GAL	24" OC	CONT		
HW	132	Hemerocallis 'Wild Horses' Wild Horses Daylily	2 GAL	24" OC	CONT		
SH	197	Sporobolus heterolepis 'Tara' Tara Prairie Dropseed	2 GAL	24" OC	CONT		

LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS
AND VIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF
CONFLICT BETWEEN PLANTING AND EXISTING CONDITIONS, THE
COVERING QUANTITIES, CONTACT THE LANDSCAPE ARCHITECT WITH ANY
QUESTIONS.

THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES
AND EXISTING PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY
OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL
OTHER AGENCIES AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS
TO THE LANDSCAPE ARCHITECT IMMEDIATELY.

PLANTS SHALL BE FULLY IRRIGATED AND IN HEALTHY VIGOROUS
CONDITIONS AT THE TIME OF DELIVERY.

PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
PLANTS SHALL BE STAKED TO PREVENT WIND DAMAGE AND BE
GUARANTEED TO ENHANCE A GROWTH CYCLE FOR AT LEAST ONE (1)
YEAR AFTER PLANTING.

ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST
RECENT EDITIONS OF THE AMERICAN STANDARD FOR THE TESTING AND
QUALITY OF MATERIALS. THE CONTRACTOR SHALL PROVIDE EVIDENCE TO THE
LANDSCAPE ARCHITECT THAT ALL MATERIALS ARE OF THE QUALITY
AND DEFECT OF 1% FINISHED AREA.

ALL MATERIAL SHALL CONFORM TO THE MATERIAL SPECIFICATIONS ON SITE. SOIL
SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.
ALL MATERIAL SHALL BE DELIVERED TO THE SITE IN A CONDITION OF
BEING BACKLIFT. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED
RATES.

AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL,
1/3 COMPOST, AND 2/3 SCREENED TOPSOIL. THE MIX SHALL BE
DEDICATED IN PLANTING DETS.

ALL PLANTING SHALL BE DONE WITH SHREDED HARDWOOD BARK. SPREAD TO
A DEPTH OF 3" ON TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND
GROUND COVERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
PROTECTION OF ALL EXISTING PLANTING AND UTILITIES.

NO SUBSTITUTION ON CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE
WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. ANY
SUBSTITUTION SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN
THE CONTRACT AND THE ACTUAL PLANTING.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT
SPECIFICATIONS AND APPROVALS FROM THE LANDSCAPE ARCHITECT.
THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE SHALL HAVE THE RIGHT
TO INSPECT AND APPROVE ALL MATERIALS AND METHODS OF
THE PLANTS AND/OR SPECIFICATIONS.

ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A CONDITION OF
BEING BACKLIFT. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED
RATES.

ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE
WATER ACCUMULATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
THE PROTECTION OF ALL EXISTING PLANTING AND UTILITIES.

ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND
SYSTEM.

EXISTING SITE ZONING: B-2, AND T&R DISTRICT
GROSS SITE AREA: 208,087.48 S.F. OR 4.78 ACRES

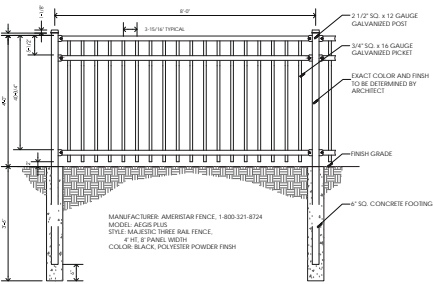
20% OF SITE AREA SHALL BE LANDSCAPE AREA
REQUIRED: 208,087.48 S.F. X 20% = 41,617.50 S.F.
PROVIDED: 37,515.92 S.F. (18%)

SITE AREA LANDSCAPE
1 TREE PER 1,000 S.F.
REQUIRED: 41,617.5 S.F. / 1,000 = 42 TREES
PROVIDED: 60 TREES

REQUIRED: $661.51 \text{ L.F.} / 30 \text{ L.F.} = 20.05$ OR
PROVIDED: 20 TREES

PROVIDED: 10 TREES

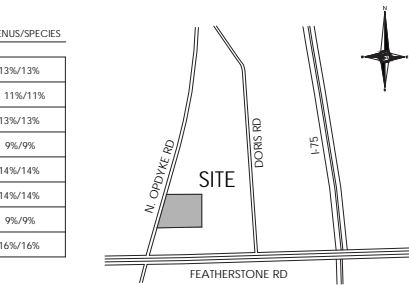
REQUIRED	PROVIDED
72	90



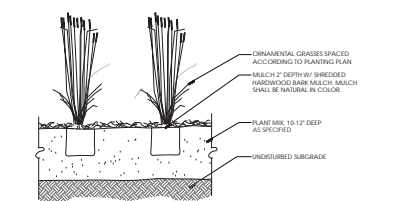
4' HT. ORNAMENTAL FENCE DETAIL

EVERGREEN TREE PLANTING DETAIL

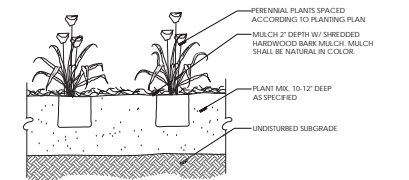
UPRIGHT EVERGREEN SHRUB PLANTING DETAIL



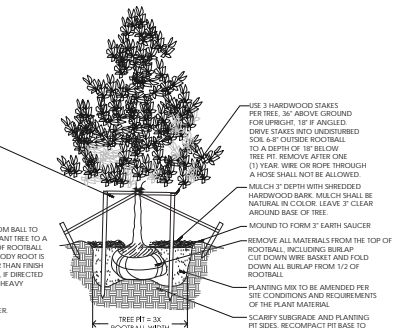
LOCATION MAP



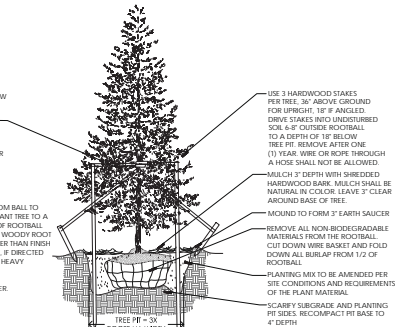
ORNAMENTAL GRASS PLANTING DETAIL



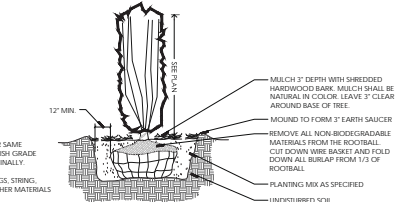
PERENNIAL PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



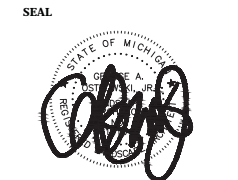
EVERGREEN TREE PLANTING DETAIL



UPRIGHT EVERGREEN SHRUB PLANTING DETAIL



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
GreystonePickleball Club
Auburn Hills

CLIENT
PLC Partners, LLC
343 Passage Lane
Franklin, TN 37064

Contact:
Patrick Chisolm
(O) 615-905-4587
(C) 407-923-8366

PROJECT LOCATION
No. N/A
N. Opdyke Road
Part of the SW. 1/4 of
Section 23, T.3N., R.10E.,
City of Auburn Hills,
Oakland County, MI

SHEET
Landscape Plan



REVISIONS
03/26/2024 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

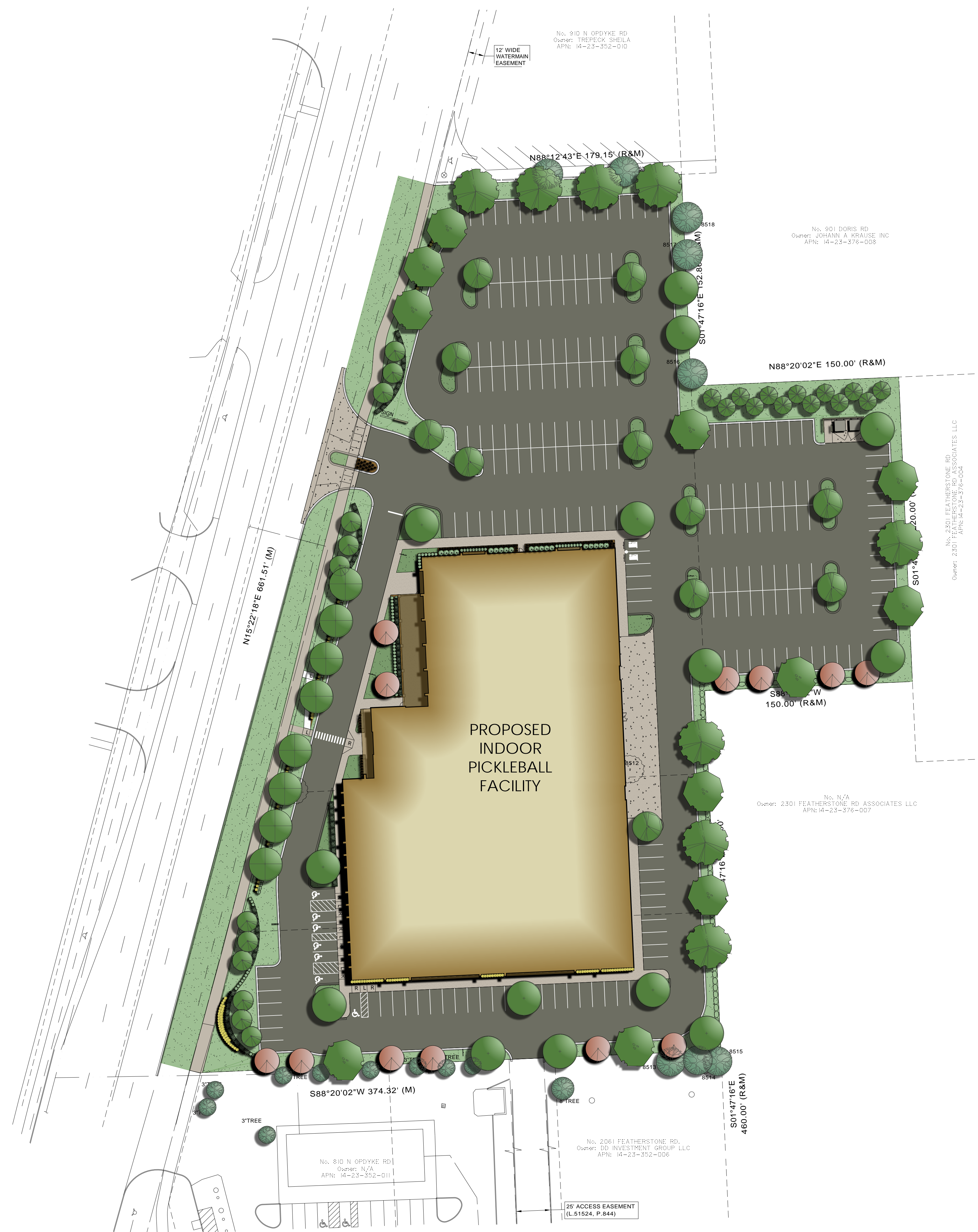
DATE:
02-27-2024

SCALE: 1" = 40'

40 20

NFE JOB NO.
N943

SHEET NO.
L2



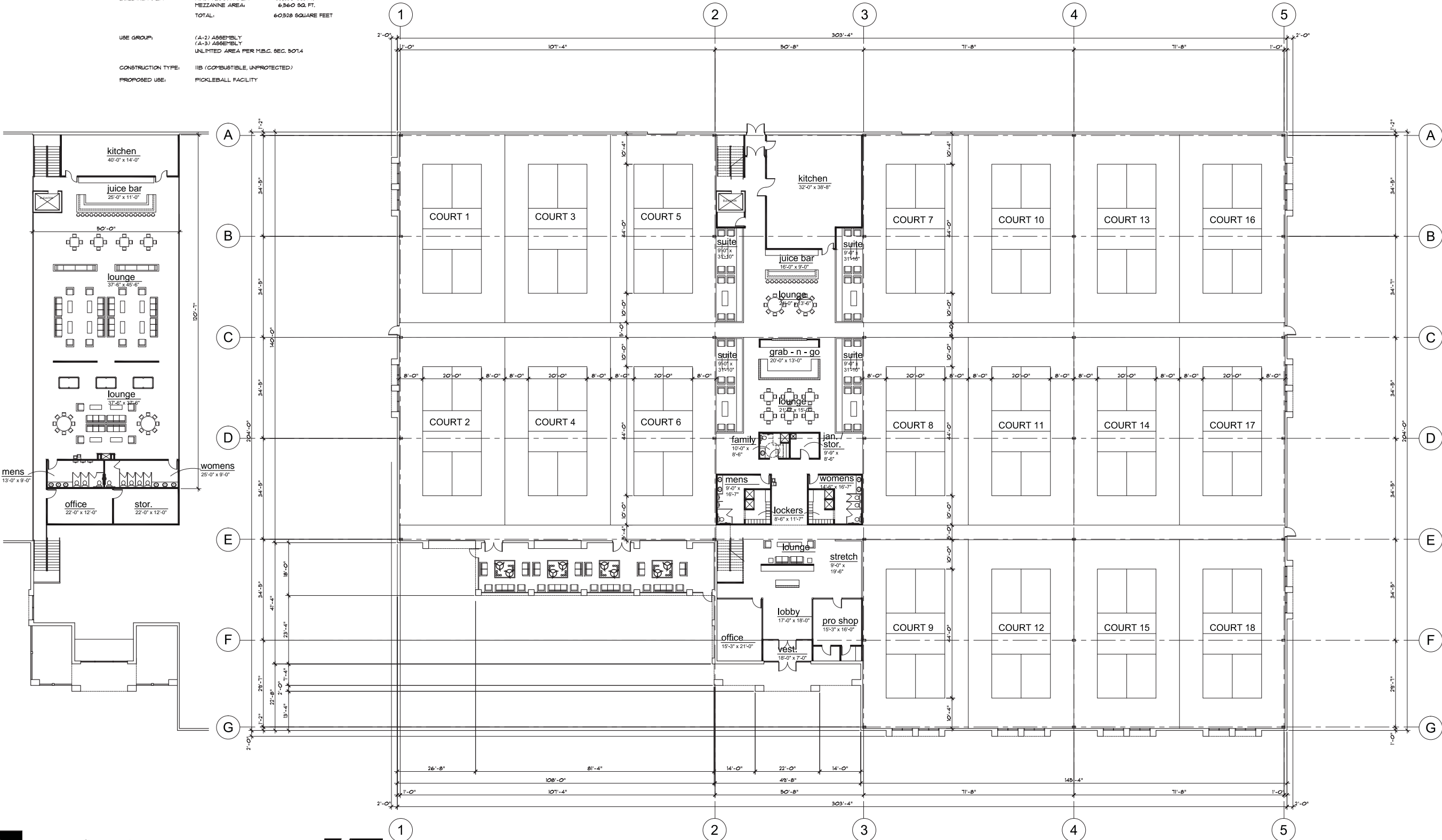
building data

LOCAL AGENCY:	AUBURN HILLS DEPARTMENT OF BUILDING AND SAFETY 1821 N. SQUIRREL RD. AUBURN HILLS, MI 48326
REFERENCE CODE:	2018 MICHIGAN BUILDING CODE WITH STATE AMENDMENTS 2018 MICHIGAN PLUMBING CODE WITH STATE AMENDMENTS 2018 MICHIGAN MECHANICAL CODE WITH STATE AMENDMENTS 2011 NATIONAL ELECTRICAL CODE WITH STATE AMENDMENTS MICHIGAN ENERGY CODE ASHRAE 90.1 - 2013
BUILDING AREA:	FIRST FLOOR AREA: 53,368 SQ. FT. MEZZANINE AREA: 6,560 SQ. FT. TOTAL: 60,328 SQUARE FEET
USE GROUP:	(A-2) ASSEMBLY (A-3) ASSEMBLY UNLIMITED AREA PER M.B.C. SEC. 501.4
CONSTRUCTION TYPE:	II-B (COMBUSTIBLE, UNPROTECTED)
PROPOSED USE:	PICKLEBALL FACILITY

fire suppression system note:

ENTIRE TENANT SPACE TO BE 100% FIRE SUPPRESSED.
FIRE PROTECTION CONTRACTOR TO PROVIDE SHOP
DRAWINGS FOR APPROVAL.

PRIOR TO THE INSTALLATION OF AN AUTOMATIC
SPRINKLER SYSTEM, PLANS SHALL BE SUBMITTED AND
APPROVED BY THE FIRE MARSHAL. A MINIMUM OF
THREE (3) SETS OF COMPLETE SPRINKLER PLANS
SHALL BE SUBMITTED. TWO (2) SETS WILL BE RETAINED
BY THE FIRE DEPARTMENT AND ALL OTHERS WILL BE
RETURNED TO THE SPRINKLER CONTRACTOR. THE
SPRINKLER SYSTEM SHALL BE INSTALLED AND
MAINTAINED IN ACCORDANCE WITH NFPA 13 AND ALL
LOCAL ORDINANCES.



mezz. floor plan

1/16" = 1'-0"



floor plan

1/16" = 1'-0"

Frank
Salamone

architects
engineers
planners

48701 hayes rd
shelby, mi 48315
586.532.0091

fsalamone@fsarchitect.com

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CONSENT OF FRANK SALAMONE ARCHITECT INC.

Date Issued:

S.P.A. 02/xx/24

Project:

Proposed Recreational
Facility for:

Greystone
Pickleball Club
Auburn Hills

Opdyke Road
Auburn Hills, MI

Client:

Patrick Chisholm

343 Passage Lane
Franklin, TN 37064

Sheet Title:

FLOOR PLANS

Project Number:

C23-135

Drawn By:

JFN

Checked By:

F.S.



Issue:

- ☐ preliminary
- ☒ construction
- ☐ record

Sheet Number:

A-1



fsalamone@fsarchitect.com

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[illegible]

Greystone
Pickleball Club
Auburn Hills
Opdyke Road
Auburn Hills, MI

Patrick Chisholm
343 Passage Lane
Franklin, TN 37064

Project Number:
C23-135

Checked By: _____
F.S.



Sheet Number:


$$3/32'' = 1'-0$$

$$3/32'' = 1'-0''$$

$$3/32'' = 1'-0''$$



















GREYSTONE
PICKLEBALL CLUB *Auburn Hills*







CHECKLIST

PROJECT NAME

GREYSTONE PICKLEBALL CLUB

(Check all that apply)

SITE PLAN

SPECIAL LAND USE

TREE REMOVAL PERMIT

REZONING

✓ PUD

The following items have not been included in your packet of information since they are either common, non-controversial items or the recommendations have been noted in the project's cover letter.

Public Notice

Police Department Approval Letter

Fire Department Approval Letter

Woodlands Consultant Approval Letter

Citizen's Participation Letter and Report

However, if you wish to see a copy of the above documents, they are on file in the Community Development Department.



CITY OF AUBURN HILLS

CITY COUNCIL AGENDA

MEETING DATE: APRIL 15, 2024

AGENDA ITEM NO 9B

DEPARTMENT OF PUBLIC WORKS

To: Mayor and City Council
From: Thomas A. Tanghe, City Manager; Tim Wisser, Manager of Municipal Properties
Submitted: April 10, 2024
Subject: Motion – Award a bid for the construction of the Public Square in downtown Auburn Hills

INTRODUCTION AND HISTORY

The City of Auburn Hills has made revitalizing its downtown area a priority, channeling substantial investments into a range of initiatives. These efforts, focused on strengthening the community and supporting local businesses, have encompassed economic development programs, infrastructure upgrades, and the addition of park amenities.

During the construction of several downtown projects, one notable example was the temporary installation of the “Pop-Up Public Square,” complete with artificial turf and outdoor furniture. This temporary green space quickly became a community hub, hosting events like Summerfest, Feed Your Soul, trivia nights, and in years prior, the Tree Lighting Ceremony. The overwhelming popularity of this temporary Public Square demonstrated the transformative impact such spaces can have, fostering a sense of community, providing recreational opportunities, and driving economic activity in the downtown corridor.

While the idea of establishing a Public Square in our downtown area has been explored for years, various challenges prevented the project from coming to fruition until now. Through persistent efforts to identify new funding opportunities, this vision of creating a central community gathering space has finally become a reality. After evaluating numerous design concepts, the project team has reached a consensus on the current proposed plan (Exhibit 1) to construct a Public Square in downtown Auburn Hills, strategically located south of Auburn Road, between The DEN and the building at 3400 Auburn Road. The scope of work will include removal of the existing asphalt pavement and curb, removal of the existing MOMs Memorial, base improvements for artificial turf, installation of an underdrain system for drainage, construction of a stage structure and pergola structures, installation of seat walls/planter beds, landscaping, and site lighting.

BID PROCESS

On March 20, 2024, a public bid opening was conducted at the City Clerk’s office to consider bids for the above-mentioned project. A total of four bids were received (Exhibit 2). The four low bidders are included in the bid-tabulation results below for your review and consideration.

COMPANY NAME	ADDRESS	TOTAL
Brencl Contractors, Inc.	26079 Schoenherr, Warren	\$989,301.00
Warren Contractors & Development, Inc.	14979 Technology Dr., Shelby Twp, MI	\$1,040,351.00
Quadrat Construction LLC	15801 23 Mile Rd, Macomb, MI	\$1,095,110.46
WCI Contractors, Inc.	20210 Conner, Detroit, MI	\$1,247,015.00

Brencl Contractors, Inc. out of Warren, Michigan was the initial “as-read” low bidder for the project. However, upon review of the bids, Brencl did not include an amount for Crew Days in their bid. After analyzing the remaining contract items (excluding Crew Days) from the other bidders, Warren Contracting & Development, Inc.

from Shelby Township, Michigan, emerged as the lowest bidder. Warren Contractors & Development has over 30 years of experience in similar construction projects. They have completed numerous comparable scopes of work throughout the region, including projects for the City of Auburn Hills, such as the Riverside Park Amphitheater and the Community Center tennis courts.

Staff recommends awarding the contract to Warren Contractors & Development in the amount of \$970,151.00, based on the unit prices listed in their bid. The amount of \$70,200.00 entered for Crew Days is not included in the recommended award, as these payments are not made to the Contractor directly. Instead, they are represented in OHM Advisors' Scope of Construction Services.

The packet includes a summary of the construction services cost for the Public Square Project, as defined by OHM Advisors, along with their recommendation for awarding the project (Exhibit 3). The scope of services encompasses construction engineering, contract administration, and construction surveying. The total cost for these services shall not exceed \$97,500. This amount incorporates the estimated expenses for construction observation, commonly referred to as "crew days." Material testing services, to be provided by G2, are estimated at an additional \$14,000. Total project costs equate to \$1,081,651.

PROJECT FUNDING

As noted above, City staff has persistently pursued additional funding sources to bring the Public Square project to fruition. In the summer of 2023, staff applied for the Michigan Economic Development Corporation's Revitalization and Placemaking 2.0 Grant Program, seeking additional funding for this project. At the time, the estimated project costs for the Public Square came to \$900,000. In Fall 2023, staff was informed that the City was awarded \$450,000 in grant funding to support the construction of the Public Square. A 50% match was required for the grant and, therefore, the TIFA Board of Directors had authorized funding support in the amount of \$200,000, which was included in the FY2024 TIFA Budget. The remaining \$250,000 grant match is to be provided by the Auburn Hills Community Foundation.

As the City Council will note, all bids received came in over the estimated construction costs for the Public Square. Therefore, the TIFA Board of Directors authorized a budget amendment at their April 9 meeting to close the funding gap for total project costs, bringing the TIFA's total contribution from \$200,000 to \$381,651. Below is the proposed funding breakdown for the project.

FUNDING ENTITY	AMOUNT
Auburn Hills Tax Increment Finance Authority	\$381,651.00
Auburn Hills Community Foundation	\$250,000.00
Michigan Economic Development Corporation Grant	\$450,000.00
FUNDING TOTAL	\$1,081,651.00

Staff recommends allocating all project expenses into one General Fund department for ease of expense tracking and grant reporting. Therefore, staff further recommends a budget amendment to the General Fund for both revenues and expenses. The contribution from the TIFA and the Auburn Hills Community Foundation would be immediately transferred to the General Fund upon City Council authorization, whereas the grant funds from the MEDC would not be received until project completion since it is a reimbursement grant. Upon project completion and grant closeout, there would be no impact to the City's General Fund as all expenses are to be covered by co-funding entities.

STAFF RECOMMENDATION

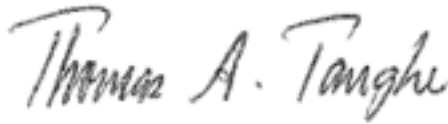
Staff recommends a bid award for the construction of the Public Square to Warren Contractors & Development, Inc., construction engineering/observation and contract administration to OHM Advisors, and material testing

services to G2 Consulting. Staff further recommends the approval of a budget amendment to the FY2024 General Fund Capital Projects department, increasing revenues by \$1,081,651 reflecting the transfer from TIFA-A in 101-901-699.251-PUBLICSSQUARE, the Community Foundation contribution in 101-901-674.000-PUBLICSSQUARE, and the MEDC grant contribution in 101-901-540.000-PUBLICSSQUARE. Lastly, staff recommends increasing appropriations by \$1,081,651 in line item 101-901-972.001-PUBLICSSQUARE.

MOTION

Move to award the bid for the construction of the Public Square to Warren Contractors & Development, Inc., Construction Engineering/Observation and Contract Administration Services to OHM Advisors, and Material Testing Services to G2 Consulting for a total project cost not to exceed \$1,081,651. Furthermore, amend the General Fund Capital Projects department budget increasing appropriations and revenues \$1,081,651.

I CONCUR:



THOMAS A. TANGHE, CITY MANAGER



LIST TITLE :

- A PERFORMANCE STAGE
- B PLANTING BED
- C OPEN SPACE
- D BRICK ACCENT WALKWAY
- E OVERHEAD LIGHTING
- F CONCRETE WALKWAY
- G PERGOLA
- H SEAT WALL

GRAPHIC SCALE
1"=20'



► PUBLIC SQUARE PLAZA SITE PLAN

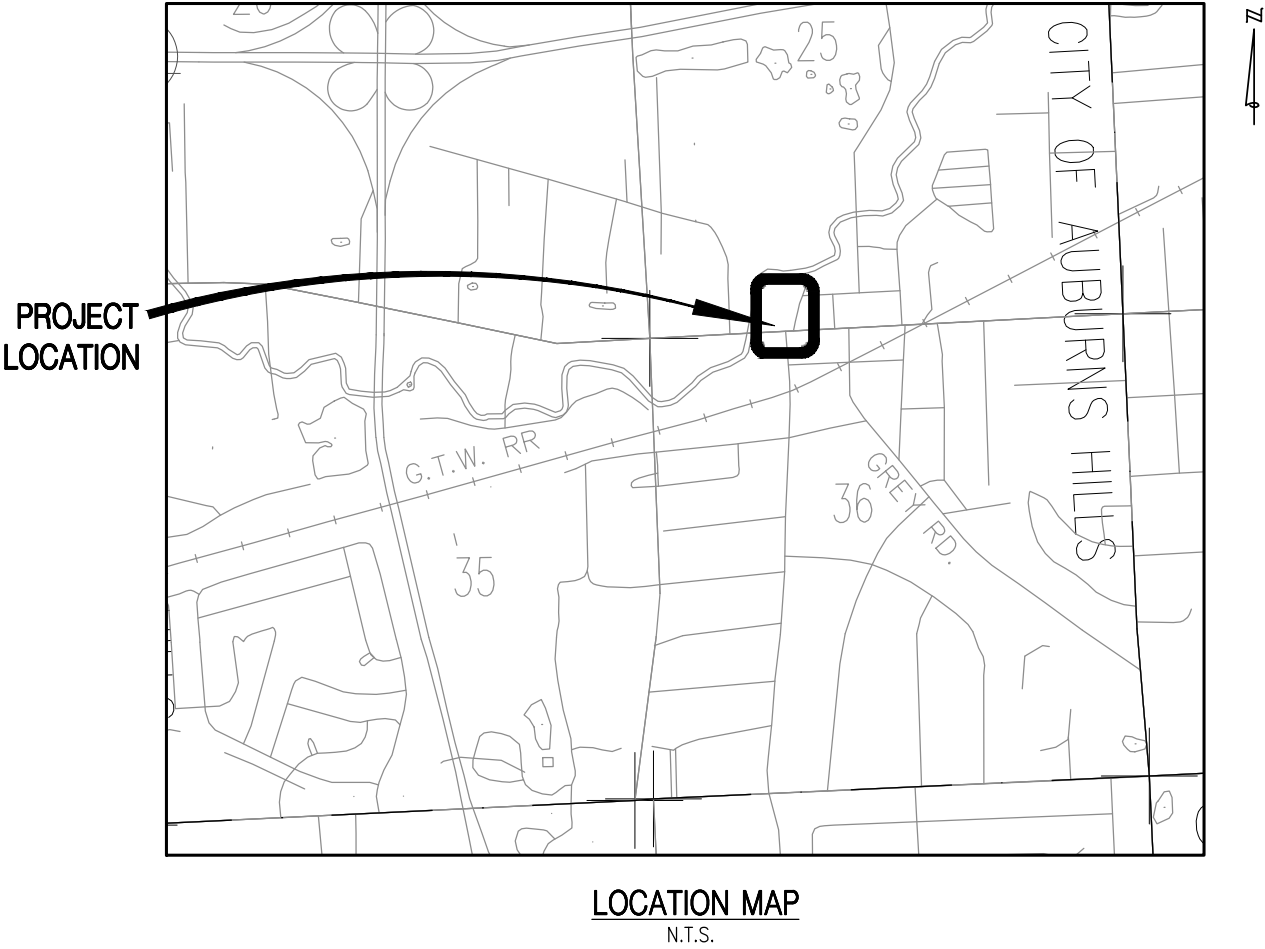
PUBLIC SQUARE | AUBURN HILLS, MI

04/09/2024

CITY OF AUBURN HILLS
OAKLAND COUNTY, MICHIGAN
AUBURN HILLS PUBLIC SQUARE

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2	GENERAL NOTES SHEET
3	LEGEND
4	REMOVAL PLAN
4	REMOVAL PLAN
6	UTILITY PLAN
7	LANDSCAPE MATERIALS PLAN
8	LANDSCAPE PLANTING PLAN
10	LANDSCAPE PLANTING DETAILS
11	LANDSCAPE SITE DETAILS
12	STAGE DETAILS
13	AWNING COLUMN AND SCULPTURE FOOTING DETAILS
14	STAGE AWNING DETAILS
15	AUBURN HILLS PUBLIC SQUARE
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17	ELECTRICAL DETAILS
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M.D.O.T. STANDARD PLANS	
TITLE	PLAN NO.
DRAINAGE STRUCTURES	R-1-D
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COVER E	R-10-C
COVER K	R-15-D
*SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	*R-28-F
DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS	R-29-F
CONCRETE CURB AND CONCRETE CURB & GUTTER	R-30-E
GRANULAR BLANKET, UNDERDRAINS, OUTLET ENDINGS FOR UNDERDRAINS, AND SEWER BULKHEADS	R-80-D
UTILITY TRENCHES	R-83-B
PRECAST CONCRETE END SECTIONS FOR PIPE CULVERT	R-86-D
*SEEDING AND TREE PLANTING	*R-100-F
GRADING CROSS-SECTIONS	R-105-D
*MDOT SPECIAL DETAIL	



GENERAL PROVISIONS

THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE PROPOSAL AND ACCOMPANYING SPECIFICATIONS FOR THIS PROJECT INCLUDING THE 2020 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2005 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION LOCAL AGENCY PROGRAMS GUIDELINES FOR GEOMETRICS DATED 8-28-08.

THE LOCATION OF ALL PUBLIC UTILITIES SHOWN ON THESE PLANS IS TAKEN FROM THE BEST AVAILABLE DATA. THE CITY OF AUBURN HILLS WILL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATIONS SHOWN. PURSUANT TO ACTS 173 & 174 OF THE P.A. OF 2013, AS A CONDITION OF THIS CONTRACT, NOTICE SHALL BE GIVEN TO MISS DIG PRIOR TO UNDERGROUND WORK TO BE PERFORMED IN ACCORDANCE WITH THIS CONTRACT. PHONE (800) 482-7171 (OR 811). UTILITY SERVICE CONNECTIONS ARE NOT SHOWN ON THE PLANS AND ARE NOT THE RESPONSIBILITY OF THE CITY OF AUBURN HILLS.

THE ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD 1988 VERTICAL DATUM.

APPLICATION DATE	PERMITS	APPROVAL DATE
	NONE	

CITY OF AUBURN HILLS
CITY COUNCIL

BRIAN MARZOLF
• MAYOR •

EUGENE HAWKINS III
• MAYOR PRO-TEM •

JACK D. FERGUSON
SHAWANNA FLETCHER

HENRY V. KNIGHT

KEVIN McDANIEL

CHERYL VERBEKE
• COUNCIL MEMBERS •

CONTRACT FOR: RECONSTRUCTION OF THE EXISTING PUBLIC SQUARE, INCLUDING THE REMOVAL OF THE EXISTING PARKING SURFACE, INSTALLATION OF ARTIFICIAL TURF, A STAGE, OVERHEAD SHADE STRUCTURES, AND LANDSCAPE PLANTINGS.



Advancing Communities

34000 Plymouth Road | Livonia, MI 48150
P (734) 522-6711 | F (734) 522-6427

PREPARED UNDER THE SUPERVISION OF:

BEN WEAVER, PLA

2/16/2024

Date

3901001575

Registration No.

REVISIONS
02/16/2024 REBIDDING

PROJECT NO.
0120-20-0300

SHEET NO.
1 OF 18

DRAWING PATH: \\omh\dfs\Corporate\Projects\0101_0125\012020300_Auburn Hills Public Square\Drawings\Civil\Misc\2030300NOT.dwg Feb 16, 2024 - 12:03pm

CITY STANDARD NOTES

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

ALL STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEANUP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE MUNICIPALITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE CONTRACTOR ACCORDINGLY. PAYMENT IS INCLUDED IN PROJECT CLEANUP.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNUP TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL BY THE ENGINEER OR THE MUNICIPALITY. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES FOR NOISE LEVELS, VIBRATIONS, OR ANY OTHER RESTRICTIONS. NO ADDITIONAL COMPENSATION WILL BE PAID FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED TO COMPLETE THE CONTRACT WORK.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.

UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACTS 173 AND 174 OF P.A. OF 2013 (MISS DIG 1-800-482-7171 OR 811) AND MUNICIPAL UTILITY/FIRE/POLICE CREWS THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

NO ADDITIONAL COMPENSATION SHALL BE PAID FOR ANY WORK STOPPAGE, DELAY, OR INCONVENIENCE DUE TO MATERIAL SHORTAGES, OPERATIONS OF OTHER PARTIES, OR EVENTS WITHIN HUMAN CONTROL.

UTILITIES

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE AS OBTAINED FROM EXISTING PLANS AND UTILITY RECORDS. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES. CONTACT MISS DIG AT PHONE (800) 482-7171 OR 811.

1. ELECTRIC:
DTE ENERGY
ATTN: LARRY NEZERITIS
ONE ENERGY PLAZA, RM. 518 S.B.
DETROIT, MICHIGAN 48226
(248) 427-2947

2. GAS:
CONSUMERS ENERGY
ATTN: STEVE JACKSON
(586) 918-6736

3. CABLE TELEVISION:
COMCAST
ATTN: CHRIS CYR
25626 TELEGRAPH ROAD
SOUTHFIELD, MICHIGAN 48034
(248) 521-8868

4. TELEPHONE:
AT&T
ATTN: MATT SLIWA
54 NORTH MILL STREET, BOX 32
PONTIAC, MICHIGAN 48342
(248) 877-0762

5. WATER & SANITARY SEWER:
CITY OF AUBURN HILLS
ATTN: JASON DEMAN
1500 BROWN ROAD
AUBURN HILLS, MICHIGAN 48326
(248) 391-3777
6. IRRIGATION & STREET LIGHTING:
CITY OF AUBURN HILLS
ATTN: TIMOTHY WISSER
(248) 391-3777

7. TELECOMMUNICATIONS:
WINDSTREAM
ATTN: DIRK WELTE
EMAIL: dirk.welte@windstream.com
(810) 691-1035

8. COUNTY DRAIN:
ATTN: JOEL KOHN
1 PUBLIC WORKS DR
WATERFORD, MICHIGAN 48328
(248) 858-0958

9. TRAFFIC SIGNALS:
ATTN: AHMAD JAWAD
ROAD COMMISSION FOR OAKLAND COUNTY
1200 N TELEGRAPH, WEST 49
PONTIAC, MICHIGAN 48341
(248) 858-7250

THE OWNERS OF EXISTING UTILITY POLES AND OTHER SERVICE STRUCTURES THAT ARE WITHIN GRADING LIMITS AND THAT ARE IDENTIFIED TO BE RELOCATED WILL BE MOVED TO LOCATIONS DESIGNATED BY THE ENGINEER/OWNER.

OWNERS OF PUBLIC UTILITIES WILL NOT BE REQUIRED BY THE DEPARTMENT TO MOVE ADDITIONAL POLES AND STRUCTURES THAT ARE NOT WITHIN GRADING OR STRUCTURE LIMITS IN ORDER TO FACILITATE THE OPERATION OF CONSTRUCTION EQUIPMENT UNLESS IT IS DETERMINED BY THE ENGINEER THAT SUCH POLE LINE OR STRUCTURES CONSTITUTE A HAZARD TO THE PUBLIC OR ARE EXTRAORDINARILY DANGEROUS TO THE CONTRACTOR'S OPERATIONS.

HAND FINISHING

HAND FINISHING OF CONCRETE POURS TO BE STRUCK OFF AND CONSOLIDATED BY HAND METHODS WILL BE PERMITTED ON VARIABLE WIDTH LANES AND LANES FORMED BY FLEXIBLE FORMS FOR SHORT RADIUS CURVES AS DIRECTED BY THE ENGINEER.

DETECTABLE WARNING SURFACE

SIDEWALK RAMPS WITH DETECTABLE WARNING SURFACE SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT 2012 STD SPECS FOR CONST AND AS DIRECTED BY THE ENGINEER. THE DETECTABLE WARNING SURFACE COLOR SHALL BE "SAFETY YELLOW" (FEDERAL COLOR NO. 33538).

UNDERGROUND UTILITIES

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CONTACT 'MISS DIG' A MINIMUM OF 3 WORKING DAYS PRIOR TO EACH EXCAVATION IN THE VICINITY OF UTILITY LINES. CONTACT MISS DIG AT PHONE (800) 482-7171 OR 811. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE 'MISS DIG' ALERT SYSTEM.

ADJUSTING MONUMENT BOXES

IT IS THE INTENT THAT ALL GOVERNMENT CORNERS ON THIS PROJECT BE PRESERVED AND THAT, WHERE NECESSARY, MONUMENT BOXES BE PLACED OR ADJUSTED, WHETHER SHOWN OR NOT, PRESERVING MONUMENT BOXES SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY REGISTER OF DEEDS STANDARDS.

PLAN ELEVATION

ELEVATIONS SHOWN ON THESE PLANS ARE ON THE 1988 NAVD DATUM.

STAKING

IF CONTRACTOR STAKING IS NOT PROVIDED IN THE CONTRACT, STAKING SHALL BE PROVIDED BY THE ENGINEER AND REQUIRES THREE (3) BUSINESS DAYS NOTICE. STAKING REQUEST FORMS CAN BE OBTAINED BY REQUEST FROM THE ENGINEER.

SOIL BORINGS

THE SOIL BORING LOGS REPRESENT POINT INFORMATION. PRESENTATION OF THIS INFORMATION IN NO WAY INFERS THAT SUBSURFACE CONDITIONS ARE THE SAME OTHER THAN AT THE EXACT LOCATION OF THE BORINGS.

EXISTING UNDERGROUND PUBLIC UTILITIES

THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING WATER MAINS AND/OR EXISTING SEWER DURING THE CONSTRUCTION OF THIS PROJECT.

UNDERGROUND CONFLICTS

THE CONTRACTOR SHALL EXPOSE EXISTING WATER MAIN, STORM SEWERS, SANITARY SEWERS, AND PRIVATE UTILITY CROSSINGS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER TO VERIFY EXISTING LOCATIONS AND ELEVATIONS BEFORE COMMENCING WORK ON A PROPOSED UTILITY. PAYMENT FOR WORK INCLUDED IN PROPOSED UTILITY.

UTILITY TRENCH DEWATERING

THE COST OF ANY DEWATERING OPERATIONS REQUIRED TO INSTALL THE PROPOSED UTILITIES SHALL BE INCLUDED IN THE UNIT PRICE FOR THE AFFECTED UTILITY. DISCHARGE FROM ALL DEWATERING PUMPS MUST BE FILTERED THROUGH A FILTER BAG. COST FOR THE PROVIDING AND DISPOSING OF THE FILTER BAGS SHALL BE PAID INCLUDED IN THE UNIT PRICE FOR THE AFFECTED UTILITY. BAGS SHALL BE REPLACED WHEN THEY BECOME CLOGGED OR IF THEY BECOME DAMAGED. REPLACEMENT OF BAGS DAMAGED DUE TO NEGLIGENCE BY THE CONTRACTOR WILL NOT BE PAID FOR SEPARATELY.

EXISTING CASTINGS

EXISTING UNDAMAGED CASTINGS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE IN KIND OR APPROVED EQUAL.

STRUCTURE COVERS

STRUCTURE COVERS WITHIN THE PROJECT LIMITS SHALL BE INSPECTED AND POOR CONDITION COVERS SHALL BE REPLACED AS DIRECTED BY THE ENGINEER. ESTIMATED QUANTITIES HAVE BEEN INCLUDED FOR Dr Structure Cover , Type ____ (EA).

FINAL ADJUSTMENTS OF ALL STRUCTURES BOTH NEW AND EXISTING SHALL BE MADE PRIOR TO PLACING THE FINAL PAVEMENT SURFACE.

UTILITY CROSSINGS

ALL UTILITY CROSSINGS AT DRIVEWAYS, APPROACHES, AND SIDE STREETS SHALL BE BACKFILLED IMMEDIATELY FOLLOWING PIPE INSTALLATION TO MAKE THESE THOROUGHFARES ACCESSIBLE. THIS WORK IS INCLUDED IN PIPE INSTALLATION.

PAVEMENT REMOVAL

PAVEMENT REMOVAL AS SHOWN ON THE PLANS SHALL BE AT THE DISCRETION OF THE ENGINEER. IF IN HIS/HER JUDGEMENT, AREAS OF PAVEMENT MAY BE LEFT IN PLACE, OR ADDITIONAL AREAS ADDED, TO PROVIDE THE PROPER CROSS-SECTION AND BASE ADJUSTMENTS CAN BE MADE IN THE QUANTITIES.

SIGNS

ALL SIGNS REQUIRING RELOCATION DUE TO CONSTRUCTION OPERATIONS SHALL BE SALVAGED AND RESET BY THE CONTRACTOR AT LOCATIONS DESIGNATED BY THE ENGINEER. THIS WORK WILL BE PAID AS SHOWN ON THE PLAN.

SURFACE RESTORATION

DISTURBED AREAS SHALL BE RESTORED IN ACCORDANCE WITH THE SPECIAL PROVISION FOR TURF ESTABLISHMENT AND AS DIRECTED BY THE ENGINEER. AREAS FOR SEEDING AND SODDING ARE INDICATED ON THE PLANS. MULCH BLANKET AND HIGH VELOCITY MULCH BLANKET SHALL BE PLACED IN ACCORDANCE TO SUBSECTION 816.03.H OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND AS SHOWN ON STANDARD PLAN R-100-SERIES.

ALL AREAS DISTURBED BY THE CONTRACTOR AND/OR HIS SUBCONTRACTOR BEYOND THE SLOPE STAKE LINE OF THE PROJECT SHALL BE SODDED OR SEEDED AS SPECIFIED OR DIRECTED BY THE ENGINEER. NO ADDITIONAL PAYMENT OR COMPENSATION WILL BE ALLOWED FOR RESTORATION OUTSIDE OF THE LIMITS AS SHOWN IN THE PLANS.



ARCHITECTS ENGINEERS PLANNERS

34000 Plymouth Road
Livonia, MI 48150
P (734) 522-6711 | F (734) 522-6427

OHM-ADVISORS.COM

REVISIONS

02/16/2024 REBIDDING

CAD COUNTY CAD JMS

PROJ MGR PROJ MGR BW

ENG ENG RM

DATE 01/26/24/00

MUNICIPALITY AUBURN HILLS

COUNTY OAKLAND

CITY OF AUBURN HILLS

AUBURN HILLS PUBLIC SQUARE

GENERAL NOTES SHEET

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WATER & SEWER UTILITY SYMBOLS

- EXISTING
- ST

STORM MANHOLE
- SQUARE CATCH BASIN
- ROUND CATCH BASIN
- CULVERT
- CULVERT W/O END SECTION
- CULVERT W/END SECTION
- SANITARY MANHOLE
- CLEAN OUT
- GATE VALVE & WELL
- GATE VALVE & BOX
- WATER STOP BOX
- FIRE HYDRANT
- METER PIT
- WATER METER
- SPRINKLER HEAD
- IRRIGATION VALVE

- PROPOSED
- STORM MANHOLE
- INLET/CATCH BASIN
- CULVERT END SECTION
- SANITARY MANHOLE
- GATE VALVE & WELL
- GATE VALVE & BOX
- TAPPING SLEEVE VALVE & WELL
- TAPPING SLEEVE VALVE & BOX
- FIRE HYDRANT

REAL ESTATE SYMBOLS

- CONTIGUOUS PROPERTY SYMBOL
- PARCEL NUMBER BOX
- NO ROW IMPACTS

MISCELLANEOUS UTILITY SYMBOLS

- EXISTING
- GUY WIRE
- GUY POLE
- UTILITY POLE
- UTILITY POLE W/LIGHT
- LIGHT/DECOR LAMP POLE
- FLOOD LIGHT
- GAS VALVE
- GAS VENT
- GAS METER
- GAS RISER
- TRAFFIC SIGNAL
- PEDESTRIAN RISER
- TRANSFORMER PAD
- PRIVATE UTILITY MANHOLE
- RAILROAD CROSSING
- ELECTRIC METER
- PHONE BOOTH
- TRAFFIC SIGNAL CONTROLLER
- HAND HOLE
- ELECTRIC RISER
- TELEPHONE RISER
- CABLE TV RISER
- MONITORING WELL
- UNDERGROUND MARKER

MISCELLANEOUS SYMBOLS

- EXISTING
- RIPRAP
- SIGN
- FLOW DIRECTION
- STUMP
- WETLAND
- CONIFEROUS TREE

CL 1 1" TO 5"

CL 2 6" TO 17"

CL 3 18" TO 35"

CL 4 36" AND UP
- DECIDUOUS TREE
- CONIFEROUS SHRUB
- DECIDUOUS SHRUB
- SOIL BORING
- SECTION CORNER
- MONUMENT
- IRON ROD/PIPE
- PK NAIL
- BENCHMARK
- TRAVERSE POINT
- MAIL/NEWSPAPER BOX
- FLAG POLE
- POST

- HAZARDOUS OR FLAMMABLE MATERIAL

USED WITH UNDERGROUND GAS & ELECTRICAL LINES
- CAUTION - CRITICAL UNDERGROUND UTILITY

USED WITH TELEPHONE & FIBER OPTIC LINES

- PROPOSED
- RIPRAP
- SIGN
- FLOW DIRECTION
- STRUCTURE NUMBER

WM SAN STM
- ADA SIDEWALK RAMP

UTILITY PATTERN

- EXISTING
- ELECTRICAL *
- GAS\OIL
- CABLE/TELEPHONE *
- FIBER OPTIC *
- WATER
- SANITARY
- STORM
- STORM/SANITARY/WATER
- PRIMARY UTILITY WILL HAVE A CONTINUOUS LIFESTYLE, WITH THE SECONDARY UTILITY MATCHING ITS RESPECTIVE EXISTING UTILITY LIFESTYLE
- *OH = OVERHEAD , UG = UNDERGROUND

ROW PATTERN

- EXISTING
- ROW
- SECTION
- PROPERTY/PARCEL
- ROW

TOPO PATTERN

- EXISTING
- HEDGE/TREE
- FENCE
- GUARDRAIL
- CENTERLINE OF DITCH
- RAILROAD
- WETLAND/EDGE OF WATER
- GRADING LIMIT (SLOPE STAKE)
- CENTERLINE OF DITCH
- GUARDRAIL
- FENCE
- PROPOSED

REMOVAL LEGEND

- SIDEWALK REMOVAL
- HMA SURFACE REMOVAL
- PAVEMENT REMOVAL
- COLD MILLING HMA SURFACE
- HMA BASE CRUSHING AND SHAPING
- EXCAVATION, EARTH, MODIFIED
- CURB AND GUTTER, REM
- TREE, REM
- SALVAGE
- BULKHEAD
- ABANDON
- REMOVE
- ADJUST
- RELOCATE
- RECONSTRUCT
- REMOVE BY OTHERS
- ADJUST BY OTHERS
- RELOCATE BY OTHERS

IF NECESSARY FOR CLARITY

- SALVAGE
- BULKHEAD
- ABANDON
- CLEARING
- REMOVE
- RELOCATE
- RECONSTRUCT
- RELOCATE BY OTHERS
- ADJUST BY OTHERS

ARCHITECTS ENGINEERS PLANNERS




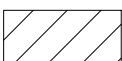

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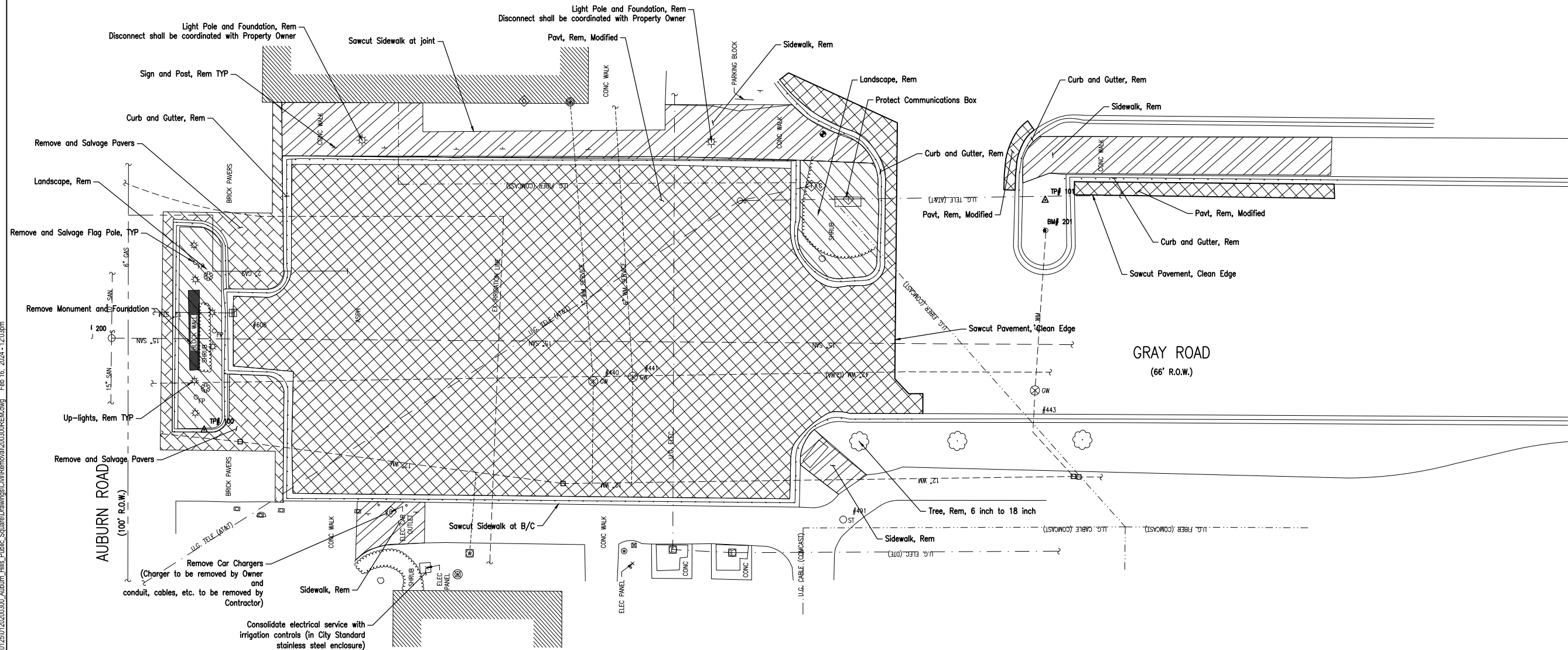
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REVISIONS	
02/16/2024	REBIDDING

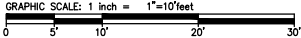
DATE	PROJ NUMBER	ENG	PROJ MGR	CADD	COUNTY	MUNICIPALITY
01/26/24/000	HM	BW			OHIO	AUBURN HILLS
CITY OF AUBURN HILLS AUBURN HILLS PUBLIC SQUARE						
LEGEND						

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	Pavement, Rem
	Sidewalk, Rem
	Brick Pavers, Rem & Salvage
	Landscaping, Rem
	Curb and Gutter, Rem

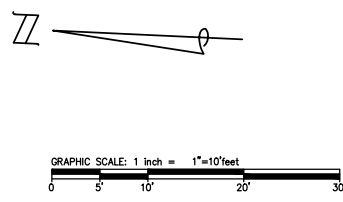
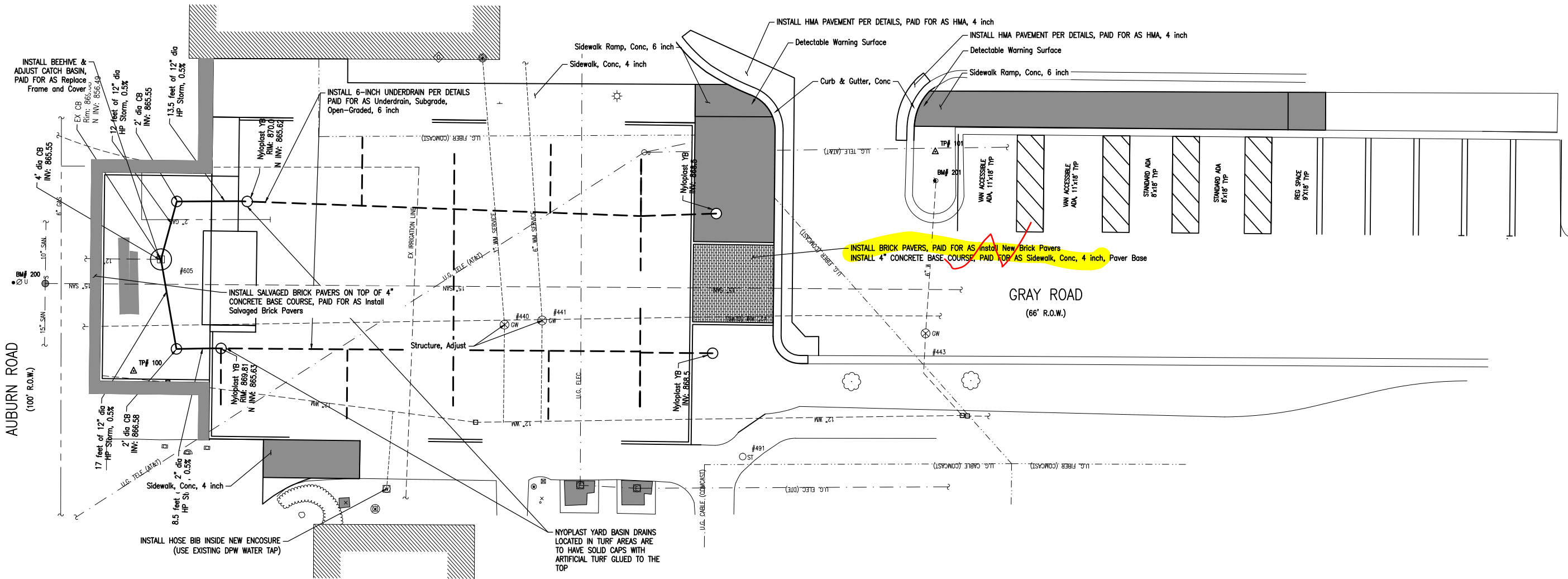


4
OF 18



Know what's **below**.
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DRAWING PATH: \\omni\dfs\Corporate\Projects\0101_0125\012020\300 Auburn Hills Public Square\Drawings\Civil\Plans Const\2020\01\UT_Land Feb 16, 2024 - 12:05pm



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34000 Plymouth Road
Livonia, MI 48150
P (734) 522-6711 | F (734) 522-6427
OHM-ADVISORS.COM



SHEET	6						OF 18
DATE	PROJ NUMBER	ENG	PROJ MGR	CADD	COUNTY	MUNICIPALITY	REVISIONS
	0125-24-000		HMI	BW	OAKLAND	AUBURN HILLS	
CITY OF AUBURN HILLS							
AUBURN HILLS PUBLIC SQUARE							
UTILITY PLAN							
02/16/2024 REBIDDING							



PUBLIC SQUARE GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL DOCUMENTED UNDERGROUND UTILITIES, PIPES AND STRUCTURES. LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION UNLESS OTHERWISE NOTED. CONTACT MISS DIG (811 OR 800-482-7171) A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
3. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. ALL DIMENSIONS ON THIS DRAWING ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
5. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCE, AND PROCEDURES OF THE WORK.
6. THE CONTRACTOR SHALL KEEP ALL DRAINAGE FACILITIES (CATCH BASINS, YARD DRAINS, ETC.) AFFECTED BY HIS CONSTRUCTION OPERATIONS CLEAN AND FULLY OPERATIONAL AT ALL TIMES.
7. CONTRACTOR SHALL REPAIR AT HIS OWN EXPENSE, ANY DAMAGE, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, TO UTILITY SYSTEMS, SURFACE PAVEMENTS, FIXTURES, STRUCTURES, AND/OR EXISTING TREES OR LANDSCAPING THAT ARE NOT SPECIFICALLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION. IN THE EVENT THAT ANY EXISTING DRAINAGE STRUCTURES OR UTILITIES ARE DAMAGED AND THE SERVICES DISRUPTED, THE LINES SHALL BE IMMEDIATELY REPAIRED AND THE SERVICES RESTORED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
8. IN THE EVENT THAT DISCREPANCIES ARISE BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION.

- 

[illegible]

DRAWING PATH: \\omh\dfs\Corporate\Projects\0101_01250102020300_Auburn Hills Public Square\Drawings\Civil\Plans_Const\2020300.SC_2023-1113.dwg Feb 15, 2024 - 12:05pm

JOB BENCHMARK #200
DESCRIPTION: CHISELED "+" ON TOP OF
NW/BOLT ON STRAIN POLE, S/SIDE OF
AUBURN RD @ SQUIRREL RD DEAD END
ELEV 869.77

JOB BENCHMARK #201
DESCRIPTION: ARROW ON TOP OF HYD
AT SE QUAD OF PARKING LOT IN
GRASS BULL NOSE ISLAND
ELEV 873.84

TRAVERSE POINT #100
N 415193.18
E 13431725.62 ELEV 869.70

TRAVERSE POINT #101
N 415046.18
E 13431774.92 ELEV 871.98

TOWN SQUARE PLANTING PLAN
SCALE: 1" = 10'-0"

GRAPHIC SCALE: 1 inch = 10 feet
0 5 10 20 30

PLANT LIST						
TREES						
CODE	COMMON NAME	BOTANICAL NAME	SIZE	COND.	SPACING	NOTES
SS SG	SLENDER SILHOUETTE SWEET GUM	<i>Liquidambar styraciflua 'Slender Silhouette'</i>	3' CAL.	B & B	PER PLAN	FULL, EVEN CANOPY
BH RM	BOWHALL RED MAPLE	<i>Acer rubrum 'Bowhall'</i>	3' CAL.	B & B	PER PLAN	FULL, EVEN CANOPY
IS LC	IVORY SILK TREE LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	12' HT.	B & B	PER PLAN	FULL, EVEN CANOPY

SHRUBS						
CODE	COMMON NAME	LATIN NAME	SIZE	COND.	SPACING	NOTES
ES HD	ENDLESS SUMMER HYDRANGEA	<i>Hydrangea macrophylla 'Endless Summer'</i>	#5 Cont.	CONT.	3' O.C.	EVEN HABIT
GF SP	GOLD MOUND SPIRAEA	<i>Spiraea japonica 'Goldflame'</i>	#3 Cont.	CONT.	3' O.C.	EVEN HABIT
WD YW	WARD'S YEW	<i>Taxus x media 'Wardii'</i>	#3 Cont.	CONT.	3' O.C.	FULL, EVEN HABIT
BX WD	BOXWOOD	<i>Buxus x 'Green Gem'</i>	#3 Cont.	CONT.	30" O.C.	FULL, EVEN HABIT

GRASSES / PERENNIALS / GROUNDCOVERS						
CODE	COMMON NAME	LATIN NAME	SIZE	COND.	SPACING	NOTES
FO GR	FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i>	1 GAL.	CONT.	30" O.C.	
DL LY	STRAWBERRY CANDY DAYLILY	<i>Hemerocallis 'Strawberry Candy'</i>	1 GAL.	CONT.	18" O.C.	
HD GR	HARDY GERANIUM	<i>Geranium 'Max Frei'</i>	1 GAL.	CONT.	12" O.C.	

PLANTING NOTES

- THE CONTRACTOR SHALL VERIFY UTILITY CLEARANCES THROUGH MISS DIG PRIOR TO DETERMINING FINAL LOCATIONS FOR ALL STREETSCAPE FEATURES, INCLUDING ALL PLANTINGS. ANY FIELD ADJUSTMENTS TO FINAL PLANTING LOCATIONS SHALL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- STAKE ALL BED LINES FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
- SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. IN THE EVENT THAT PLANT MATERIALS SPECIFIED ARE NOT AVAILABLE, CONTACT LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTIONS FOR PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- VERIFY THAT ALL PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.
- PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, STEMS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL FORMED, TRUE TO SPECIES, HARDENED OFF WITH VIGOROUS ROOT SYSTEMS, FULL CROWN AND CANOPIES, AND FREE FROM DISEASE, PESTS AND INSECTS, AND DEFECTS SUCH AS WINDBURN, LEAF DISCOLORATION, IRREGULAR BRANCHING OR INJURIES.
- ALL PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
- PROVIDE PLANT PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO SHIPPING.
- TEST FILL ALL PLANTING PITS WITH WATER, PRIOR TO PLANTING, TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE TO OCCUR AND/OR BACKFILLED WITH SUITABLE DRAINAGE GRAVEL. NO ALLOWANCES SHALL BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL REPLACE LOST PLANT MATERIAL WITH SAME SIZE AND SPECIES AT NO ADDITIONAL COST TO OWNER.
- ALL PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT. CONTRACTOR SHALL REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, MULCHING, AND OTHER PLANTING REQUIREMENTS.
- LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF PLANTING MIX AND BE DRESSED WITH SHREDDED HARDWOOD MULCH TO A MINIMUM 4" DEPTH.
- ALL PROPOSED TREES SHALL BE BACK FILLED WITH 1/2 CUBIC YARD OF PLANTING MIX. PROPOSED TREES LOCATED OUTSIDE OF A DESIGNATED PLANTING BED SHALL HAVE A MINIMUM 4' DIAMETER TREE RING DRESSED WITH SHREDDED HARDWOOD MULCH TO A MINIMUM 4" DEPTH.
- ALL PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION.
- REMOVE ALL PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN ALL PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.
- REFER TO PUBLIC SQUARE GENERAL NOTES ON SHEET # FOR ADDITIONAL INSTRUCTIONS.
- REFER TO SHEET 10 FOR PLANTING DETAILS.

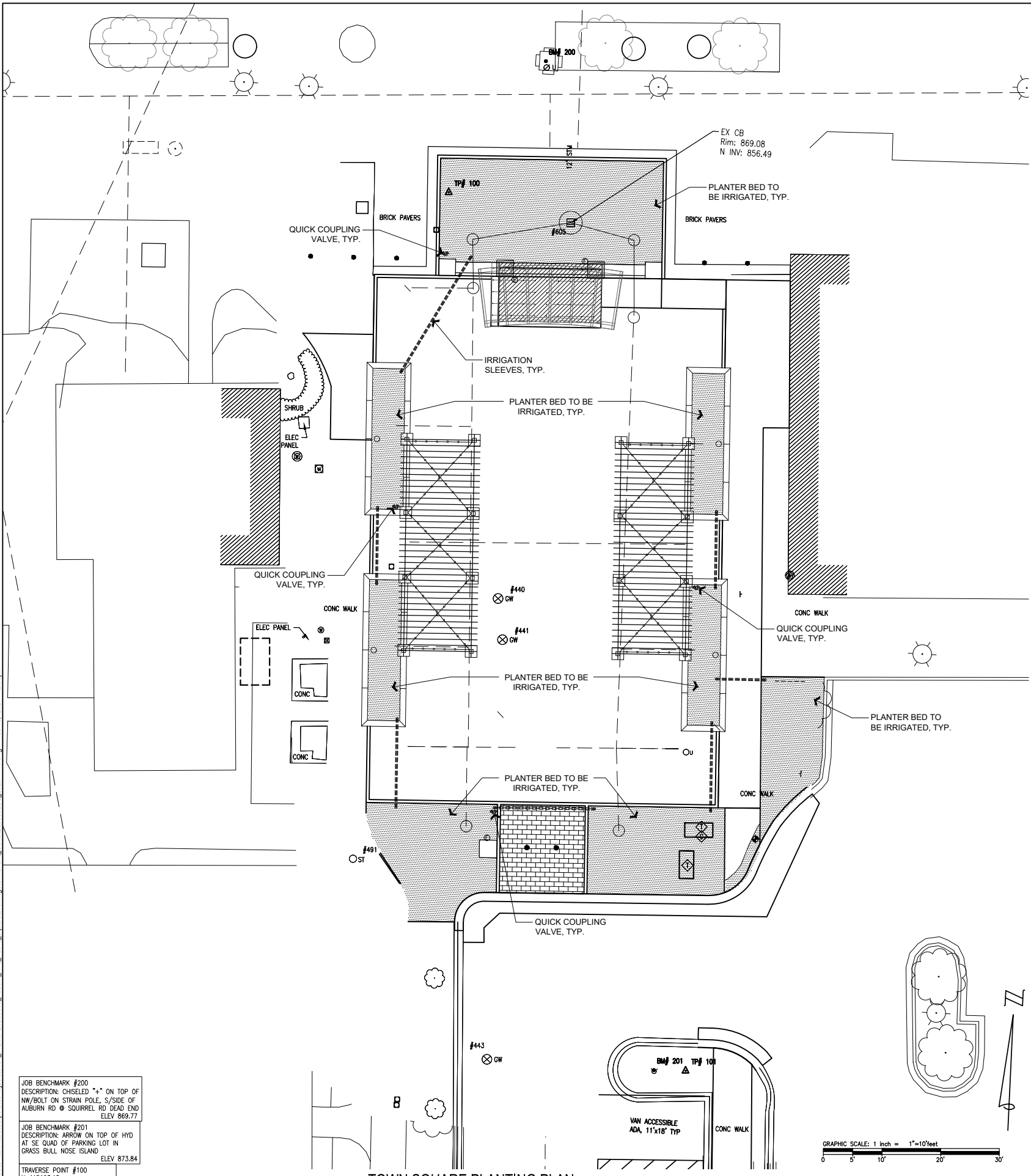
IRRIGATION NOTES

- ALL PLANTING BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES.
- CONTRACTOR WILL ARRANGE INSPECTIONS FOR IRRIGATION REQUIRED BY THE SPECIFICATIONS DURING THE COURSE OF CONSTRUCTION. ALL WIRING AND BACKFLOW PREVENTION TO BE PER LOCAL CODE AND AS DESCRIBED IN THE SPECIFICATION.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTIONS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
- SEE IRRIGATION SPECIFICATION FOR ADDITIONAL INFORMATION
- SHOP DRAWINGS SHALL BE REQUIRED FOR IRRIGATION PLANS AS DESCRIBED IN THE SPECIFICATION.



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TOWN SQUARE PLANTING PLAN
SCALE: 1" = 10'-0"

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6. ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
7. SEE IRRIGATION SPECIFICATION FOR ADDITIONAL INFORMATION
8. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE DESIGN OF THE IRRIGATION SYSTEM FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL COORDINATE WATER CONTROLLER LOCATION WITH THE CITY OF AUBURN HILLS.
10. NO IRRIGATION OVER SPRAY ON WALKWAYS AND ROADWAYS SHALL BE PERMITTED.

IRRIGATION LEGEND:

- LANDSCAPE PLANTING BED TO BE IRRIGATED
- IRRIGATION CONDUIT
- (2) 4" SCH. 40 PVC SLEEVES (FOR WATER LINES)
- (1) 2" SCH. 40 PVC CONDUIT (FOR WIRING)
- QUICK COUPLING VALVE
- POINT OF BEGINNING FOR IRRIGATION SYSTEM - CONTRACTOR SHALL COORDINATE WATER SOURCE (TAP OR EXISTING FEED) AND BACKFLOW DEVICE WITH THE CITY OF AUBURN HILLS.

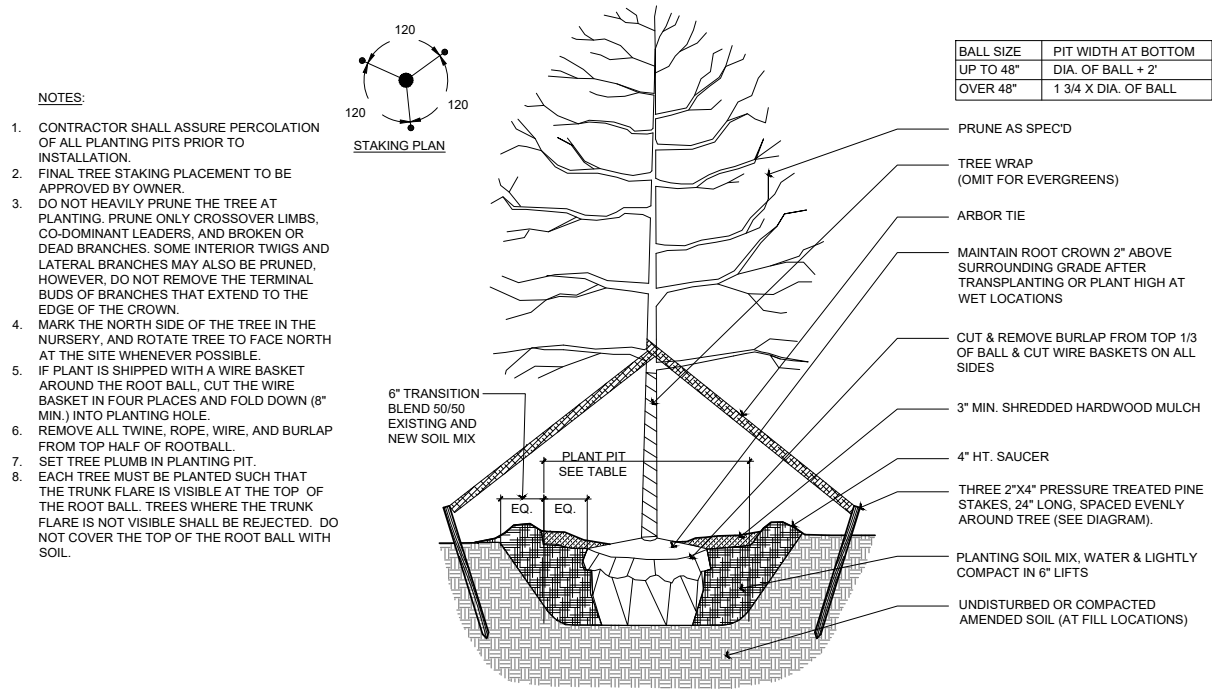
REVISIONS
02/16/2024 REBIDDING

CITY OF AUBURN HILLS
AUBURN HILLS PUBLIC SQUARE
IRRIGATION PLAN



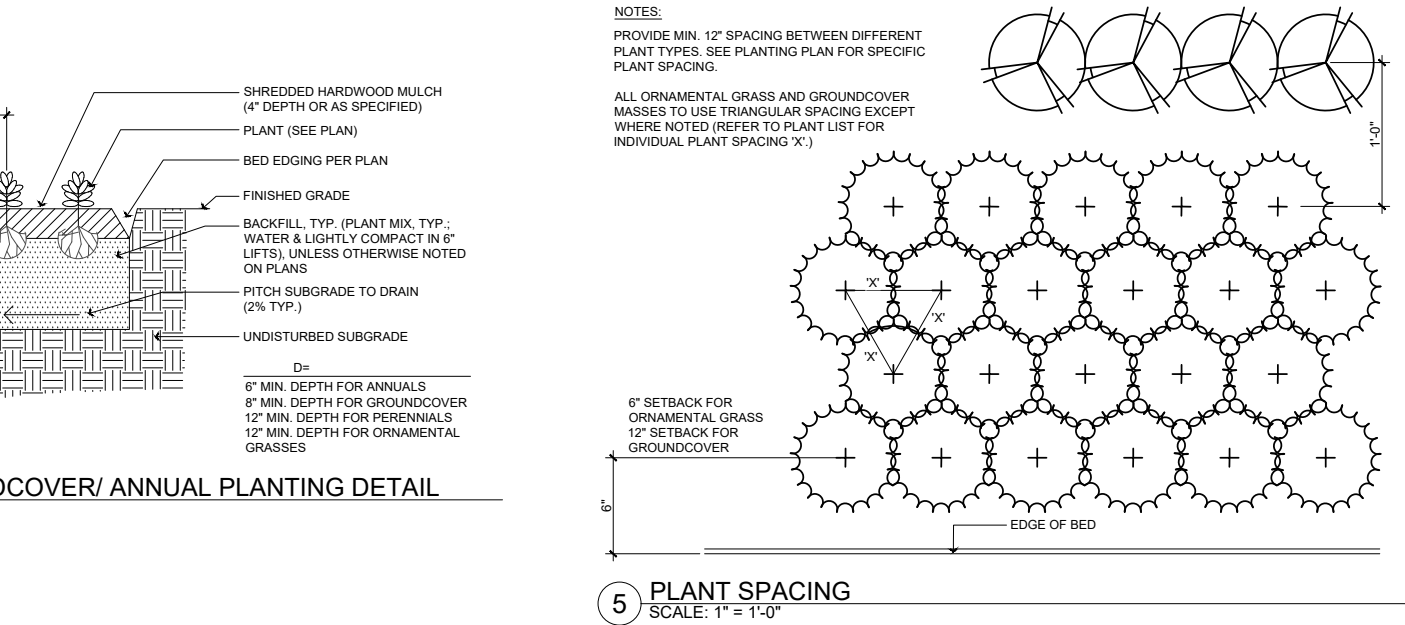
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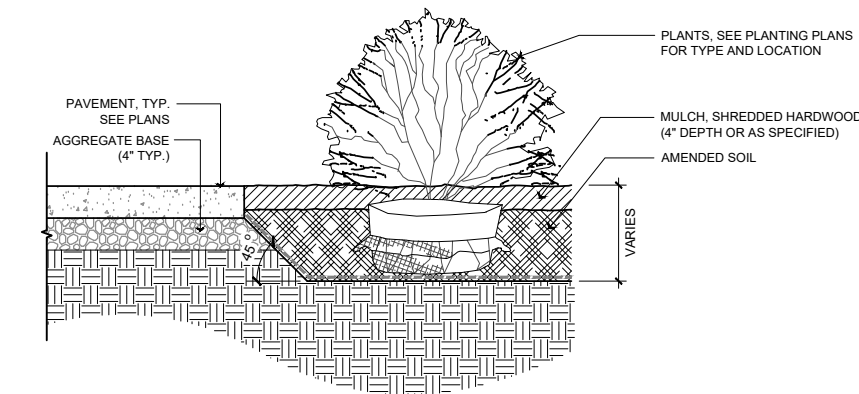


1 TREE PLANTING
SCALE: 1/2" = 1'-0"

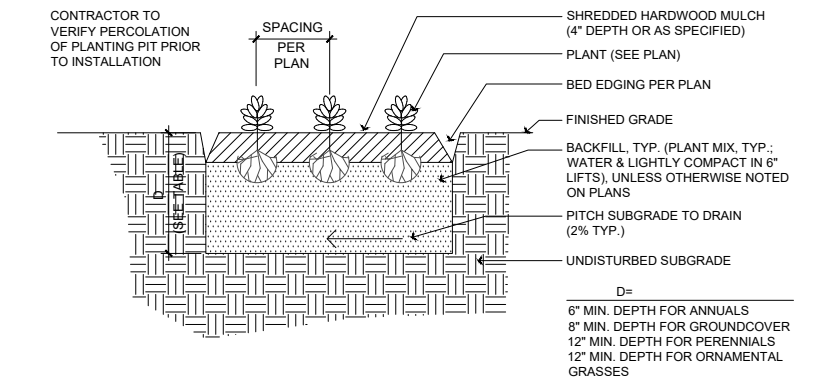
2 MULTI-STEMMED TREE PLANTING
SCALE: 1/2" = 1'-0"



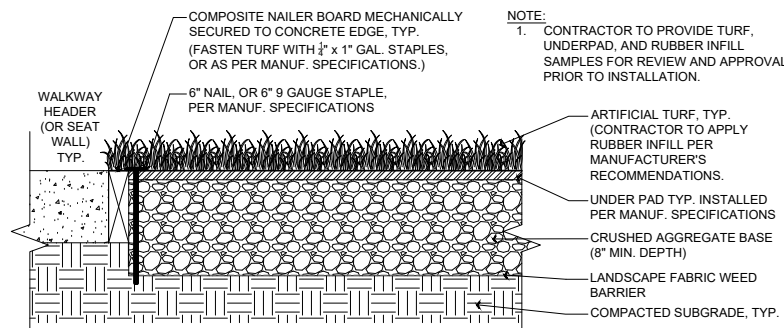
3 SHRUB / ORNAMENTAL GRASS PLANTING
SCALE: 1" = 1'-0"



6 EXCAVATION FOR SOIL AT PAVEMENT AND STRUCTURES
SCALE: 1" = 1'-0"



4 PERENNIAL/ GROUNDCOVER/ ANNUAL PLANTING DETAIL
SCALE: 1" = 1'-0"



7 ARTIFICIAL TURF DETAIL
SCALE: 1 1/2" = 1'-0"

REVISIONS
02/16/2024 REBIDDING

MUNICIPALITY
AUBURN HILLS

COUNTY
OAKLAND

CADD
JMS

PROJECT
ENG

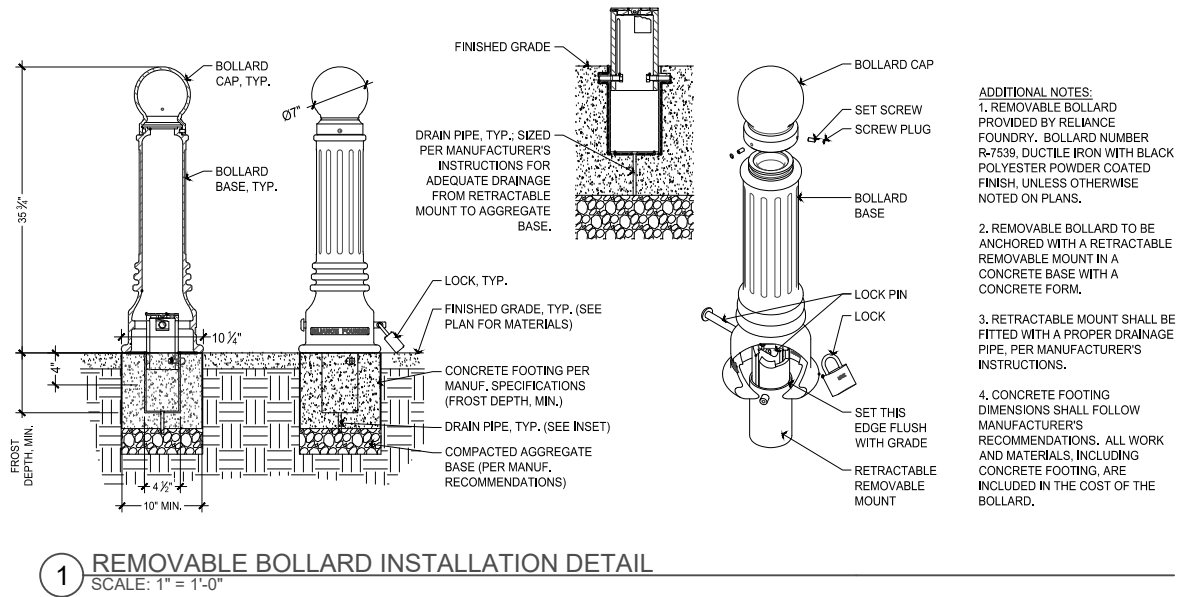
PROJ NUMBER
072523-0300

DATE
07/25/2023

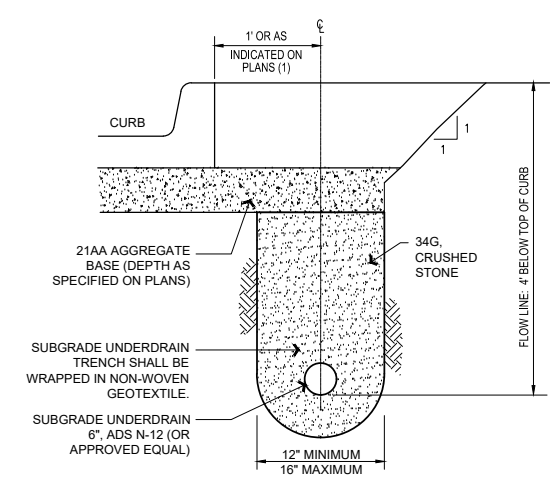
SHEET
10
OF 18

CITY OF AUBURN HILLS
AUBURN HILLS PUBLIC SQUARE
LANDSCAPE PLANTING DETAILS

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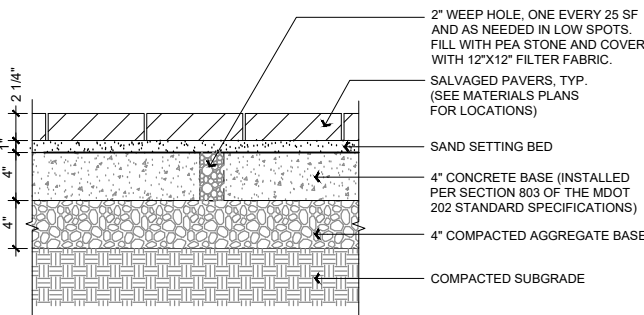


1 REMOVABLE BOLLARD INSTALLATION DETAIL
SCALE: 1" = 1'-0"

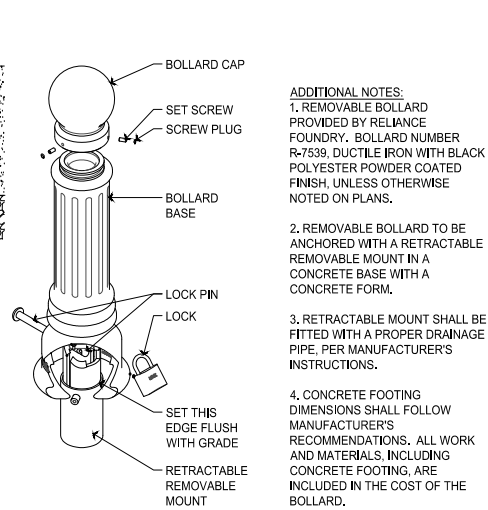


- NOTES:
1. LOCATION MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
 2. ALL UNDERDRAIN SHALL BE APPROVED PLASTIC PIPE PER MDOT SECTION 909.07. METAL PIPE SHALL NOT BE USED.
 3. ALL UNDERDRAIN SHALL OUTLET TO DRAINAGE STRUCTURE.
 4. UNDERDRAIN CONNECTIONS (AT LOW POINTS) SHALL BE MADE AS CLOSE TO THE STRUCTURE INVERT AS PRACTICAL, WITH A SPIRAL WRAP OF THE STRUCTURE USED TO MAKE THE TRANSITION FROM THE REQUIRED FLOW LINE DEPTH TO STRUCTURE INVERT.
 5. ALL ITEMS NECESSARY TO COMPLETE THE DETAIL ABOVE SHALL BE CONSIDERED INCIDENTAL TO THE PAY ITEM "SUBGRADE UNDERDRAIN, 6 INCH"

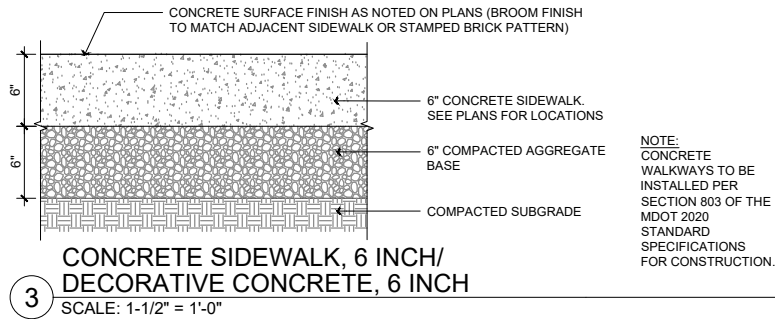
5 SUBGRADE UNDERDRAIN, OPEN-GRADED, 6"
NOT TO SCALE



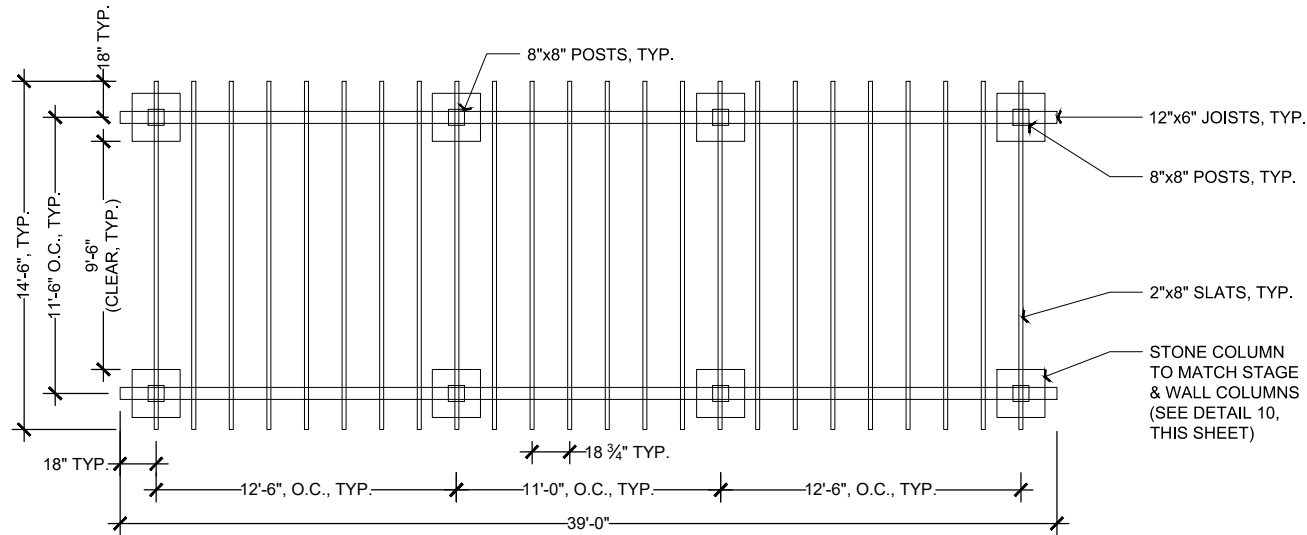
7 BRICK PAVER OVER CONCRETE
SCALE: 1-1/2" = 1'-0"



2 CONCRETE SIDEWALK, 4 INCH
SCALE: 1-1/2" = 1'-0"

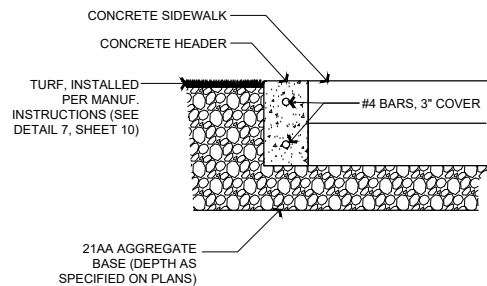


3 CONCRETE SIDEWALK, 6 INCH/
DECORATIVE CONCRETE, 6 INCH
SCALE: 1-1/2" = 1'-0"

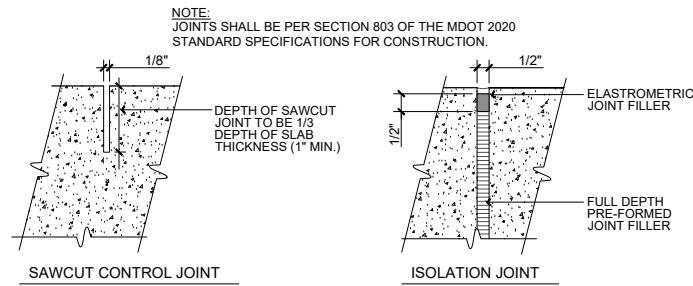


- PERGOLA NOTES:
1. ALL DIMENSIONS ARE TO CENTER OF MEMBER UNLESS OTHERWISE NOTED.
 2. PERGOLA SHALL BE COMMERCIAL GRADE, POWDERCOATED ALUMINUM AT A MINIMUM.
 3. ALL HARDWARE SHALL BE TAMPER PROOF AND MATCH THE FINISH OF PERGOLA, UNLESS OTHERWISE NOTED.
 4. PERGOLA DIMENSIONS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS IN THE FIELD PRIOR TO CONSTRUCTION.
 5. PERGOLA LAYOUT AND DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL PROVIDE STAMPED SHOP DRAWINGS NOTING MATERIAL AND HARDWARE SELECTIONS, AND ILLUSTRATING FRAMING, CONNECTION, AND ANCHORING DETAILS FOR OWNER REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

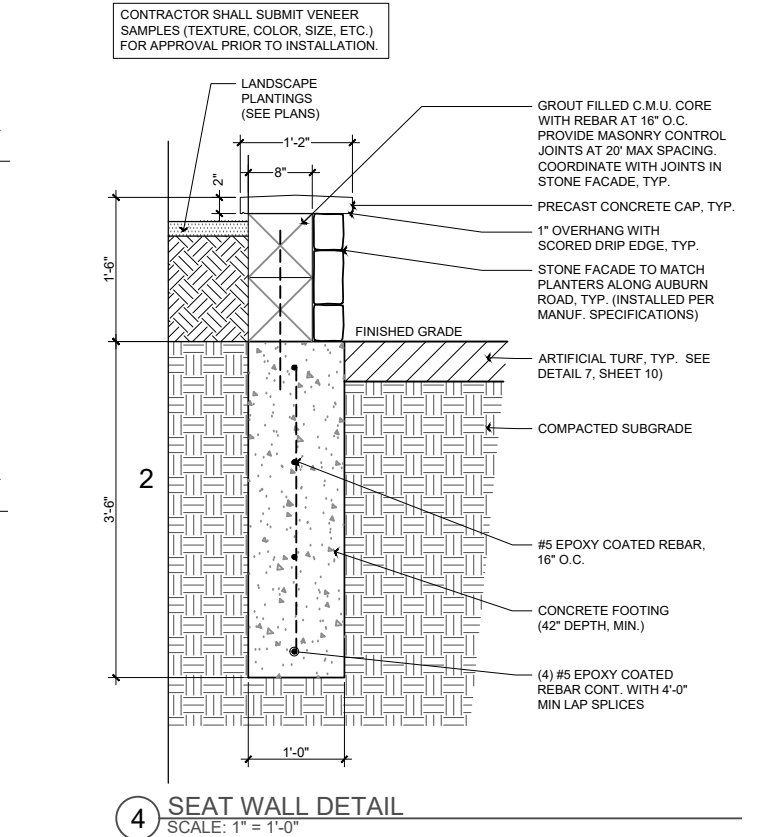
6 PERGOLA DETAIL
1/4"=1'-0"



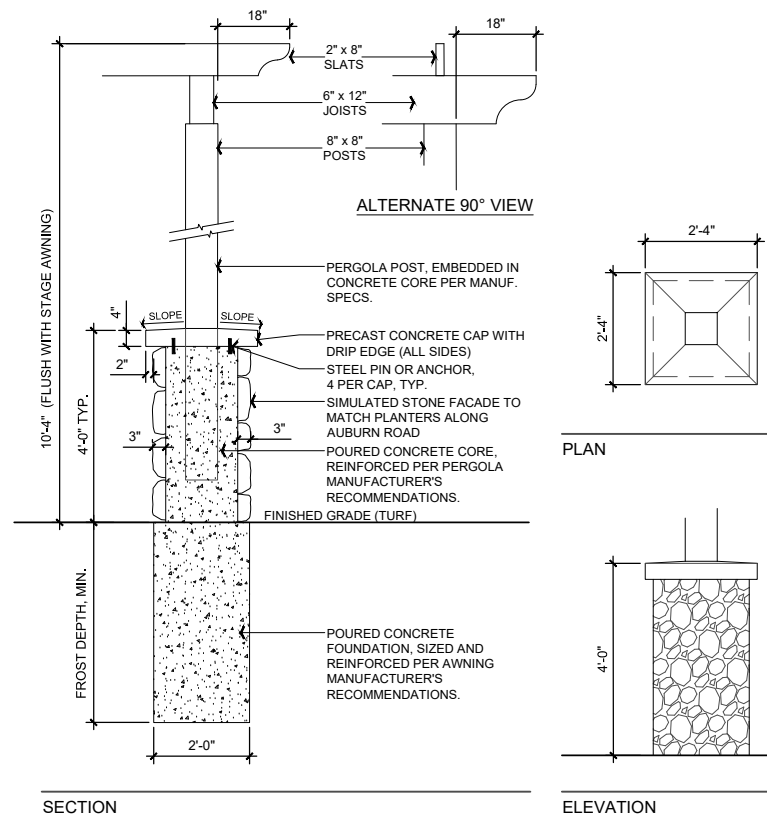
8 CONCRETE HEADER
NOT TO SCALE



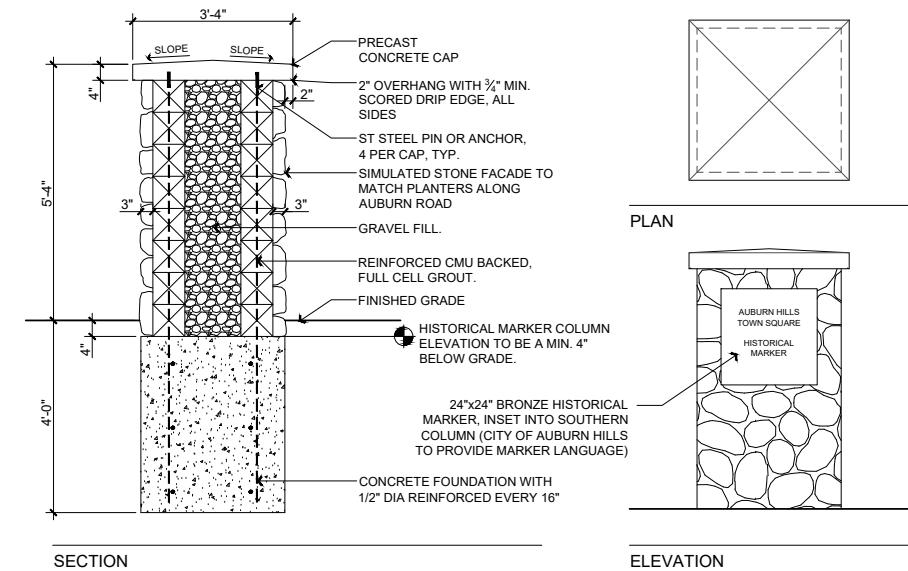
9 CONTROL AND ISOLATION JOINTS
SCALE: 3" = 1'-0"



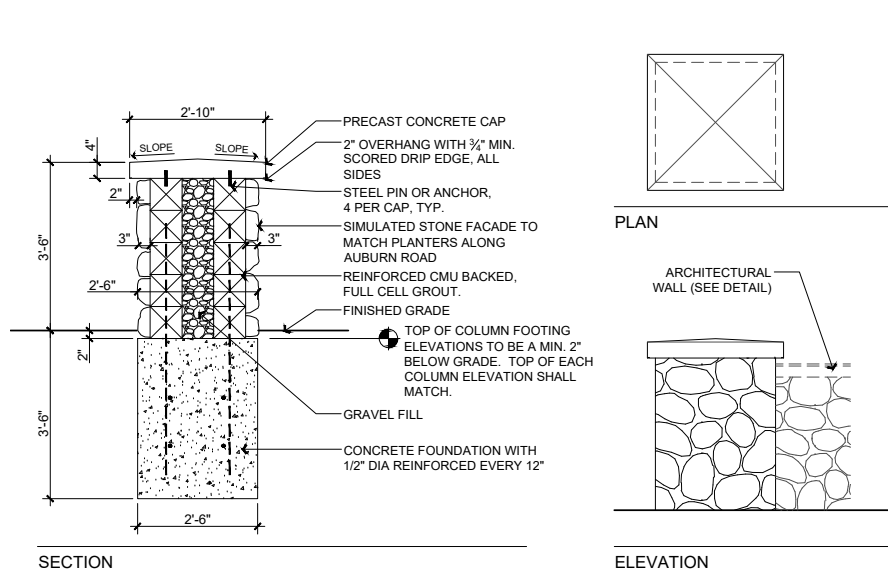
4 SEAT WALL DETAIL
SCALE: 1" = 1'-0"



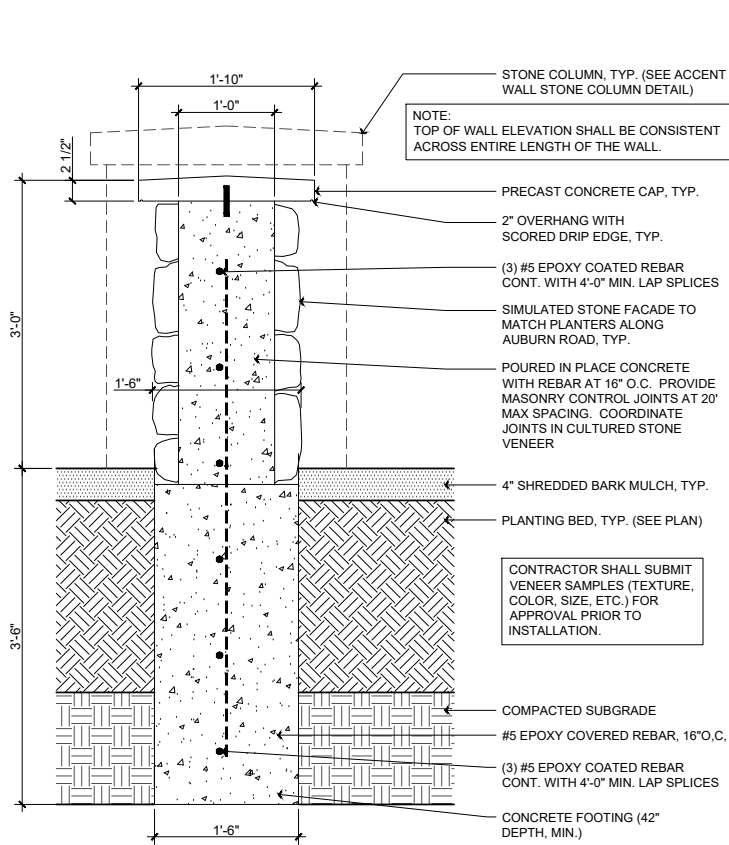
10 PERGOLA POST & STONE COLUMN DETAIL
SCALE: 1"=1'-0"



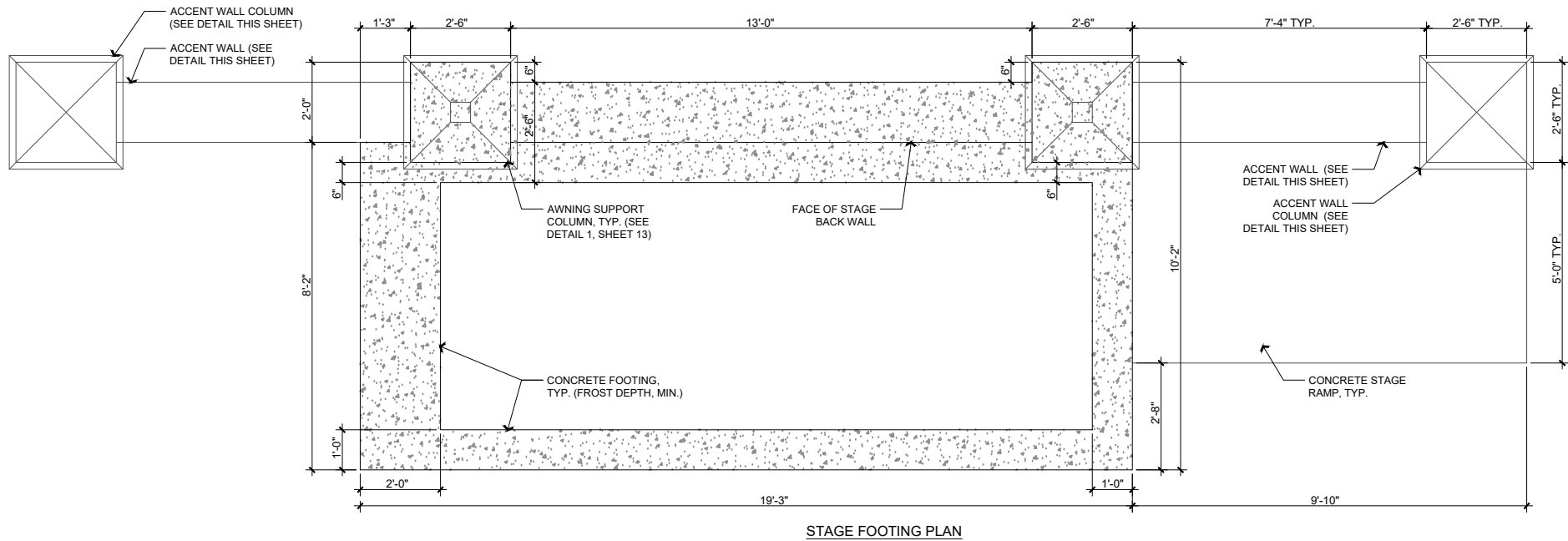
1 HISTORICAL MARKER COLUMN DETAIL
SCALE: 1/2"=1'-0"



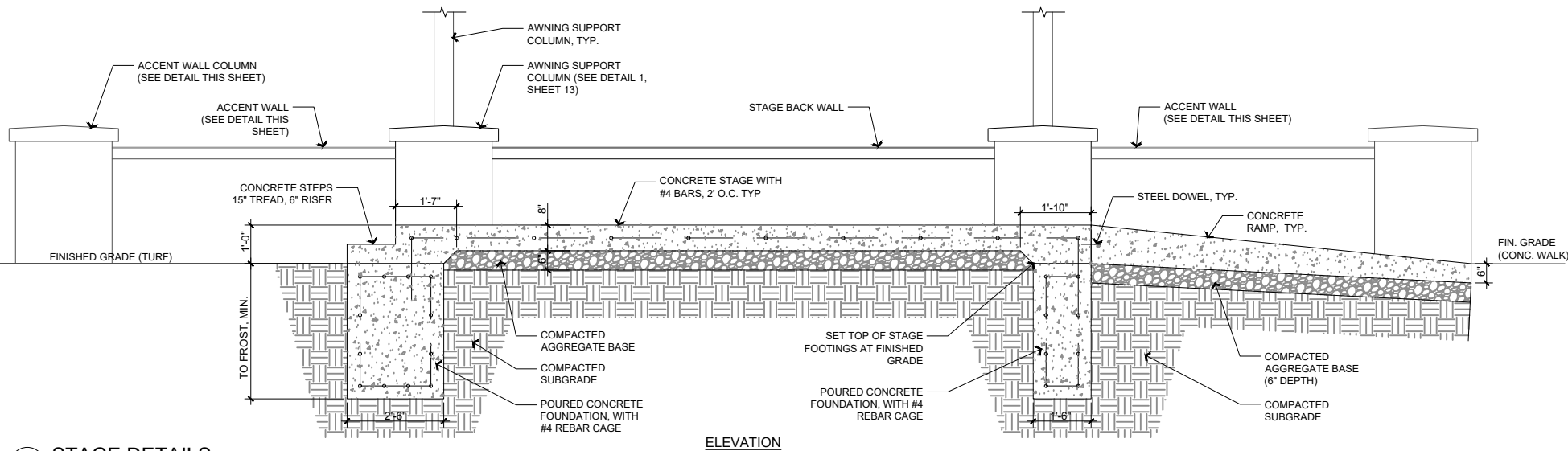
2 ACCENT WALL STONE COLUMN DETAIL
SCALE: 1/2"=1'-0"



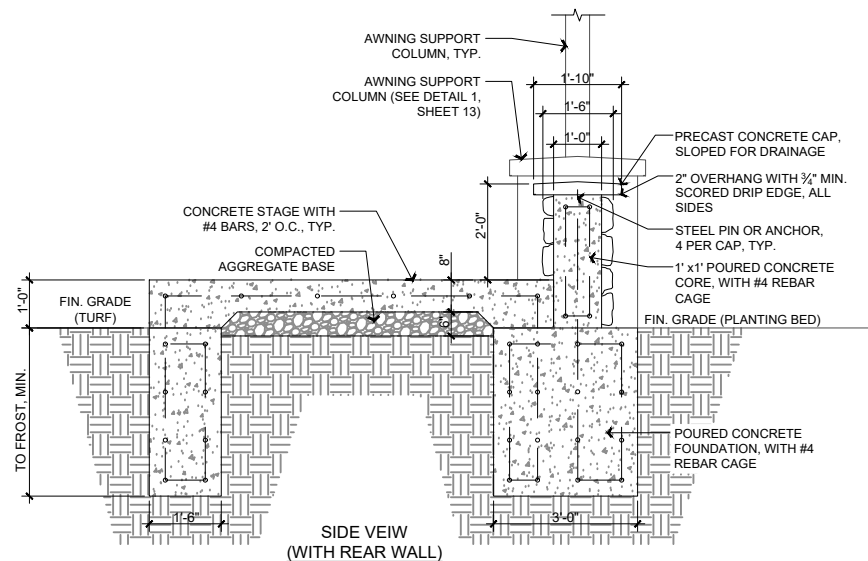
3 ACCENT WALL DETAIL
SCALE: 1"=1'-0"



STAGE FOOTING PLAN



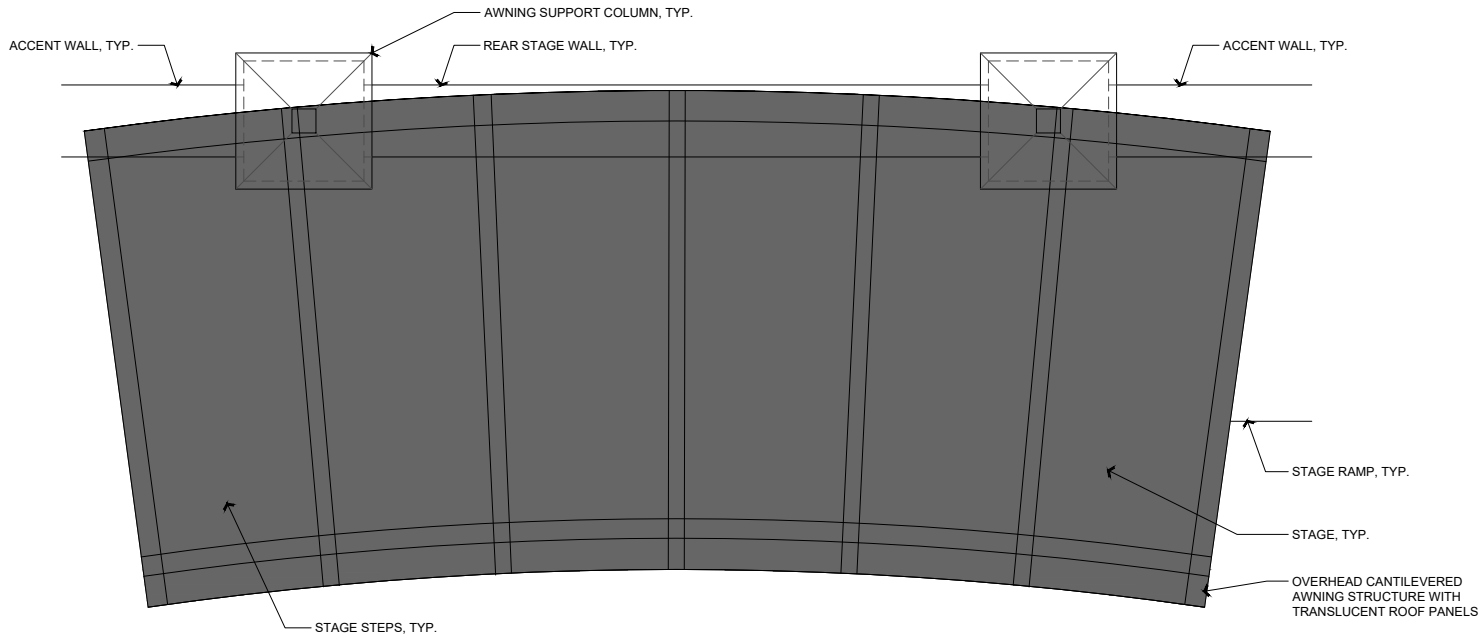
ELEVATION



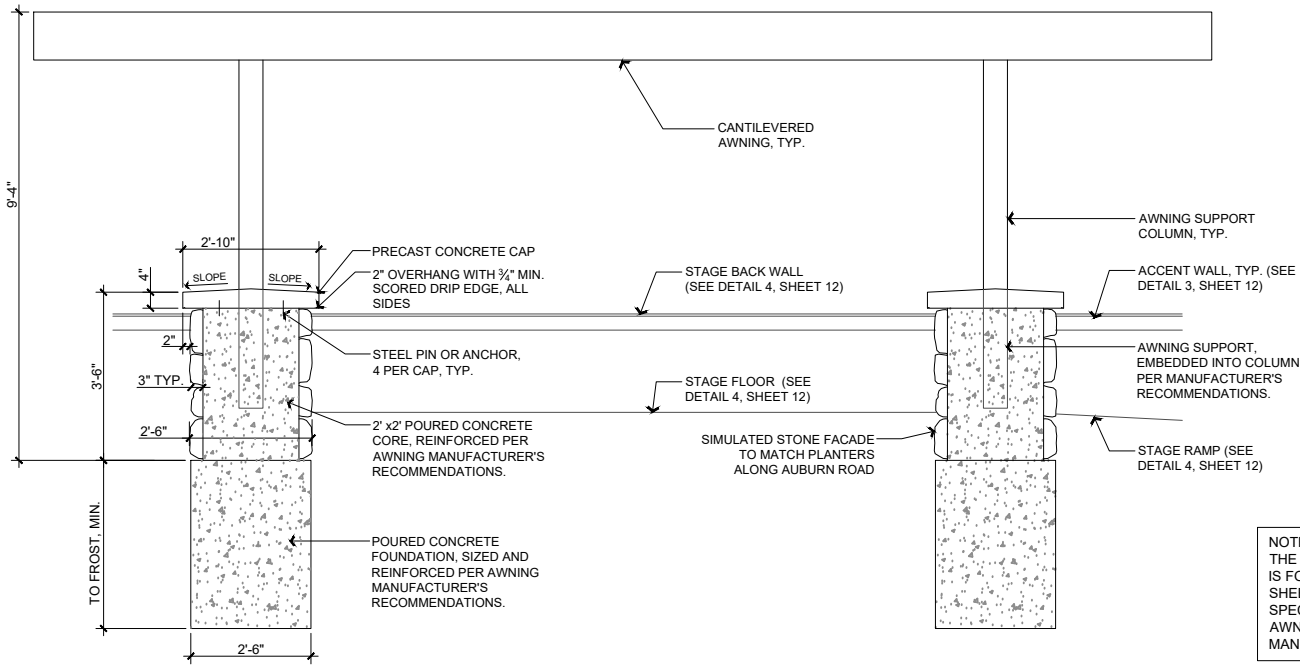
SIDE VIEW
(WITH REAR WALL)

4 STAGE DETAILS
SCALE: 1/2"=1'-0"

DRAWING PATH: \\nrm\dfs\Corporate\Projects\0101_0125\012020300_Auburn Hills Public Square\Drawings\Civil\Details\2010300DET_2023-1113.dwg Feb 16, 2024 12:05pm

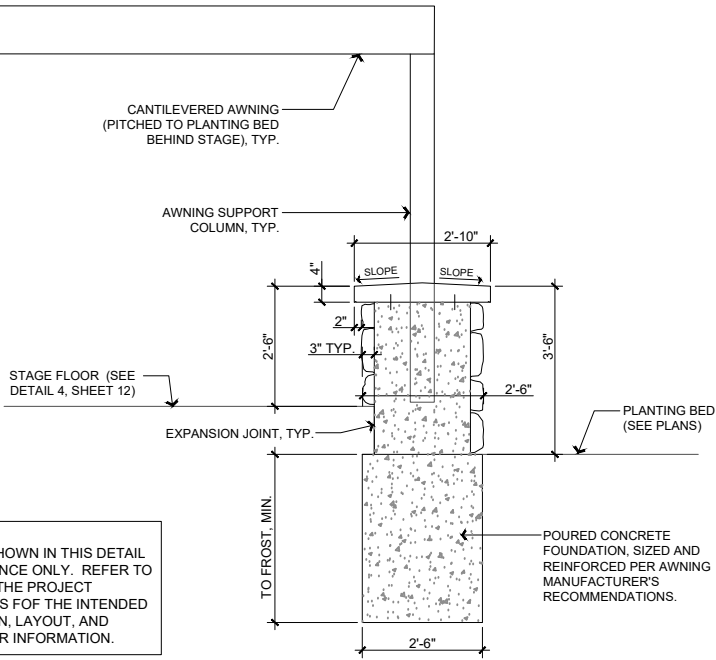


PLAN

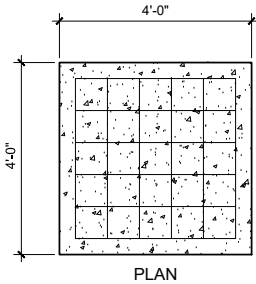


ELEVATION

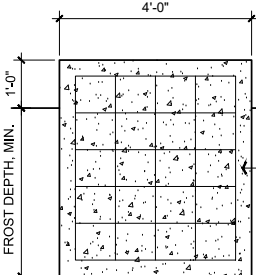
NOTE:
THE AWNING SHOWN IN THIS DETAIL IS FOR REFERENCE ONLY. REFER TO SHEET 14 AND THE PROJECT SPECIFICATIONS FOR THE INTENDED AWNING DESIGN, LAYOUT, AND MANUFACTURER INFORMATION.



STAGE AWNING COLUMN DETAIL



PLAN



ELEVATION

NOTE:
THIS DETAIL IS FOR REFERENCE ONLY, TO BE USED FOR BIDDING PURPOSES. ACTUAL FOOTING SHALL BE SIZED AND REINFORCED PER SCULPTURE MANUFACTURER'S RECOMMENDATIONS AND PER SECTION 706 OF THE 2020 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

2 SCULPTURE FOOTING DETAIL
1"=1'-0"

1 AWNING COLUMN DETAIL
SCALE: 1/2" = 1'-0"



ARCHITECTS ENGINEERS PLANNERS

34000 Plymouth Road
Livonia, MI 48150
P (734) 522-6711 | F (734) 522-6427

OHM-ADVISORS.COM

REVISIONS

02/16/2024 REBIDDING

MUNICIPALITY

AUBURN HILLS

COUNTY

OAKLAND

CARD

JMS

PROJ MGR

BW

ENG

HN

PROJ NUMBER

0125-20300

DATE

01/25/2024

SHEET

13

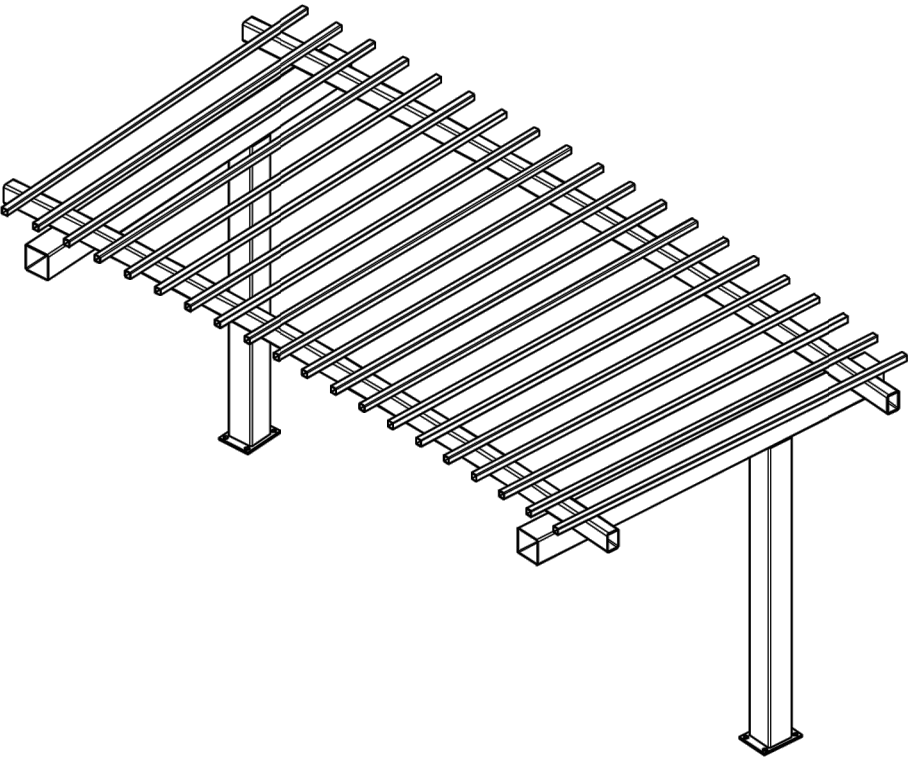
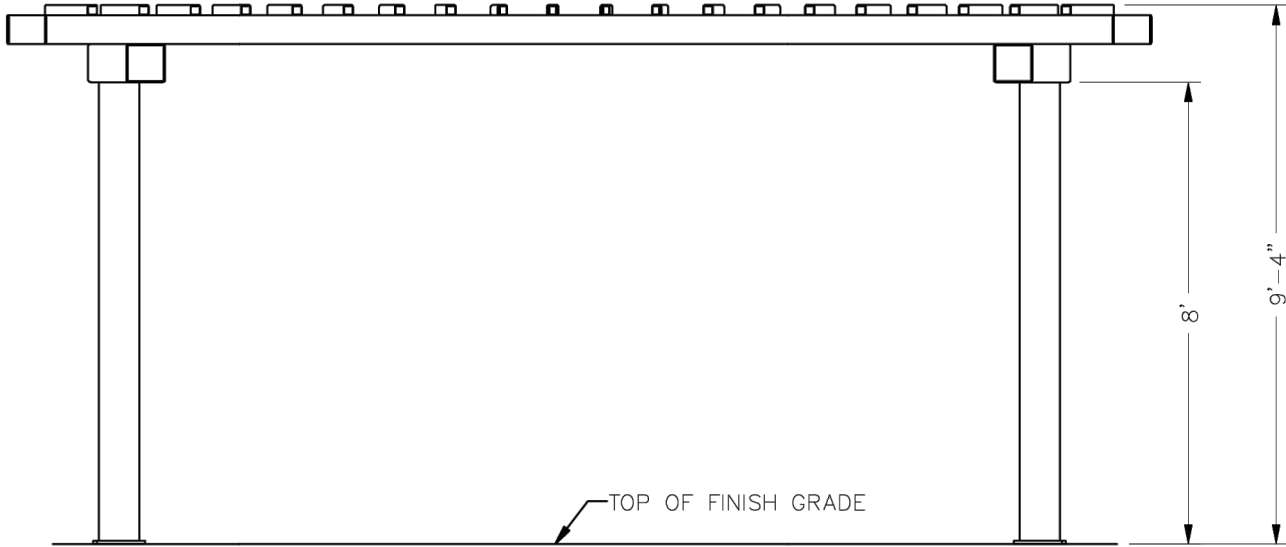
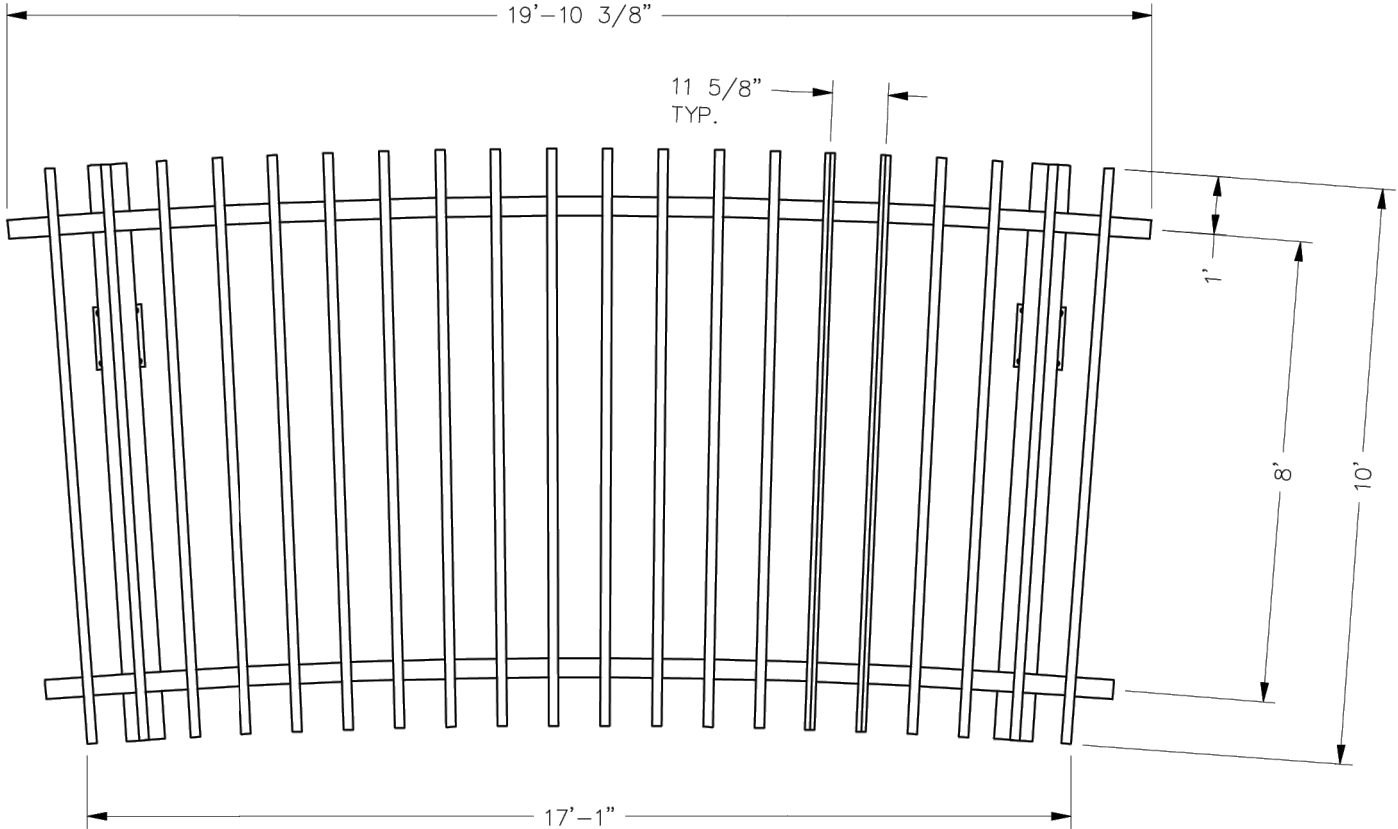
OF 18

CITY OF AUBURN HILLS
AUBURN HILLS PUBLIC SQUARE

AWNING COLUMN AND SCULPTURE FOOTING DETAILS

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PRELIMINARY: NOT FOR
CONSTRUCTION



NOTE:
STAGE AWNING DESIGN INTENT DEPICTED ON THIS SHEET. PROVIDE ICON STRUCTURES (MODEL # AT10X20K-PO) OR AN APPROVED EQUAL. AWNING TO INCLUDE TRANSLUCENT ROOF PANELS OR FILTERED LIGHT PANELS PER MANUFACTURER'S RECOMMENDATIONS. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONTRACTOR TO PROVIDE OVERHEAD ROOF OPTIONS TO CITY OF AUBURN HILLS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

AWNING TO BE SUPPLIED AND INSTALLED PER MANUFACTURER'S DETAILS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE CITY OF AUBURN HILLS BUILDING CODES.

SEE SHEETS 12 & 13 FOR ASSOCIATED STAGE, COLUMN, AND REAR WALL DETAILS.

ICON

Shelter Systems Inc

DISTINCTIVE STEEL SHELTERS

WWW.ICONSHELTERS.COM

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1455 LINCOLN AVE.

HOLLAND MI, 49423

616.396.0919

800.748.0985

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ARCHITECTS ENGINEERS PLANNERS

34000 Plymouth Road

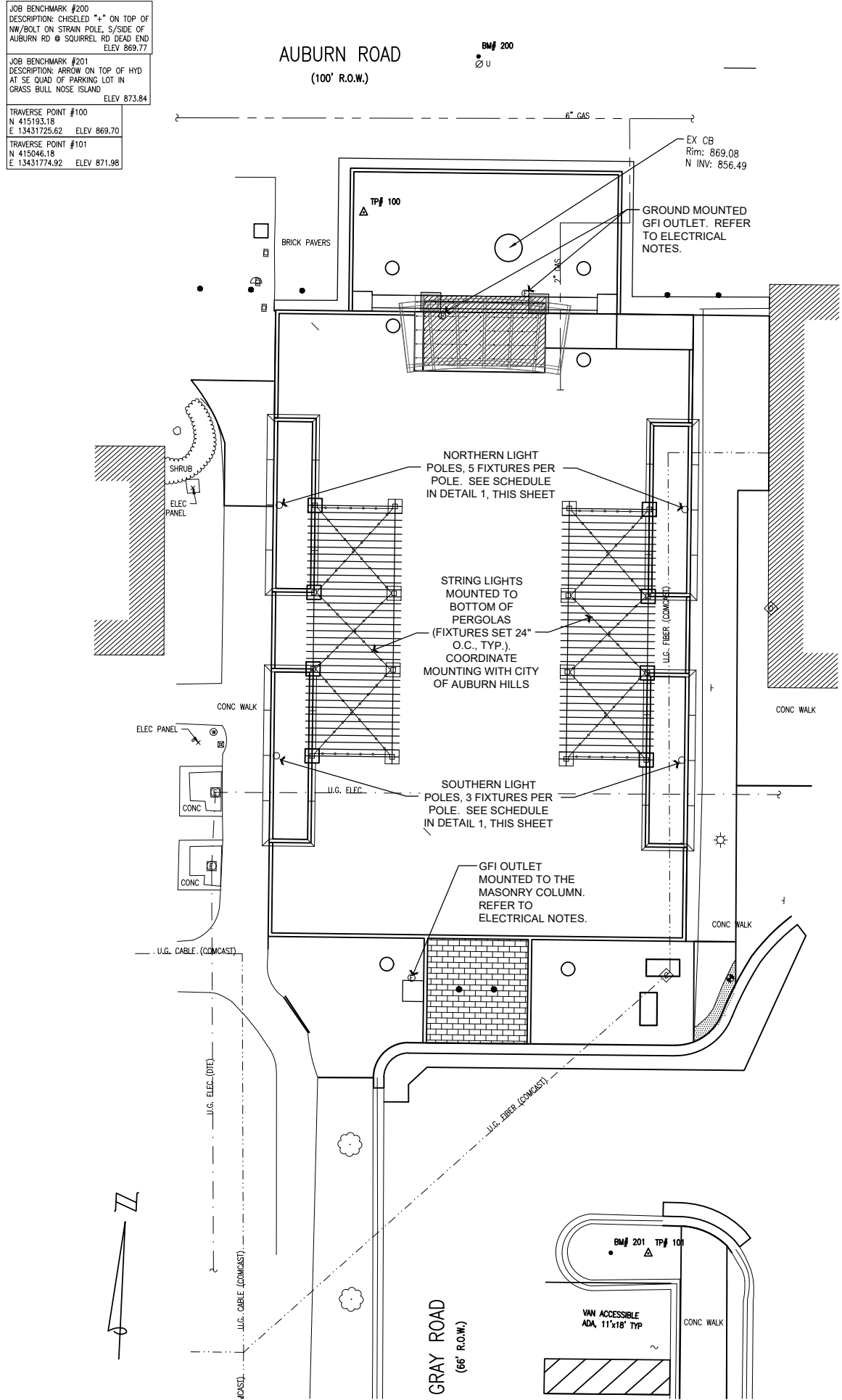
Livonia, MI 48150

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DATE	PROJECT NUMBER	ENGINEER	PROJECT MANAGER	CADD	COUNTY	MUNICIPALITY	REVISIONS
	072523-0300	HN	BW	JRS	OAKLAND	AUBURN HILLS	02/16/2024 REBIDDING
CITY OF AUBURN HILLS AUBURN HILLS PUBLIC SQUARE STAGE AWNING DETAILS							...
SHEET							14 OF 18

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RTSP

Round Tapered Steel Poles



Pole Shaft

The pole shaft is a one section design; each section being fabricated from standard 7-gauge (0.1793") steel. The pole shaft material is a weldable grade hot rolled commercial quality carbon steel with a guaranteed minimum yield strength of 35,000 psi after fabrication. Each section is one-piece construction with a full length longitudinal weld and is cylindrical in cross-section having a uniform taper of 0.14 inches of diameter change per foot of length.

Base Plate

The anchor base is fabricated from commercial quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 35,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 35,000 psi. Few properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded and galvanized a minimum of 8 inches in accordance with ASTM A153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 4" x 6.5" inside opening, located at 1' - 6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

Finish

Color to be determined.

CONTRACTOR SHALL SUBMIT CONCRETE FOOTING SHOP DRAWINGS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

POLE SPECIFICATIONS - NORTHERN POLES

Series: **RTSP** - Round Tapered Steel Poles

Nominal Height: **16'** Base Diameter: **9.0"** Gauge: **7**

Finish: **(F)** - TBD - Color to be determined

Mounting Designation: **2GSS9** - (2) CROSS

Options: **BC, EBT-SPEC** - Base Cover, Eye Bolt, SPECIFIED

Height (ft.)	Pole Shaft (in.) x (in.) x (ft.)	Gauge	Handhole Size (in.)	Anchor Bolt (in.) x (in.) x (in.)	Bolt Circle (in.)	Ship Wt. (lbs.)
--------------	----------------------------------	-------	---------------------	-----------------------------------	-------------------	-----------------

16	9.0 x 4.8 x 16	7	4 x 6.5	1.25 x 42 x 6	52.5	493
----	----------------	---	---------	---------------	------	-----

RTSP16-9-0-7-(F)-2GSS9-EBT-BC-SPEC

SPEC = CXASQ3180 MOUNTED @ 13' & EYEBOLT @ 10' & EYEBOLT 6" BELOW POLE TOP

POLE SPECIFICATIONS - SOUTHERN POLES

Series: **RTSP** - Round Tapered Steel Poles

Nominal Height: **16'** Base Diameter: **9.0"** Gauge: **7**

Finish: **(F)** - TBD - Color to be determined

Mounting Designation: **1GSS9** - (1) CROSS

Options: **BC, EBT-SPEC** - Base Cover, Eye Bolt, SPECIFIED

Height (ft.)	Pole Shaft (in.) x (in.) x (ft.)	Gauge	Handhole Size (in.)	Anchor Bolt (in.) x (in.) x (in.)	Bolt Circle (in.)	Ship Wt. (lbs.)
--------------	----------------------------------	-------	---------------------	-----------------------------------	-------------------	-----------------

16	9.0 x 4.8 x 16	7	4 x 6.5	1.25 x 42 x 6	52.5	493
----	----------------	---	---------	---------------	------	-----

RTSP16-9-0-7-(F)-1GSS9-EBT-BC-SPEC

SPEC = CXASQ3180 MOUNTED @ 13' & EYEBOLT 6" BELOW POLE TOP

CROSS ARM CONFIGURATIONS FOR LUMINAIRES - NORTHERN POLES

CXASQ - Crossarm

Pole Luminaire Mounting Adaptors

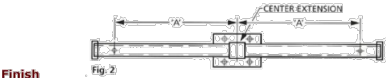


Fig. 2

Finish

Color to be determined.

Series: **CXASQ** - Crossarm

No. of Arms & Orientation: **3 @ 180°** Arm Spread: **36**

Slipfitter: **2** - 2 3/8" O.D. Tenon

Finish: **(F)** - TBD - Color to be determined

Pole Mounting: **GMT** - Gain Mount

Catalog No.	No. of arms	Arm Spread 'A' (in.)	Slipfitter	EPA	WT. (lb.)
-------------	-------------	----------------------	------------	-----	-----------

CXASQ3180-36	3 @ 180°	36	DN	3.0	65
--------------	----------	----	----	-----	----

CXASQ3180-36-2-(F)-GMT

NORTHERN POLE LIGHT SCHEDULE (PER POLE):

- ONE (1) INSIGHT WIDE OPTIC RGBW FIXTURE, MOUNTED AT 11' HEIGHT
- FOUR (4) INSIGHT NARROW OPTIC RGBW FIXTURES. TWO (2) MOUNTED AT 12' HT. AND TWO (2) MOUNTED AT 14' HT.

CXASQ - Crossarm

Pole Luminaire Mounting Adaptors

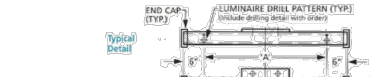


Fig. 1

Finish

Color to be determined.

Series: **CXASQ** - Crossarm

No. of Arms & Orientation: **2 @ 180°** Arm Spread: **30**

Slipfitter: **2** - 2 3/8" O.D. Tenon

Finish: **(F)** - TBD - Color to be determined

Pole Mounting: **GMT** - Gain Mount

Catalog No.	No. of arms	Arm Spread 'A' (in.)	Slipfitter	EPA	WT. (lb.)
-------------	-------------	----------------------	------------	-----	-----------

CXASQ2180-30	2 @ 180°	30	DN	2.0	40
--------------	----------	----	----	-----	----

CXASQ2180-30-2-(F)-GMT

CROSS ARM CONFIGURATIONS FOR LUMINAIRES - SOUTHERN POLES

CXASQ - Crossarm

Pole Luminaire Mounting Adaptors

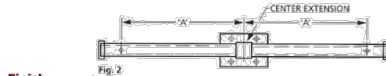


Fig. 2

Finish

Color to be determined.

Series: **CXASQ** - Crossarm

No. of Arms & Orientation: **3 @ 180°** Arm Spread: **36**

Slipfitter: **2** - 2 3/8" O.D. Tenon

Finish: **(F)** - TBD - Color to be determined

Pole Mounting: **GMT** - Gain Mount

Catalog No.	No. of arms	Arm Spread 'A' (in.)	Slipfitter	EPA	WT. (lb.)
-------------	-------------	----------------------	------------	-----	-----------

CXASQ3180-36	3 @ 180°	36	DN	3.0	65
--------------	----------	----	----	-----	----

CXASQ3180-36-2-(F)-GMT

SOUTHERN POLE LIGHT SCHEDULE (PER POLE):

- ONE (1) INSIGHT WIDE OPTIC RGBW FIXTURE, MOUNTED AT 11' HEIGHT
- TWO (2) INSIGHT NARROW OPTIC RGBW FIXTURES, MOUNTED AT 12' HT.

1 LIGHT POLE SPECIFICATIONS

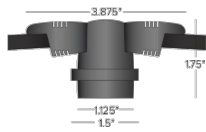
N.T.S.



Key Features

- Perfect for festoon mounting and garden lighting, taught or swayed with cable mounted downward direction for outdoor wet IP65 use. Product can be mounted in outward or upward directions for indoor/outdoor damp IP44 use.
- Sockets available in E26 medium base and GU10 base.
- Lamp spacing available in 12" OC and 24" OC.
- To be completed with DURALED STARGAZER or DECOLED TECNO VINTAGE lamp range, sold separately.
- Provided with one Male 2 prong 120V AC plug with 5ft lead and one female 2 hole 120V AC socket with 2ft end per spool.
- Max continuous length: 1100W max per continuous interconnected spools
- Spool length: 48ft 48 sockets (@ 12" OC) or 48ft 24 sockets (@ 24" OC)

Dimensional Drawings



Installation Examples



Mounting Accessories (Optional)



2 STRING LIGHT SPECIFICATIONS

N.T.S.



DECOLED TECNO VINTAGE™ LED S-LAMP

DIMENSIONAL DRAWINGS



DETAILS

Lamp Type	ST21 Retro Vintage Filament Style LED Lamp
Color Temp	2200K
Color Consistency	Advanced LED binning with +/- 2-step MacAdam Ellipses Color consistency maintained through rated lamp life
Wattage	4.5W
Lumen	352lm
Efficacy	78lm/W
Voltage	120V
Color Quality	>80Ra
Lamp Life	15,000 hours at L70
Base	E26
Distribution	320°
Dimming	ELV or MLV & CL Leading Edge Dimmers
Dimensions	2.52" Dia x 5.55" Length
Weight	0.23lbs
Listing	UL Wet Listed E486283
Certifications	Tested in accordance with LM-79-08
Warranty	3 year warranty

3 STRING LIGHT BULB SPECIFICATIONS

N.T.S.

NOTE:
ALL ELECTRICAL COMPONENTS (INCLUDING POLES AND LUMINAIRES) SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF AUBURN HILLS BUILDING AND ELECTRICAL CODES.



Know what's below.
Call before you dig.

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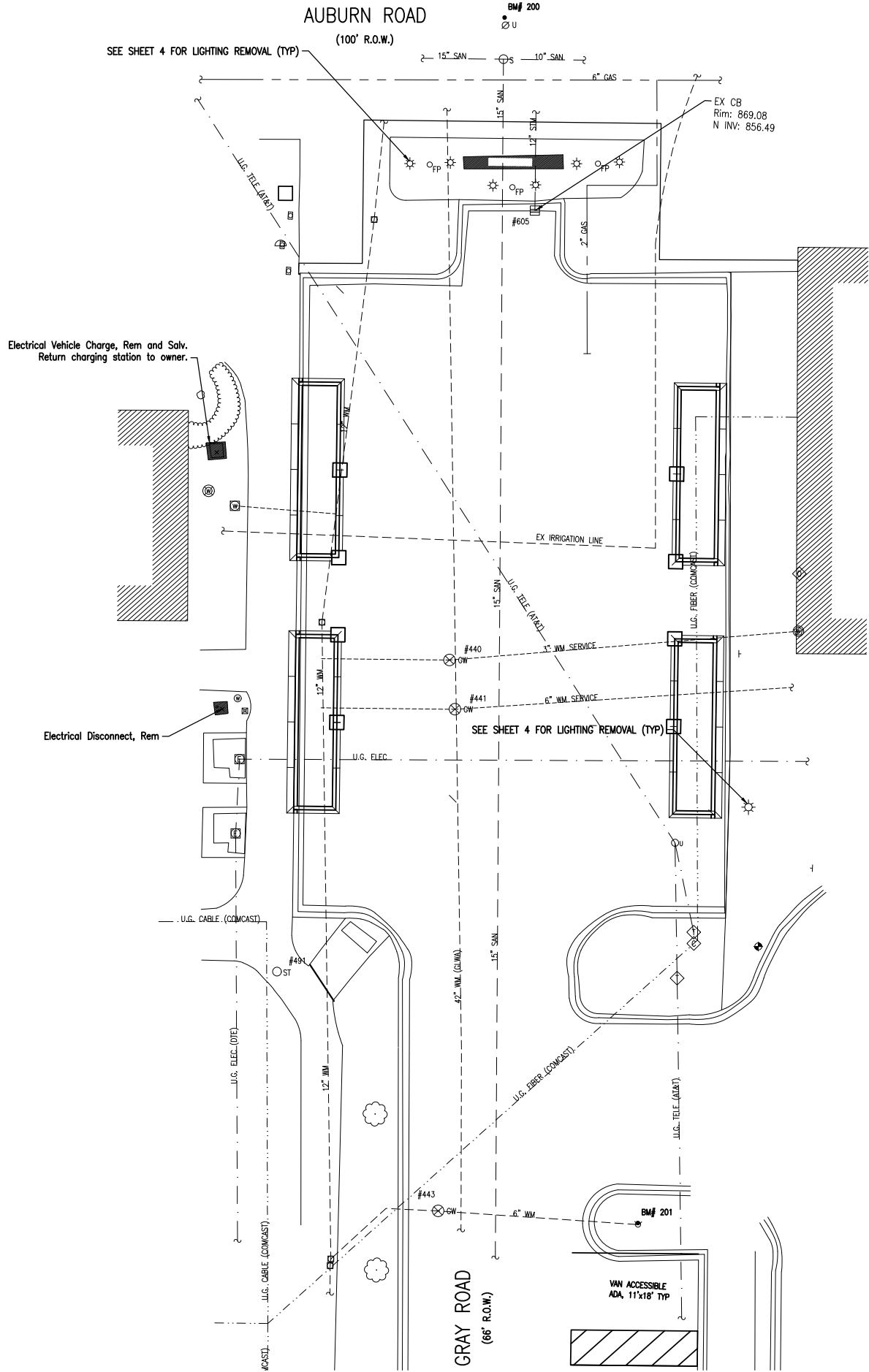
Spacing	12" or 24" OC Socket Spacing
Lamp Type	For use with DURALED STARGAZER or DECOLED TECNO VINTAGE lamp range, sold separately.
Wattage	5W max per socket
Voltage	120V AC 60Hz
Length	Sold in 48ft spools.
Installation	Junction Box or GFI installation only. Attach to aircraft cable (sold separately, page 2). Recommended 1/8" aircraft cable for wall to wall installation, 3/8" aircraft cable for pole to pole installation. Optional cable wrap encases aircraft cable and DURALED Cable for a clean one wire look.
Weight	E26 Medium Base Cable Only 12" OC = 0.19Lbs/ft 24" OC = 0.16Lbs/ft GU10 Base Cable Only 12" OC = 0.21Lbs/ft 24" OC = 0.16Lbs/ft
IP Rating	IP65 (IP44 if mounted in outward or upward direction)
Certification	Energy efficient for California installations.
Listing	ETLus
Warranty	5 year warranty *Please Stay Compliant when using Decorative Shade and DURALED STARGAZER lamp.

REVISIONS	DATE	DESCRIPTION
02/16/2024	REBIDDING	

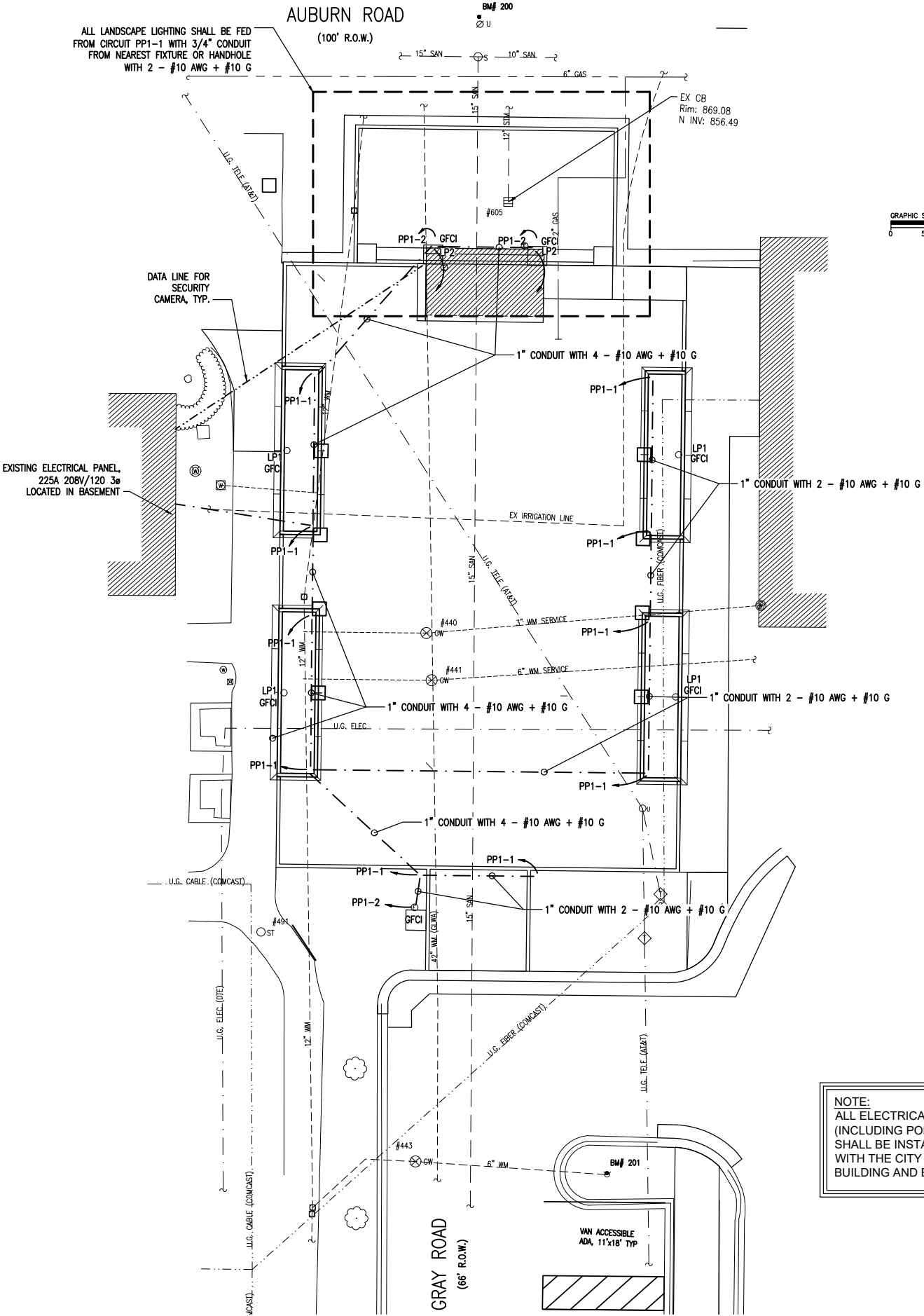
DATE	PROJ NUMBER	ENG	PROJ IGR	CADD	COUNTY	MUNICIPALITY	REVISIONS
02/24/2020	0724-0000	FW	BN	JPS	CALCAD	AUBURN HILLS	

DATE	PROJ NUMBER	ENG	PROJ IGR	CADD	COUNTY	MUNICIPALITY	REVISIONS
02/24/2020	0724-0000	FW	BN	JPS	CALCAD	AUBURN HILLS	

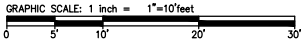
DRAWING PATH: \\omh\dfs\Corporate\Projects\0101_0125\012020300 Auburn Hills Public Square\Drawings\Civil\Plans Const\2030300ELEC 2023-1113.dwg Feb 16, 2024 - 12:11pm



TOWN SQUARE DEMO ELECTRICAL PLAN
SCALE: 1" = 10'-0"




TOWN SQUARE PROPOSED ELECTRICAL PLAN
SCALE: 1" = 10'-0"



NOTE:
ALL ELECTRICAL COMPONENTS
(INCLUDING POLES AND LUMINAIRES)
SHALL BE INSTALLED IN ACCORDANCE
WITH THE CITY OF AUBURN HILLS
BUILDING AND ELECTRICAL CODES.





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REVISIONS		02/16/2024 REBIDDING	
DATE		PROJECT	PROJ NO
CITY OF AUBURN HILLS		COUNTY	PROJ NO
AUBURN HILLS PUBLIC SQUARE		CITY	PROJ NO
ELECTRICAL PLANS		CITY	PROJ NO

16

OF 18

ALL ELECTRICAL COMPONENTS
(INCLUDING POLES AND LUMINAIRES)
SHALL BE INSTALLED IN ACCORDANCE
WITH THE CITY OF AUBURN HILLS
BUILDING AND ELECTRICAL CODES.

1. ALL CONDUIT ABOVE GRADE ATTACHED TO RACK, SHALL BE GALVANIZED RIGID STEEL.
2. BOND RACK STEEL AND REINFORCEMENT STEEL TO SYSTEM GROUND.
3. RACK WIDTH 12' OR MORE MUST HAVE 12" DIAMETER X 42" DEEP SONATUBE.

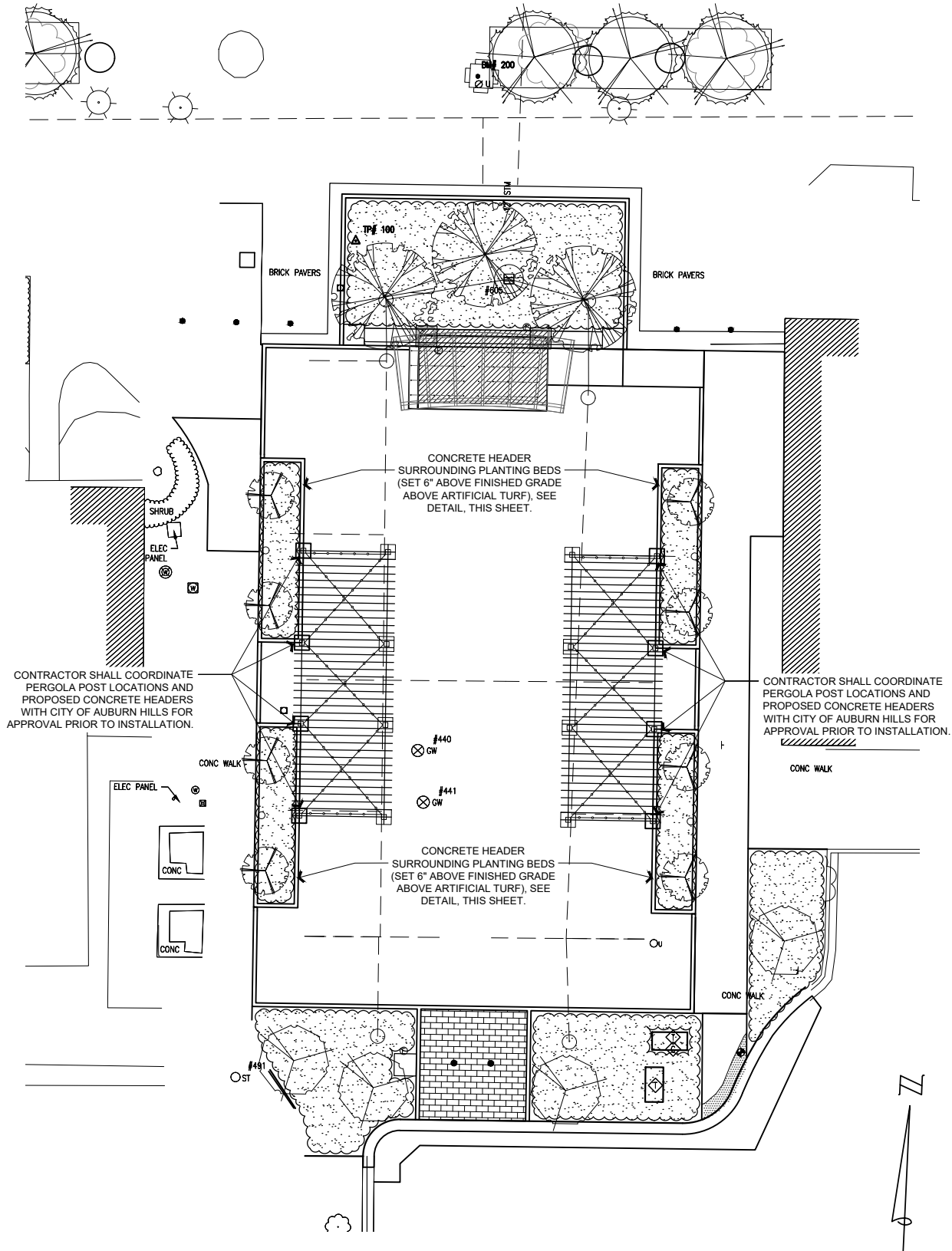


CONCRETE BASE NOT TO BE MORE THAN 12"
ABOVE HIGHEST ADJACENT SIDEWALK.

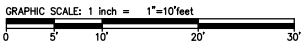
RECEPTACLE CONDUITS SHALL BE 1" UNLESS
NOTED OTHERWISE ON ELECTRICAL SITE
PLANSET.

1 GROUND MOUNTED RECEPTACLE DETAIL

DRAWING PATH: \\omh\dfs\Corporate\Projects\0101_0125\012020300_Auburn Hills Public Square\Drawings\Civil\Plans_Const\2030300.SC_2023-1113.dwg Feb 16, 2024 - 12:12pm



LANDSCAPE PLANTER ALTERNATE - CONCRETE HEADER
SCALE: 1" = 10'-0"



1

REVISIONS
02/16/2024 REBIDDING

DATE PROJECT NUMBER ENG PROJECT NUMBER CAD COUNTY MUNICIPALITY
01/26/2020 0101-0125-012020300-Auburn Hills Public Square CIVIL PLAN CONSTRUCTION AUBURN HILLS

CITY OF AUBURN HILLS
AUBURN HILLS PUBLIC SQUARE
ALTERNATE 1



Know what's below.
Call before you dig.

Item No.	Description	Estimated Quantity	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1)	Mobilization, Max	1.00 LSUM	\$2,224.00	\$2,224.00	\$50,000.00	\$50,000.00	\$38,416.41	\$38,416.41	\$52,000.00	\$52,000.00
2)	Tree, Rem, 6 inch to 18 inch	4.00 Ea	\$556.00	\$2,224.00	\$550.00	\$2,200.00	\$1,729.10	\$6,916.40	\$1,500.00	\$6,000.00
3)	Curb and Gutter, Rem	507.00 Ft	\$9.00	\$4,563.00	\$20.00	\$10,140.00	\$11.67	\$5,916.69	\$12.00	\$6,084.00
4)	Sidewalk, Rem	142.00 Syd	\$28.00	\$3,976.00	\$28.00	\$3,976.00	\$56.40	\$8,008.80	\$30.00	\$4,260.00
5)	Pavt Rem, Modified	683.00 Syd	\$13.00	\$8,879.00	\$17.00	\$11,611.00	\$14.96	\$10,217.68	\$17.00	\$11,611.00
6)	Remove and Salvage Pavers	50.00 Syd	\$32.00	\$1,600.00	\$27.00	\$1,350.00	\$198.33	\$9,916.50	\$32.00	\$1,600.00
7)	Flagpole, Rem & Salvage	3.00 Ea	\$1,307.00	\$3,921.00	\$1,350.00	\$4,050.00	\$2,538.80	\$7,616.40	\$1,500.00	\$4,500.00
8)	Light Pole and Foundation, Rem	2.00 Ea	\$1,076.00	\$2,152.00	\$500.00	\$1,000.00	\$1,808.21	\$3,616.42	\$800.00	\$1,600.00
9)	Sign and Post, Rem	7.00 Ea	\$181.00	\$1,267.00	\$170.00	\$1,190.00	\$1,130.92	\$7,916.44	\$120.00	\$840.00
10)	Up-lights, Rem	6.00 Ea	\$170.00	\$1,020.00	\$28.00	\$168.00	\$594.40	\$3,566.40	\$50.00	\$300.00
11)	Landscape, Rem	1.00 LSUM	\$1,180.00	\$1,180.00	\$2,000.00	\$2,000.00	\$9,916.41	\$9,916.41	\$1,800.00	\$1,800.00
12)	Remove Monument and Foundation	1.00 LSUM	\$3,350.00	\$3,350.00	\$100,000.00	\$100,000.00	\$7,916.41	\$7,916.41	\$4,100.00	\$4,100.00
13)	Remove Conduit & Conductor for EV Charger	1.00 LSUM	\$560.00	\$560.00	\$165.00	\$165.00	\$3,566.41	\$3,566.41	\$750.00	\$750.00
14)	Subgrade Undercutting, Type II	30.00 Cyd	\$77.00	\$2,310.00	\$103.00	\$3,090.00	\$530.55	\$15,916.50	\$90.00	\$2,700.00
15)	Project Cleanup	1.00 LSUM	\$2,443.00	\$2,443.00	\$4,000.00	\$4,000.00	\$9,916.41	\$9,916.41	\$25,700.00	\$25,700.00
16)	Aggregate Base, 21AA, 4 inch	28.00 Syd	\$20.00	\$560.00	\$15.00	\$420.00	\$175.59	\$4,916.52	\$53.00	\$1,484.00
17)	Aggregate Base, 21AA, 6 inch	168.00 Syd	\$24.00	\$4,032.00	\$23.00	\$3,864.00	\$74.34	\$12,489.12	\$45.00	\$7,560.00
18)	Aggregate Base, 21AA, 8 inch	500.00 Syd	\$28.00	\$14,000.00	\$26.00	\$13,000.00	\$38.83	\$19,415.00	\$37.00	\$18,500.00
19)	HP Storm, 12 inch	40.00 Ft	\$230.00	\$9,200.00	\$165.00	\$6,600.00	\$210.41	\$8,416.40	\$88.00	\$3,520.00
20)	Dr Structure, 24 inch dia	2.00 Ea	\$4,212.00	\$8,424.00	\$4,100.00	\$8,200.00	\$3,408.21	\$6,816.42	\$4,700.00	\$9,400.00
21)	Dr Structure, 48 inch dia	1.00 Ea	\$5,001.00	\$5,001.00	\$6,500.00	\$6,500.00	\$6,816.41	\$6,816.41	\$5,850.00	\$5,850.00
22)	Replace Frame and Cover	2.00 Ea	\$904.00	\$1,808.00	\$890.00	\$1,780.00	\$2,458.21	\$4,916.42	\$1,170.00	\$2,340.00
23)	Structure, Adjust	4.00 Ea	\$635.00	\$2,540.00	\$600.00	\$2,400.00	\$1,604.10	\$6,416.40	\$600.00	\$2,400.00
24)	Underdrain, Subgrade, Open-Graded, 6 inch	255.00 Ft	\$100.00	\$25,500.00	\$38.00	\$9,690.00	\$19.28	\$4,916.40	\$41.00	\$10,455.00
25)	HMA, 4 inch	35.00 Syd	\$133.00	\$4,655.00	\$110.00	\$3,850.00	\$226.18	\$7,916.30	\$295.00	\$10,325.00
26)	Accent Wall	15.00 Ft	\$2,114.00	\$31,710.00	\$1,150.00	\$17,250.00	\$1,461.09	\$21,916.35	\$2,480.00	\$37,200.00
27)	Stage Back Wall	13.00 Ft.	\$1,018.00	\$13,234.00	\$1,250.00	\$16,250.00	\$1,308.95	\$17,016.35	\$2,510.00	\$32,630.00
28)	Accent Wall Column	2.00 Ea	\$5,102.00	\$10,204.00	\$4,700.00	\$9,400.00	\$6,958.21	\$13,916.42	\$6,500.00	\$13,000.00
29)	Seat Wall	208.00 Ft	\$248.00	\$51,584.00	\$250.00	\$52,000.00	\$76.52	\$15,916.16	\$583.00	\$121,264.00
30)	Stage Awning	1.00 LSUM	\$78,000.00	\$78,000.00	\$40,000.00	\$40,000.00	\$132,397.41	\$132,397.41	\$60,500.00	\$60,500.00
31)	Stage Awning Cover	1.00 LSUM	Included in #30			\$0.00	\$8,988.22	\$8,988.22	\$10,100.00	\$10,100.00
32)	Awning Support Column	2.00 Ea	\$5,777.00	\$11,554.00	\$7,800.00	\$15,600.00	\$21,804.08	\$43,608.16	\$7,100.00	\$14,200.00
33)	Concrete Stage	1.00 LSUM	\$15,223.00	\$15,223.00	\$35,000.00	\$35,000.00	\$10,176.41	\$10,176.41	\$26,600.00	\$26,600.00
34)	Historical Marker	1.00 LSUM	\$13,712.00	\$13,712.00	\$9,000.00	\$9,000.00	\$5,830.46	\$5,830.46	\$20,300.00	\$20,300.00
35)	Curb and Gutter, Conc, Det F2	74.00 Ft	\$39.00	\$2,886.00	\$90.00	\$6,660.00	\$91.17	\$6,746.58	\$48.00	\$3,552.00
36)	Concrete Header	360.00 Ft	\$39.00	\$14,040.00	\$31.00	\$11,160.00	\$77.49	\$27,896.40	\$54.00	\$19,440.00
37)	Detectable Warning Surface	16.00 Ft	\$83.00	\$1,328.00	\$55.00	\$880.00	\$288.53	\$4,616.48	\$120.00	\$1,920.00
38)	Sidewalk, Conc, 4 inch	860.00 Sft	\$15.00	\$12,900.00	\$12.30	\$10,578.00	\$10.97	\$9,434.20	\$9.50	\$8,170.00
39)	Sidewalk, Conc, 6 inch	120.00 Sft	\$18.00	\$2,160.00	\$22.00	\$2,640.00	\$36.47	\$4,376.40	\$10.50	\$1,260.00
40)	Decorative Conc, 6 inch	217.00 Sft	\$22.00	\$4,774.00	\$40.00	\$8,680.00	\$40.74	\$8,840.58	\$21.00	\$4,557.00
41)	Install Salvaged Brick Pavers	246.00 Sft	\$38.00	\$9,348.00	\$22.00	\$5,412.00	\$24.05	\$5,916.30	\$22.00	\$5,412.00
42)	Sidewalk Conc, 4 inch, Paver Base	28.00 Syd	\$140.00	\$3,920.00	\$105.00	\$2,940.00	\$194.01	\$5,432.28	\$79.50	\$2,226.00
43)	Buxus microphylla 'Green Gem', #3 cont.	26.00 Ea	\$182.00	\$4,732.00	\$88.00	\$2,288.00	\$261.40	\$6,796.40	\$90.00	\$2,340.00
44)	Spiraea x bumalda 'Goldflame', #3 cont.	9.00 Ea	\$137.00	\$1,233.00	\$72.00	\$648.00	\$429.60	\$3,866.40	\$55.00	\$495.00
45)	Planting Mix, 18 inch	190.00 Syd	\$49.00	\$9,310.00	\$36.00	\$6,840.00	\$62.98	\$11,966.20	\$65.00	\$12,350.00
46)	Planting Mix, Planters	26.00 Cyd	\$98.00	\$2,548.00	\$72.00	\$1,872.00	\$176.40	\$4,586.40	\$100.00	\$2,600.00
47)	Shredded Hardwood Bark Mulch, 4 inch	28.00 Cyd	\$208.00	\$5,824.00	\$83.00	\$2,324.00	\$187.01	\$5,236.28	\$140.00	\$3,920.00

48)	Acer Rubrum 'Bowhall' 3" CAL	3.00 Ea	\$1,415.00	\$4,245.00	¹	\$605.00	\$1,815.00	\$2,037.47	\$6,112.41	\$1,100.00	\$3,300.00	
49)	Geranium 'Max Frei', 1 gal	379.00 Ea	\$59.00	\$22,361.00	¹	\$22.00	\$8,338.00	\$31.01	\$11,752.79	¹	\$20.00	\$7,580.00
50)	Hemerocallis 'Strawberry Candy', 1 gal	48.00 Ea	\$48.00	\$2,304.00	¹	\$22.00	\$1,056.00	\$103.18	\$4,952.64	¹	\$20.00	\$960.00
51)	Hydrangea macrophylla 'Endless Summer' #5 Cont.	40.00 Ea	\$218.00	\$8,720.00	¹	\$83.00	\$3,320.00	\$185.41	\$7,416.40	¹	\$75.00	\$3,000.00
52)	Liquidamber styraciflua 'Slender Silhouette' 3 inch	8.00 Ea	\$1,353.00	\$10,824.00	¹	\$660.00	\$5,280.00	\$1,107.05	\$8,856.40	¹	\$1,250.00	\$10,000.00
53)	Pennisetum alopecuroides, 1 gal	42.00 Ea	\$55.00	\$2,310.00	¹	\$33.00	\$1,386.00	\$111.34	\$4,676.28	¹	\$20.00	\$840.00
54)	Syringa reticulata 'Ivory Silk' 12 foot height	3.00 Ea	\$1,475.00	\$4,425.00	¹	\$660.00	\$1,980.00	\$1,744.80	\$5,234.40	¹	\$1,100.00	\$3,300.00
55)	Taxus x media 'Wardii' #3 Cont.	34.00 Ea	\$206.00	\$7,004.00	¹	\$105.00	\$3,570.00	\$228.48	\$7,768.32	¹	\$100.00	\$3,400.00
56)	Removable Bollard	7.00 Ea	\$1,889.00	\$13,223.00	¹	\$2,000.00	\$14,000.00	\$1,469.77	\$10,288.39	¹	\$2,050.00	\$14,350.00
57)	Pergola	2.00 Ea	\$71,720.00	\$143,440.00		\$65,000.00	\$130,000.00	\$58,738.85	\$117,477.70		\$77,600.00	\$155,200.00
58)	Pergola Stone Column	16.00 Ea	\$3,635.00	\$58,160.00	¹	\$4,060.00	\$64,960.00	\$807.28	\$12,916.48	¹	\$6,100.00	\$97,600.00
59)	Pole Luminaire	16.00 Ea	Included in #64			\$2,900.00	\$46,400.00	\$369.78	\$5,916.48	¹		\$0.00
60)	Support Pole & Foundation	4.00 Ea		\$1,335.00	\$5,340.00	¹	\$2,750.00	\$11,000.00	\$2,479.10	\$9,916.40	¹	\$2,925.00
61)	Artificial Turf	4500.00 Sft	\$21.00	\$94,500.00	¹	\$16.00	\$72,000.00	\$19.25	\$86,625.00	¹	\$23.00	\$103,500.00
62)	Electrical, Wiring & Conduits	1.00 LSUM	\$7,662.00	\$7,662.00		\$30,000.00	\$30,000.00	\$3,916.41	\$3,916.41		\$132,400.00	\$132,400.00
63)	Wiring Devices	1.00 LSUM	\$4,982.00	\$4,982.00		\$11,000.00	\$11,000.00	\$3,916.41	\$3,916.41			\$0.00
64)	Lighting Control Devices	1.00 LSUM	\$69,395.00	\$69,395.00		\$11,000.00	\$11,000.00	\$111,798.41	\$111,798.41			\$0.00
65)	Lighting Control Conduit and Conductors	1.00 LSUM	\$2,647.00	\$2,647.00		\$11,000.00	\$11,000.00	\$8,416.41	\$8,416.41			\$0.00
66)	Handholes	8.00 Ft	\$4,059.00	\$32,472.00	¹	\$1,000.00	\$8,000.00	\$1,327.05	\$10,616.40	¹	\$1,050.00	\$8,400.00
67)	Automatic Irrigation System	1.00 Ft	\$6,074.00	\$6,074.00		\$7,100.00	\$7,100.00	\$10,216.41	\$10,216.41		\$11,700.00	\$11,700.00
68)	Conduit, Sch 40 PVC, 4 inch	220.00 Ea	\$23.00	\$5,060.00	¹	\$33.00	\$7,260.00	\$23.53	\$5,176.60	¹	\$10.00	\$2,200.00
69)	Conduit, Sch 40 PVC, 2 inch	110.00 LSUM	\$18.00	\$1,980.00	¹	\$22.00	\$2,420.00	\$37.06	\$4,076.60	¹	\$7.00	\$770.00
70)	Quick Coupling Valve	4.00 Each	\$111.00	\$444.00	¹	\$150.00	\$600.00	\$1,154.10	\$4,616.40	¹	\$350.00	\$1,400.00
71)	Contracting Staking	1.00 LSUM	\$1,118.00	\$1,118.00		\$8,000.00	\$8,000.00	\$10,111.41	\$10,111.41		\$9,400.00	\$9,400.00
72)	Crew Days	780.00 Cday	N/A			90	\$70,200.00	15	\$14,486.40	¹	85	\$66,300.00

*Crew Days \$965.76/Day

Total Bid Amount (Items 1-71):	*Including 76 & 77	<u>\$989,301.00</u> ²	<u>\$1,040,351.00</u>	<u>\$1,095,110.46</u> ²	<u>\$1,247,015.00</u>
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Alternates:											
73)	Landscape Planter Concrete Header	250.00 Ft	\$44.00	\$11,000.00		\$70.00	\$17,500.00	\$75.00	\$18,750.00	\$63.00	\$15,750.00
74)	Watering and Cultivating, First Season, Min	1.00 LSUM	\$13,505.00	\$13,505.00		\$5,000.00	\$5,000.00	\$33,600.00	\$33,600.00	\$4,500.00	\$4,500.00
75)	Watering and Cultivating, 2nd Season, Min	1.00 LSUM	\$13,505.00	\$13,505.00		\$5,000.00	\$5,000.00	\$33,600.00	\$33,600.00	\$4,500.00	\$4,500.00
76)	Statue Foundation	1.00 Each	\$2,224.00	\$2,224.00							
77)	General Conditions			\$60,774.00							

CORRECTIONS

- ¹ Contractors Multiplication Error Corrected
- ² Total Adjusted Due to Contractors Mathematical Error
- No Submission Given by Contractor



April 1, 2024

Stephen Baldante
Director of Public Works
CITY OF AUBURN HILLS
1500 Brown Road
Auburn Hills, MI 48326

RE: 2024 Public Square
Letter of Recommendation

Dear Mr. Baldante:

On March 20, 2024 at 11:00 am, a total of four bids were received for the above referenced project. The bidders are as follows:

Contractor	Total Bid	Contract Items less Crew Days
Bernal Contractors, Inc.	\$989,301.00	\$989,301.00
Warren Contractors & Development, Inc.	\$1,040,351.00	\$970,151.00
Quadrat Construction, LLC	\$1,095,110.46	\$1,080,624.06
WCI Contractors, Inc.	\$1,247,015.00	\$1,180,715.00

The project consists of constructing a Public Square in the Downtown, south of Auburn Road between the DEN and the 3400 Auburn Rd Building. The work will include removal of the existing asphalt pavement and curb, base improvements for artificial turf, installation of underdrain system for drainage, construction of a stage structure and pergola structures, installation of seat walls/planter beds, landscaping, & site lighting.

Bernal Contractors, Inc. out of Warren, Michigan was the "as-read" low bidder for the project. Upon review of the bids, Bernal did not include an amount for Crew Days in their bid. After analyzing the bids for the remaining contract items, less Crew Days for the remaining bidders, Warren Contracting & Development, Inc. out of Shelby Township, Michigan is the low bidder for this project.

Warren Contracting & Development has 30 years of experience in similar construction and have completed many other projects throughout the region, including projects for the City of Auburn Hills such as the amphitheater in Riverside Park. Based on our previous experience and their qualifications, **we would recommend award of this contract to Warren Contractors & Development, Inc. in the amount of \$970,151.00, per the unit prices listed on the bid.** The amount entered in the bid for Crew Days (\$70,200) are not included in the recommended award amount as these are not part of payments made to the Contractor, but these amounts are included in the total for determining the lowest bid.

Digital files of this letter and a bid tabulation have been emailed to your office. If you have any questions or require additional information, please feel free to contact this office.



Sincerely,
OHM Advisors



Timothy J. Juidici, P.E.

cc: Tim Wisser, Manager of Municipal Properties
Brandon Skopek, Assistant City Manager
Ben Weaver, OHM
File



April 1, 2024

Mr. Stephen Baldante
Director of Public Works
City of Auburn Hills
1500 Brown Road
Auburn Hills, Michigan 48326

RE: **2024 Public Square**
Scope of Services

Dear Mr. Baldante:

Outlined below is a Scope of Work for construction services to be provided by OHM Advisors for the above referenced project.

PROJECT UNDERSTANDING

It is our understanding that the City of Auburn Hills plans to move forward with the construction phase of the 2024 Public Square project for which bids were received on Wednesday, March 20, 2024. The proposed project consists of constructing a Public Square in the Downtown, south of Auburn Road between the DEN and the 3400 Auburn Rd Building. The work will include removal of the existing asphalt pavement and curb, base improvements for artificial turf, installation of underdrain system for drainage, construction of a stage structure and pergola structures, installation of seat walls/planter beds, landscaping, & site lighting.

SCOPE OF SERVICE

Design and Contract Documents

Under this task, design of revised improvements, including pergola structures, raised planters, lighting, electrical, etc. will be performed and final construction documents will be created and advertised for bidding. Specific work efforts include:

- Design plans for revised/upgraded improvements to include with the project.
- Complete construction details.
- Prepare a bid sheet entailing all items of work and associated quantities.
- Prepare a final engineer's opinion of probable cost.
- Prepare and place an advertisement for bid. The job will be advertised for three (3) weeks with MITA & CAM. An invoice for advertisement, if applicable, will be provided to the Clerk for payment.
- Prepare schedule for proposed work, including construction start, substantial completion, and final completion dates.
- Produce two (2) copies of contract documents for the DPW, if requested.
- Attend and plan one (1) meeting with the City to review contract documents prior to distribution for bid, if requested.
- Attend the bid opening.



- Prepare and evaluate a project bid tab. The bid tab shall include bidding contractors' total project bid and unit price breakdown.
- Check references for the three lowest bidding contractors.
- Provide a recommendation of award.
- OHM will assist in executing the Contract books including the following
 - i. Create and mail out a Notice of Award letter to the awarded Contractor.
 - ii. Coordinate the execution of six (6) copies of contract book.
 - iii. Produce two (2) executed copies of contract documents for the City. One copy will be delivered to the City Clerk and one copy will be delivered to the DPW.

Construction Engineering / Observation

Under this task the project team will observe the construction efforts on the project and assist with any necessary field changes to successfully complete the work. Specific work efforts include:

- Provide daily observation of the project when construction work is occurring to verify that materials, installation, and construction methods used are in conformance with the project plans and specifications as well as applicable standards. Full-time observation will be provided for all pavement, utility, & structure construction.
- Produce daily field reports to document construction activities and record quantities of contract pay items.
- Prepare and provide the Contractor with a list of required submittals and review shop drawings, construction schedules, materials certifications, and other submittals.
- Address Contractor's construction concerns and resolve conflicts with the executed contract specifications.
- Arrange and attend regularly scheduled progress meetings during the construction phase. It is anticipated that meetings will be held weekly during the active construction period.
- Coordinate with the materials testing consultant on material related items.
- Coordinate with the property owners and other stakeholders in the construction area regarding access, construction staging, schedule, and other pertinent items for the duration of the project.
- Prepare and deliver record (As-Built) plans that include the constructed location of all installed underground utilities. Record plans will be delivered electronically in PDF format.

Contract Administration

Under this task, the project team will complete services necessary to administer the contract. Specific work efforts include:

- Coordination with the Contractor and City to execute the contract documents.
- Arrange and attend one (1) pre-construction meeting prior to the start of the project.
- Provide two (2) signed copies of the contract documents to the City, one (1) to the Clerk's office and one (1) to the DPW.
- Review Contractor's progress on the project to ensure that the work is in compliance with the proposed schedule.
- Prepare monthly construction pay estimates and process contract change orders (if required).
- Request and review information from the Contractor to verify compliance with wage rates, Buy America, and other funding requirements.
- Review construction claims and coordinate claim resolution with Contractor and City.
- Request and collect Contractor's declaration, contractor's affidavit, waivers from major suppliers and subcontractors, release of surety, and release from other public agencies for which permits have been obtained under this contract.



Crew Days (Construction Observation)

This project contract includes a line item for Crew Days in Contractor's bid. This item is for construction observation required for the Contractor's operations. OHM will provide daily observation of work under this Crew Day item. Full-time inspection will be provided for all construction operations as indicated in the contract specifications for Crew Days. The Contractor has included the Crew Day amount in their bid based on their anticipated schedule for the project. It should be noted that the Contractor included 90 Crew Days in their bid, but we anticipate only 50 days may be used based on the scope of the project. As such, effort for 50 Crew Days is included in the budget below.

SCHEDULE

Based on the TIFA Board and Council meeting schedule, we anticipate that the project award would be approved at the April 15th Council meeting and construction on the project would begin in June. The project is expected to be completed by October of this year.

COMPENSATION

The design, construction engineering and contract administration outlined above will be performed on an hourly basis for the not-to-exceed amount of fifty-seven thousand five hundred dollars (\$57,500.00). The construction observation as Crew Days will be performed on a per day basis for the amount of forty thousand dollars (\$40,000.00), which is based on the amount bid by the Contractor for this item. The City will be invoiced for services on a monthly basis. The estimated budget breakdown is as follows:

Design/Contract Documents	\$ 19,500
Construction Engineering	\$ 20,800
Contract Administration	\$ 17,200
Crew Days (Observation)	<u>\$ 40,000</u>
Construction Services Total	\$ 97,500
Materials Testing Services (G2)	\$ 14,000

FURTHER CLARIFICATIONS AND ASSUMPTIONS

The above-listed scope of services was prepared with the following assumptions:

- Materials testing services will be provided by G2 Consulting Group under a separate contract and are not included in this scope of services. The estimated amount for this service is indicated above.
- The City will be responsible for all permit fees.

Should you find this agreement acceptable, please execute both copies and return one copy to us for our files. We look forward to providing professional services on this project. If you have any questions, please contact us.



Sincerely,
OHM ADVISORS

A handwritten signature in blue ink, reading "Timothy J. Juidici", positioned above a horizontal line.

Timothy J. Juidici, P.E.
Principal

cc: Tim Wisser, Manager of Municipal Properties
Brandon Skopek, Assistant City Manager
Ben Weaver, OHM
Jerry Ashburn, OHM
File

**City of Auburn Hills
2024 Public Square
Construction Services**

Accepted By: _____

Printed Name: _____

Title: _____

Date: _____

From: [Comcast Heartland](#)
Cc: [Woody, Eric](#)
Subject: (EXTERNAL)Xfinity Residential Service Agreement
Date: Thursday, March 28, 2024 10:25:39 AM

You don't often get email from comcast_heartland@comcast.com. [Learn why this is important](#)

Good morning,

As part of our ongoing commitment to keep you updated on issues that concern our customers, we would like to let you know that in the coming days we will be notifying our customers of updates to our Xfinity Residential Services Agreement (the "Agreement"). These updates will take effect on May 3, 2024, and include changes to the arbitration provisions and a provision addressing cloud DVR technology in more detail.

Each customer will receive notice with their Xfinity bill this month, including a copy of the updated Agreement. The Agreement is online at: : https://comcaststore-wk.s3.amazonaws.com/prod/FCCPrivacyPolicy/Bilingual/files/2024-03-13/61/FCC_BIL_RSA_05032024.pdf

Please feel free to contact me at 248-924-4917 if you have any questions.

Sincerely,

Eric Woody
Manager, External Affairs
Comcast, Heartland Region
41112 Concept Dr.
Plymouth, MI 48170

Bobbleheads unveiled featuring Oakland University coach Greg Kampe, mascot Grizz



The National Bobblehead Hall of Fame and Museum released images for three Oakland University men's basketball-themed bobbleheads, including two of head coach Greg Kampe, and one of the school's mascot, Grizz. The trio of bobbleheads are now available at the organization's online store and are expected to ship in September. (Photo courtesy National Bobblehead Museum)

By **BRYAN EVERSON** | beverson@medianewsgroup.com

PUBLISHED: April 8, 2024 at 4:38 p.m. | UPDATED: April 8, 2024 at 4:40 p.m.

Oakland University men's basketball fans looking to keep their bobblehead collection complete have a couple new additions to make.

The National Bobblehead Hall of Fame and Museum unveiled Monday a pair of officially licensed Greg Kampe bobbleheads, as well as one featuring the school's mascot, Grizz.

A release from the organization said that the new bobbleheads are to celebrate Kampe, who has led the program for 40 years, and his team's darling run in the NCAA Tournament this March.

The bobbleheads, which are expected to ship in September, will each be individually numbered to 2,024, with each featuring him wearing a different color (white and black) Golden Grizzlies pullover. The Grizz bobblehead features him in a black Oakland jersey.

"We're excited to be teaming up with Oakland and Coach Kampe to release these bobbleheads featuring one of the winningest coaches in college basketball," National Bobblehead Hall of Fame and Museum co-founder and CEO Phil Sklar said. "The Golden Grizzlies made their fans very proud during March Madness and gained a lot of new fans across the country. These bobbleheads are the perfect way for alumni, students, faculty, staff, and fans to show off their support for Coach Kampe and the Golden Grizzlies."

Kampe recalled the last time he was featured on a bobblehead when the university did a giveaway at a home game against Oral Roberts roughly 15 years ago. "I still have a couple of them hanging around. I think you can get them on eBay for 25 cents," he joked.

When told the news of the new bobbleheads, Kampe added, "That's neat that they'd want to do it, that the (Kentucky) game had that big of an impact. To be part of that is really cool."

Kampe bobbleheads are \$30 each and the Grizz bobbleheads are \$35, plus an \$8 flat-rate shipping charge per order. They can be ordered at the BobbleheadHall.com online store.

The National Bobblehead Hall of Fame and Museum, located in Milwaukee, Wisconsin, opened to the public on February 1st, 2019. It produces high quality, customized bobbleheads for retail sale, as well as organizations, individuals, and teams across the country.

Brown Road among three targeted for work this month



The intersection of Brown Road and Giddings Road at the border of Auburn Hills and Orion Township. (Courtesy, Road Commission of Oakland County)

By **PEG MCNICHOL** | pmcnichol@medianewsgroup.com

PUBLISHED: April 9, 2024 at 5:05 a.m. | UPDATED: April 9, 2024 at 6:55 a.m.

A \$15 million road construction project will start next week on three roads along the shared border of Auburn Hills and Orion Township.

Work on Brown, Giddings and Silver Bell roads between Jamm Road and Lapeer Road / M-24 will start Tuesday, April 16, weather permitting.

The work includes:

- Replacing 2.8 miles of pavement with asphalt;
- Replacing curbs and gutters;
- Widening Brown Road between Jamm and Giddings roads to create five lanes and improve safety;
- Improving right-turn lanes on northbound Giddings Road at entrances to the General Motors plant, adding a new traffic signal;
- Adding a traffic signal at the intersection of Giddings and Silver Bell roads;
- Reconstructing approaches for side streets and driveways;
- Add new guardrails and signs.

People can access businesses within the construction zone during the work because one lane of traffic will remain open in each direction.

During the work, complete closures will be announced intermittently. Several hundred feet of Brown Road east of Giddings Road will close for an estimated 21 days during the first stage of work. The detour is Giddings Road to Silver Bell Road to Lapeer Road / M-24, back to Brown Road and vice versa.

A stretch of Giddings Road north of Silver Bell Road will completely close for an estimated 35 days during the second stage of work. The detour is Silver Bell Road to Lapeer Road (M-24) to Waldon Road, back to Giddings Road and vice versa.

The \$15 million is a combination of federal, state, and private-business dollars and is a joint project of the county road commission, Orion Township and Auburn Hills.

For more information on the project, visit <https://www.rcocweb.org/678/Brown-Giddings-and-Silver-Bell-roads>.

For questions on the project, call the road commission office between 7:30 a.m. and 4:15 p.m. Monday through Friday or email dcsmail@rcoc.org.

DNR stocks 2 area rivers, pond with trout



DNR staff stock an area river with trout. Photo courtesy of Michigan Department of Natural Resources.

By **ANNE RUNKLE** | arunkle@medianewsgroup.com | The Oakland Press
PUBLISHED: March 30, 2024 at 7:01 a.m. | UPDATED: March 30, 2024 at 7:03 a.m.

The Michigan Department of Natural Resources recently stocked the Huron and Clinton rivers in Oakland County and Spring Mill Pond in Livingston County with thousands of adult and yearling trout.

The portion of the Huron River affected is in the Proud Lake State Recreation Area. Spring Mill Pond is in Island Lake State Recreation Area.

The fish are retired broodstock from Michigan's state fish hatcheries, according to a release from the DNR.

The Clinton River was also stocked with 640 adult brown trout ranging from 13-17 inches. These fish, stocked at Riverside Park in Auburn Hills, will provide additional angling opportunities beyond the yearling fish that are stocked annually.

The Huron River, downstream of the Proud Lake Dam, was stocked with about 1,370 brown trout and 1,400 rainbow trout, all ranging in size from 13 inches to 19 inches.

Spring Mill Pond was stocked with about 450 brown trout and 200 rainbow trout in the same size range.

In addition, 400 yearling rainbow trout were stocked in the Huron River and 100 in Spring Mill Pond. Some of these yearlings may at first be smaller than the minimum size of 8 inches.

Special regulations apply for anglers interested in targeting these trout:

- The Huron River at Proud Lake is closed to fishing Oct. 1 through March 31. From April 1-29, anglers are limited to flies only, catch-and-release fishing. Children under 12 may keep one trout sized between 8-12 inches.
- Spring Mill Pond at Island Lake is closed to fishing March 15-31. From April 1-29, anglers are limited to artificial lures only, catch-and-release fishing.
- On both bodies of water, beginning April 30, all baits are allowed, and anglers may keep up to five trout over 8 inches, but only three over 15 inches.

The Clinton River is open to trout fishing all year and anglers can keep up to five trout over 8 inches, but only three over 15 inches.

Visit <https://www.michigan.gov/dnr/managing-resources/laws/regulations> for more fishing regulations or [Michigan.gov/Fishing](https://www.michigan.gov/Fishing) for the most up-to-date resources.

While these fish are stocked upstream of the advisory, the Huron River is under a "Do Not Eat" fish consumption advisory from Wixom Road south to Lake Erie due to elevated PFAS levels in fish.

The main source of contamination in Norton Creek has been addressed, but the perfluoroalkl and polyfluoroalkl substances advisory is still in place until further testing.

The trout do not reside in the Huron River for long periods of time. Touching the fish or water is not a health concern.

For more information, go to [Michigan.gov/PFASResponse](https://www.michigan.gov/PFASResponse) and search for Huron River.

Spring Mill Pond is not connected to the Huron River and not affected by the advisory.

Public transit expands in Oakland County



A SMART FAST bus on Woodward Avenue at a train crossing. (Peg McNichol/MediaNews Group)

By **PEG MCNICHOL** | pmcnichol@medianewsgroup.com

PUBLISHED: April 8, 2024 at 10:52 a.m. | UPDATED: April 8, 2024 at 12:23 p.m.

An empty bus does not mean that expanding public transit options in Oakland County are unused.

"The first day of a new route, people aren't going to be queuing up. It's been 30 years and no one's seen a bus in that area," said Eli Cooper, the county's transit manager.

A robust transit system serves three purposes: Supporting the country's drive toward sustainability; helping people get to and from school and work; and supporting aging Baby Boomers' ability to make essential trips when they are no longer able to drive.

Cooper said it takes a few years, especially in an autocentric community, for people to adopt a different mode of transit. "Ridership will grow and continue to grow."

Growth was the goal after voters approved the 10-year, 0.95 countywide transit millage in 2022. Last year, the county and SMART signed a contract to provide SMART \$31.6 million per year to preserve services in place as of Dec. 31, 2022, and \$10.1 million to expand services.

In the county, SMART had 13,000 more passenger trips in the last quarter of 2023, compared to the same period a year earlier, credited in part to new routes in Novi and Wixom, according to Bernard Parker III, SMART's vice president of external affairs.

Last year, demand-response rides rose 3% to 84,123 and use of the Flex service, which is on-demand travel, rose by 43% to 241,176.

Cooper coordinates transit services provided by SMART and smaller regional services: Suburban Mobility Authority for Regional Transportation (SMART), People's Express (PEX), North Oakland Transportation Authority (NOTA), Western Oakland Transportation Authority (WOTA), and the former Older Persons Commission service, now called OPC Transportation (OPC).

Amy Grzymkowski, WOTA's deputy director, is already seeing increased ridership.

"We had a little less than 9,000 riders in the first quarter of 2023," she said. "This year we had 17,200 riders in the first quarter of 2024. It's been a significant jump. Not quite double, but close."

WOTA has twice as much ground to cover and will expand its service area later this year. Grzymkowski said new ridership is the result of expanding services from seniors and people with disabilities to the general population.

"But the vast quantity of our riders remain seniors and adults with disabilities," she said, adding that the millage campaign raised awareness of public transit services and the successful millage vote led to more people using WOTA's door-to-door transportation.

"It's been a fantastic growth. We weren't really surprised by that. We knew the need was there," she said.

Current projections for 2024 ridership is close to 70,000, but Grzymkowski said she suspects it may go higher.

"We expanded hours for all our communities and now we're operating six days of week," she said. Before the end of the year, WOTA will provide daily service.

"We're proud that WOTA has been able to meet the need and bring hope back to people who really have contributed to our community for their whole lives and kind of got left behind once they couldn't drive," she said. "Restoring their hope is what we work for every day."

NOTA added five communities to its service area, which now includes the townships of Addison, Oxford and Orion as well as Lake Orion, Leonard, and Oxford Village. NOTA also runs a trolley providing limited service between Oxford's and Lake Orion's downtowns.

By the end of 2023, NOTA vehicles had carried 49,314 riders – 21% more than in 2022.

The millage helped OPC Transportation increase capacity for door-to-door service with four new wheelchair-equipped vans and expand service hours and destinations to include medical facilities in Auburn Hills, Troy, and Sterling Heights.

Last year, 43,335 people, including 5,350 members of the general public, used OPC Transportation to get around, a 50% increase over 2022. Last year, 30% of OPC's riders were wheelchair users.

PEX offers limited-distance service for seniors and those with disabilities but in September began allowing members of the general public to schedule rides. Last year, PEX transported 19,180 riders last year, a 25% increase over 2022.

WOTA expanded hours and its service area more than doubled to eight communities including four that didn't have public transit before the millage. Ridership increased by 55% over 2022, with 49,825 rides in 2023.

Cooper said several dynamics are at work for the growth of public transit, starting with residents' love of cars.

There is a shift, he said, for some people. More are using the Wixom park-and-ride lot and using SMART to get to a job or errand in another community, including Detroit.

There are an increasing number of options in the county.

SMART offers fixed-route bus rides and four curb-to-curb services: Dial-A-Ride, Flex Route (for Dearborn, Troy/Clawson, Auburn Hills/Pontiac, Hall Road, and Farmington/Farmington Hills), Shuttles and, for trips within a 10-mile radius Connectors, which requires advance registration.

Last year, SMART added two bus stops at Woodward Avenue and Long Lake Road in Bloomfield Hills. Routes were extended into Novi and Wixom adding 66 new bus stops.

On April 22, SMART will debut a Route 492 new fixed route from Oakland University in Auburn Hills through Rochester Hills, south through Troy, Clawson, Royal Oak, Madison Heights and Ferndale to the Jason Hargrove Transit Center on the former state fairgrounds in Detroit.

2024 Route 492 Final Map

Another route, planned for the M-59 corridor through Waterford and White Lake Township, will begin in the summer.

The first few weeks those buses may be empty, Cooper said, until people who want or need the service learn where to find the bus, where the route goes and when it will be at the fixed stops along the way.

It's true that drivers can get from one place to another fairly efficiently and public transit takes longer because of the many stops along the way, but Cooper – a Bronx, NY, native who grew up using public transit – said there are many reasons to take a bus.

"Someone riding a bus can pull out their cell phone without getting a traffic ticket," he said. "People read books on the bus. The time you spend on the vehicle is time to do other things. Some people pull out their laptops and work for 45 minutes. It's an individual choice of how that time is invested ... it's just the way of the world today."

JOBS

Expanding transit also helps the economy, not just because people can get to medical appointments, shops or restaurants, said WOTA's Grzymkowski.

WOTA hired 30 people, including an in-house maintenance manager to keep vehicles in good working condition with less downtime.

SMART hired 96 fixed-route drivers and 66 demand-response drivers. NOTA more than doubled staff, adding 37 new employees.

OPC Transportation hired a new director, eight drivers and a dispatcher.

FUTURE

The expansion of the public transit system may not be happening as quickly as some people like, but every system faces the same challenges: Hiring enough drivers and getting enough vehicles. Job fairs and vehicle purchases are happening routinely.

The next step is optimizing the routes. SMART is working with a contractor to analyze which routes work well and which need to be tweaked.

Cooper said the county is working on a contract for the same type of analysis, which will include public hearings.

"The cool part about the millage is that there are a lot of wonderful small operators who are more than happy to grow their services and organization," Cooper said.

Basic SMART fares are \$2 for a fixed-route bus, \$2.50 for Park and Ride and \$4 for Connectors. SMART has discounts for seniors, people with disabilities and children 6 to 18 years old.

Riders using smaller transit systems pay \$4 for a one-way trip. Seniors and people with disabilities get a \$2 discount on each ride with one of the smaller services providing door-to-door trips.

"Like anything else, it's a continuous-improvement process," Cooper said. "We're focusing on the future and proposing services to meet the anticipated demand from the public."



Route 492 is SMART's new fixed route from Oakland University in Auburn Hills through Rochester Hills, south through Troy, Clawson, Royal Oak, Madison Heights and Ferndale to the Jason Hargrove Transit Center on the former state fairgrounds in Detroit. Courtesy, SMART