AGENDA



Planning Commission Meeting Wednesday, September 13, 2023 � 7:00 p.m.

LOCATION: City Council Chambers 1827 N. Squirrel Road ↔ Auburn Hills MI

- 1. MEETING CALLED TO ORDER
- 2. ROLL CALL OF PLANNING COMMISSION
- 3. PERSONS WISHING TO BE HEARD (regarding items not on the agenda)
- 4. APPROVAL OF MINUTES August 9, 2023
- 5. PETITIONERS

5a. Five Points Community Church

PART ONE – Public Hearing / Motion - Recommendation to City Council for approval of rezoning from R-4, One Family Residential and RM-1, Multiple Family Residential (Low Rise) to B-2, General Business District, or any other appropriate zoning district.

PART TWO - Public Hearing / Motion – Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approvals to construct a building addition.

5b. <u>Pacific and Taylor – Light Industrial Speculative Building (aka Pacific Drive Industrial)</u> Public Hearing / Motion – Recommendation to City Council for Site Plan and Tree Removal Permit approvals to construct a light industrial building.

6. OLD BUSINESS - None

7. NEW BUSINESS – Cancelation of the October 3, 2023 Planning Commission meeting.

8. COMMUNICATIONS

8a. Age-Friendly Community Conversation Meetings

Meeting 1

Date: Thursday, September 28, 2023 - Time: 6:00 p.m. – 8:00 p.m - Location: Auburn Hills Community Center

Meeting 2

Date: Wednesday, October 11, 2023 - Time: 6:00 p.m. – 8:00 p.m. - Location: Avondale High School

8b. Notice from the City of Troy Regarding Master Plan Update

9. NEXT SCHEDULED MEETING - Wednesday, November 8, 2023, at 7:00 p.m. in the City Council Chamber

10. ADJOURNMENT

> NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.

IMPORTANT NOTICE TO PETITIONERS

Items will be presented to the City Council on **Monday**, **September 25**, **2023**. It will be necessary for you to have a representative present to answer any questions from the City Council. *CITY COUNCIL WILL NOT ACT ON YOUR ITEM IF YOU OR YOUR REPRESENTATIVE ARE NOT PRESENT*.



CITY OF AUBURN HILLS PLANNING COMMISSION MINUTES NOT YET APPROVED

August 9, 2023

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 6:30 p.m.

ROLL CALL: Present: Carolyn Shearer, Dominick Tringali, Cynthia Pavlich, Brian Marzolf, Sam Beidoun, Laura Ochs, Chauncey Hitchcock, Greg Ouellette Absent: Ray Saelens Also Present: City Planner Shawn Keenan, Director of Recreation and Senior Services, Karen Adcock Guests: None

LOCATION: The Lodge at Hawk Woods Park & Campground, 3799 Bald Mountain Road, Auburn Hills, MI

- 3. PERSONS WISHING TO BE HEARD
- 4. APPROVAL OF MINUTES June 7, 2023

Moved by Beidoun to approve the minutes of June 7, 2023. Second by Shearer.

- VOTE: Yes: Pavlich, Shearer, Beidoun, Tringali, Ochs, Hitchcock, Marzolf, Ouellette No: None Motion Carried (8-0)
- 5. PETITIONERS
- 6. UNFINISHED BUSINESS None.
- 7. NEW BUSINESS

7a. Adopt Y2022-2023 Planning Commission Annual Report

Mr. Keenan highlighted the following from the Y2022-2023 Planning Commission Annual Report:

The Commission held nine meetings and recommendations were made to the City Council on 31 developmentrelated items.

Notable projects included:

- The Parkways (Phase 3);
- TA Systems;
- 2111 North Squirrel Road;
- FANUC America;
- Clear View Car Wash;
- The Webster;
- TI Fluid Systems;
- UL Solutions;
- Atlantic Boulevard Light Industrial Speculative Building;
- Magna Seating;
- GM Electric Vehicle Parts Assembly, Distribution, and Office Facility.

Text Amendment to the Zoning Ordinance

• Article VIII, B-1, Limited Business Districts, and Article IX, B-2, General Business Districts.

Support Staff Training – Mr. Cohen and Mr. Keenan attended the APA's *National Planning Conference* held in Philadelphia in April 2023. Mr. Cohen also attended the *Michigan APA Conference* held on Mackinac Island in October 2022, and Mr. Keenan attended the conference virtually. They also participated in several other virtual planning webinars in 2022 and 2023.

Auburn Hills Planning Commission –August 9, 2023 Page **2** of **3**

Commission Training – Member Beidoun attended the *Michigan APA Conference* on Mackinac Island in October 2022. Many of the Commission members also attended the Robert's Rules training offered by the City.

Woodlands Preservation Ordinance - City's Tree Fund

• FANUC America Corporation, West Campus – The applicant made a payment of \$217,360 into the City's Tree Fund to account for the 572 replacement trees that could not be planted on-site or at alternate locations.

Moved by Tringali to adopt the Y2022-2023 Planning Commission Annual Report and submit it to City Council, respectfully recommending that the City Council ensure that the Y2023 City of Auburn Hills Budget allows for the following items:

- 1. Continued staff support from Mr. Cohen, Mr. Keenan, and the City's Administrative Development Review Team;
- 2. Funding planning activities (e.g., citizen participation, maps, printing, technical research, Master Plan and Zoning Ordinance updates, etc.);
- 3. Funding for educational materials and technical training for Commission members. Second by Shearer.
- VOTE: Yes: Pavlich, Shearer, Beidoun, Tringali, Ochs, Hitchcock, Marzolf, Ouellette No: None Motion Carried (8-0)

7b. Discussion about the Auburn Hills Master Land Use Plan

The Commission discussed the Master Land Use Plan. Mr. Keenan stated that the Downtown Neighborhood Master Plan will need to be updated in 2024, and suggested that any additional updates to the Master Land Use Plan be considered at that time.

The Commission discussed the importance of maintaining existing green space in the city. Mr. Marzolf mentioned a green space plan that had been done years ago. Mr. Keenan will locate a copy of that plan and include it in a future meeting packet. Mr. Keenan will also print a vacant land map and provide it to the Commission.

7c. Discussion on the Architectural Design Policy

The office has been working on the Architectural Design Policy, as it has not been updated in approximately twenty years. Mr. Tringali and Mr. Cohen have been working on it. All changes and items that have been updated are in red on the draft included for the Commission. Staff will continue to update and improve the policy.

7d. Updates on Developments

Mr. Keenan provided an update on the following developments:

- Kenwood Suites
- Ridgewood Villas
- Executive Hills North
- K9 Detection
- The Church of God in Christ
- Barrington Square
- Speedway
- Evolution Sports Plex
- Trailway Commons
- Morrell Group addition
- Brunswick
- Nino's Italian House
- Taylor Crossing Senior Apartments
- University Plaza

- TUV SUD
- Jiffy Lube
- Parkways Residence
- TA Systems
- FANUC America
- University Market
- The Webster
- UL Solutions
- The Avant
- Magna Seating
- GM Electric Vehicle Parts Assembly, Distribution and Office Facility
- Tommy's Boats

Auburn Hills Planning Commission –August 9, 2023 Page **3** of **3**

8. COMMUNICATIONS

The Michigan Association of Planners (MAP) annual conference will be held October 4-6, 2023, in Traverse City if Commissioners are interested in attending.

Mr. Keenan shared information regarding some upcoming developments that the Planning Commission will be asked to consider.

9. NEXT SCHEDULED MEETING

The July 12, 2023, meeting has been canceled due to the lack of applications. The next scheduled meeting is on Wednesday, August 9, 2023 at 7:00 p.m. in the City Council Chambers.

10. ADJOURNMENT

There being no further business, Chairperson Ouellette adjourned the meeting at 8:00 p.m.

Submitted by: Susan McCullough, CMC, CMMC Recording Secretary



CITY OF AUBURN HILLS PLANNING COMMISSION AGENDA

MEETING DATE: SEPTEMBER 13, 2023

AGENDA ITEM NO. 5a.

COMMUNITY DEVELOPMENT

To:Chairperson Greg Ouellette and the Planning CommissionFrom:Steven J. Cohen, AICP, Director of Community Development; and Shawn Keenan, AICP,
City PlannerSubmitted:September 8, 2023Subject:Five Points Community Church
PART ONE - Public Hearing / Motion - Recommendation to City Council for approval of
the rezoning of the portions of 3411 E. Walton Boulevard (14-12-376-010) from R-4, One
Family Residential and RM-1, Multiple Family Residential (Low Rise) to B-2, General
Business District.PART TWO - Public Hearing / Motion - Recommendation to City Council for Special Land

INTRODUCTION

An application has been submitted by Cunningham-Limp Company on behalf of Five Points Community Church, located at 3411 E. Walton Boulevard, requesting the rezoning of the portions of their property and for the construction of a 10,220 sq. ft. building addition.

Use Permit, Site Plan, and Tree Removal Permit approvals to construct a building addition.

(PART ONE) REZONING REQUEST

Five Points Community Church requests approval to rezone the northwest corner of their parcel zoned RM-1, Mulitple Family Residential (Low Rise) District, and the eastern portion of their parcel zoned R-4, One Family Residential District to B-2, General Business District. The rezoning would result in the entire parcel having the same zoning designation of B-2, General Business District, bringing the whole site in line with the City's Master Land Use Plan's Non-Residential Land Use Classification.

EXISTING CONDITIONS

Adjacent Properties	Existing Land Uses	Master Plan Designation	Existing Zoning
North	Vacant Parsonage/House	Non-Residential	B-2
East – across Squirrel	Auburn Square Shopping Plaza, St. John Fisher Chapel	Non-Residential	B-2 and R-4
Southeast – across intersection	Oakland University	Public	SP
South – across Walton	Quality Lube, McDonald's, Points Plaza, BluePearl Pet Hospital	Non-Residential	B-2
West	The Avalon of Auburn Hills Retirement Home	Non-Residential	PUD Overlay (B-2 and RM-1)
Northwest	Countryside Townhomes	Residential	RM-1

EXISTING CONDITIONS - cont.



Aerial Photo of the Site and Surrounding Conditions

STAFF RECOMMENDATION

The adopted City of Auburn Hills *Master Land Use Plan* depicts the subject parcel as "Non-Residential" land use, and the adopted *Northeast Corner Neighborhood Master Plan* identifies the parcel as "Non-Residential." Therefore, we recommend Approval of the rezoning from R-4, One Family Residential District, and RM-1, Multiple Family Residential (Low Rise) District to B-2, General Business District, based on the Master Land Use Plan.

(PART TWO) SITE PLAN APPROVAL

This is a request from Five Points Community Church to construct a 10,220 sq. ft. building expansion to their existing building located at 3411 E. Walton Boulevard. The site is 8.36 acres in size and zoned R-4, One-Family Residential, RM-1, Multiple-Family Residential, and B-2, General Business District.

(PART TWO) SITE PLAN APPROVAL cont.

The plans call for the demolition of the existing multi-purpose wing of the building to make room for the expansion that includes a new nave, sanctuary, commons area, green room, usher room, restroom, cry room, and hallway. Once the proposed project is complete, the overall building size will equal 45,780 sq. ft.

On March 19, 2018, Five Points Community Church completed its first expansion, which the City Council approved on March 27, 2017. That plan accommodated this proposed addition's anticipated parking and stormwater management needs.

Construction for this project is expected to begin in the Spring 2024, with completion taking place sometime in the Winter 2024. The overall investment is estimated at \$3 million.



Aerial Photo



Illustrated Site Plan

(PART TWO) SITE PLAN APPROVAL cont.



Color Rendering of the Proposed Building Looking West from the East Entrance Drive



Color Rendering of the Proposed Building Looking North from the South Parking Lot

STAFF RECOMMENDATION

This project has been reviewed by the <u>City's Administrative Review Team</u> and has received a recommendation for approval.

We recommend <u>approval</u> of the <u>Special Land Use Permit</u> request for the <u>church addition</u> and offer the following discretionary findings of fact:

- 1. The location of the use will not negatively impact adjacent areas, which are zoned non-residential (senior housing), multiple-family residential, and vacant parsonage.
- 2. The land will be used in accordance with its immediate character, which is planned and zoned for residential and non-residential development.
- 3. The requirements of Section 1818 in the City's Zoning Ordinance will be met.
- 4. The use will promote the purpose and intent of the City's Zoning Ordinance.
- 5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills, and the purpose and intent of the City's Zoning Ordinance.

We recommend <u>Conditional Approval</u> of the <u>Site Plan</u> and offer the following discretionary findings of fact:

- 1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
- 2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
 - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
 - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to both Walton Boulevard and Squirrel Road.
 - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
 - d) A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
 - e) The proposed use will not have an unreasonable, detrimental, or injurious effect upon the natural characteristics of the subject parcel or the adjacent area.

STAFF RECOMMENDATION cont.

- 3. Based upon the number of seats within the main unit of worship or assembly, 121 parking spaces are required, and 212 parking spaces are depicted.
- 4. The parking layout meets minimum requirements, and barrier-free parking spaces are provided (seven are required and seven are provided). Two spaces are van accessible.
- 5. Building and parking setback requirements will be met.
- 6. Greenbelts are provided.
- 7. A 25-foot-wide natural buffer is provided along the edge of the existing wetland.
- 8. Landscape requirements will be met, and calculations have been submitted.
- 9. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wallmounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. The existing light poles are 25 feet in height from the finished grade. No new light poles are proposed.
- 10. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
- 11. A note indicates that parking spaces shall be double-striped.
- 12. Ground-mounted and roof-mounted mechanical equipment will be screened.
- 13. A note indicates that no outside storage will be allowed, which includes pallet storage, overnight vehicles, or trailer storage.
- 14. The existing eight-foot wide pathway along Walton Boulevard and the five-foot wide concrete sidewalk along Squirrel Road will remain. Complete Streets considerations were made as part of the past site plan approval. The site includes a sidewalk from the building to the pathways along Walton Boulevard and Squirrel Road.
- 15. An Administrative Tree Removal Permit is required three replacement trees are required, and three replacement trees are proposed.
- 17. The Church has agreed to prep the parking lot with four electric vehicle charging stations. They will install electrical stubs at planned station locations and will run conduit from the power source to the stubs at the time of construction to support the future installation of the charging stations, when needed.

Conditions:

1. The Church agrees to meet the requirements of Article XX Administration and Enforcement, Section 2007. Performance Guarantees.

(PART ONE) RECOMMENDED ACTION

"Move to recommend to City Council approval of the rezoning of the portions of parcel 14-12-376-010 from R-4, One Family Residential District and RM-1, Multiple Family Residential (Low Rise) District to B-2, General Business District."

(PART TWO) RECOMMENDED ACTION

"Move to recommend to City Council approval of the Special Land Use Permit and Site Plan for <u>Five Points</u> <u>Community Church</u> subject to the conditions of the City's Administrative Review Team."

AUE		velopment pplication
	me: Five Points Community Church - Phase	ell Address: 341 EWalton
	oject Location:	
INVV Corne	er of Walton and Squirrel Rd	- Date Received: <u>7-26-23</u>
Parcel Size	: 8.61 Zoning: R-4	Fees Paid: $\underline{P}(450,0)$
Sidwell Nu	mber(s): <u>14-12-376-006, & -009</u>	- SP #: 230007SLU #(s): 230007
Project Des	cription: _Building Expansion	LD/LE/SUB #:
·		RZ #: 23000
8999-9-1-1-9-8-1-1-9-1-9-1-9-1-9-1-9-1-9		PUD #:
Building Siz	ze (sq. fi.): <u>10,238 SF</u>	ZBA #:
<u>Check requ</u>	ested review(s)	
🗵 Site Plai	n 🗌	Subdivision
Tree Re	moval Permit	Planned Unit Development - Step 1/Step 2/Combined
🕱 Special	Land Use Permit(s) <u>Church and</u>	
	P	
Land Div	•	(see supplemental application)
□ Land Exc	change	Other
4-0 5	Name: <u>Nicholas Deviin, C-L</u>	_ Signature:
Applicant	Business Name and Address: Cunningham-Limp	Company, 28970 Cabot Dr, Suite 100
App	City: Novi State: MI Zip Code: 4	48377 Phone Number: 248-489-2300
	Fax Number: 248-489-2310 Alt. Phone Numbe	er(s): <u>248-318-7438</u>
	Name: Mike Martoia	Signature: MT Marton
)ert ier(s	Business Name and Address: Five Points Commu	
Property Owner(s	City: Auburn Hills State: MI Zip Code: 4	
	Please contact the City of Auburn Hills Commun 1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone www.auburnhills.org	nity Development Department, e: 248-364-6900 Fax: 248-364-6939

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a cook@clC.build



Headquarters 28970 Cabot Drive • Suite 100 Novi • MI • 48377 **NW Michigan** 818 Red Drive• Suite 30 Traverse City• MI • 49684

www.cunninghamlimp.com

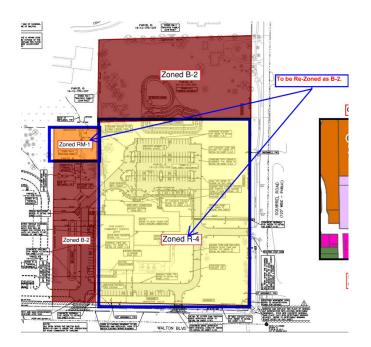
August 14, 2023

RE: Re-Zoning of Adjacent Parcels Five Points Community Church 3411 E Walton Blvd, Auburn Hills, 48326

Dear Mr. Keenan:

In accordance with the City of Auburn Hills' master plan, we are notifying you on behalf of our client, Five Points Community Church, that the re-zoning of two existing (2) parcels from their existing designations to B-2 is to occur. See below:

- NW Parcel currently zoned RM-1: To be B-2.
- Church Parcel currently zoned R-4: To be B-2.



Sincerely,

Nick Devlin Estimator Cunningham-Limp





Planning Commission Public Notice

Meeting Date, Time, and Location:	Wednesday, September 13, 2023, at 7:00 p.m. City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Five Points Community Church
General Property Location:	3411 E. Walton Boulevard Sidwell No. 14-12-376-010
Applicant:	Nick Devlin, Cunningham-Limp Company – 248-318-7438
Nature of the Request:	Recommendation to City Council for approval of rezoning from R-4, One Family Residential and RM-1, Multiple Family Residential (Low Rise) to B-2, General Business District, or any other appropriate zoning district.
	Recommendation to City Council for Special Land Use and Site Plan approvals to construct a building addition.
City Staff Contact:	Shawn Keenan, AICP City Planner - 248-364-6926

Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application is available for inspection prior to the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.

Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Shawn Keenan, AICP, City Planner, at the above address.

Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 - 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.



LOCATION MAP

ARCHITECTS. ENGINEERS. PLANNERS.



September 5, 2023

Mr. Shawn Keenan, AICP City Planner CITY OF AUBURN HILLS 1827 North Squirrel Road Auburn Hills, Michigan 48326

RE: Five Points Church Expansion Site Plan 1st Review

Dear Mr. Keenan:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on August 10, 2023, was prepared by PEA Group. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

Soil erosion permit from O.C.W.R.C.

GENERAL:

The site is located north of Walton Boulevard and west of Squirrel Road at 3411 Walton Boulevard in Section 12 of the City of Auburn Hills. The site currently consists of the existing Five Points Community Church building and associated parking lot. The applicant is proposing to remove the southeast wing of the existing building and construct a new 9,990 sq. ft. addition. The site is currently zoned One Family Residential (R-4); however, the applicant is proposing to rezone the site as General Business (B-2). The adjacent property to the west is zoned P.U.D. Overlay (P) and the adjacent properties to the north are zoned Multiple Family (Low Rise) (RM-1) and General Business (B-2). A complete legal description of the parcel is shown on the plan. The City of Auburn Hills Standard Notes and Fire Department notes are included on the plans. A landscape plan was included in the plan set and appears to be acceptable. A demolition plan has also been included in the plan set.

MUNICIPAL UTILITIES:

There is an existing 8-inch water main that extends from the 12-inch water main along Squirrel Road and loops around the existing building connecting to the existing 16-inch water main on Walton Blvd. The applicant is not proposing any changes to the existing water main as part of this project.

There is an existing 10-inch sanitary sewer that extends along Walton Blvd. Two existing sanitary sewer leads extend north from the main to the south and east side of the building. The applicant is not proposing any changes to the existing sanitary sewer as part of this project.

T 248.751.3100 F 248.287.4201 City of Auburn Hills Five Points Church Expansion September 5, 2023 Page 2 of 3

STORM SEWER AND DETENTION:

It appears that the site is located in the McPherson Drainage District, which has a maximum discharge rate of 0.20 cfs/acre. Storm water runoff for the site is currently collected via a series of catch basins and routed to a detention pond that ultimately outlets to the wetlands northwest of the site. The applicant is proposing to install a roof drain connection on the northeast side of the building addition which will connect to the existing 8-inch storm sewer on east side of the building. The applicant is also proposing to install a roof drain connection on the southwest side of the building addition which will connect to the existing detention basin are proposed. The following storm water management narrative was included on the plans, "Since the storm water management system, designed and constructed in 2017, was built to accommodate future development conditions for the entire property, no additional storage has been provided for this addition." The existing detention basin was designed for a 'C' factor of 0.548 while the proposed 'C' factor is 0.546. No calculations or additional details, including storm sewer calculations, were included in the plan set.

TRAFFIC/PAVING:

Access to the site consists of one (1) existing approach off Squirrel Road and two (2) existing approaches off Walton Boulevard. Parking is located to the north, south, and west of the building. The applicant is not proposing any changes to the existing approaches or the number or location of parking spaces. A small portion of asphalt pavement south of the proposed addition is to be repaired after the storm sewer installation. A 5-foot-wide concrete sidewalk and 7-foot-wide concrete sidewalk is proposed on the east side of the proposed addition to provide access to the northern parking lot. Pavement cross-sections for the site have been provided on the plans and appear to meet City standards.

GRADING:

Existing and proposed grades are shown with spot elevations. The site is sloped towards the northern end of the parcel. The proposed improvements do not appear to substantially alter the existing drainage pattern. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalks shall comply with ADA standards. There are no retaining walls proposed as part of this project.

RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements and has been stamped "Approved" by our office. We ask that the site plan approval acknowledge the following:

- 1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
- 2. The developer must post a performance guarantee, in accordance with the City's requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities, pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.

If you have any questions or are in need of any further information, please feel free to contact our office.

City of Auburn Hills Five Points Church Expansion September 5, 2023 Page 3 of 3



Sincerely, OHM Advisors

May More ?

MaryKate Kirksey for Hannah Driesenga, P.E.

Transmitted via e-mail to Shawn Keenan: September 5, 2023 cc: File

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POLICE DEPARTMENT 1899 North Squirrel Road Auburn Hills, MI 48326

MEMORANDUM

TO: Shawn Keenan, City Planner
FROM: Jeremy Stubbs, Lieutenant
DATE: August 7, 2023
SUBJECT: Five Points Community Church Building Addition

I have reviewed the site plans for the building addition. We have no objections to the project as presented in the site plans.



AUBURN HILLS FIRE DEPARTMENT



Official Memorandum

То:	Shawn Keenan, City Planner
From:	Fred Solomon, Fire Inspector
Date:	July 31, 2023
Re:	Site Plan Review PSP230009

PROJECT: Five Points Church Addition, 3411 Walton

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No Comments

7. folomon

Fred Solomon Fire Inspector Auburn Hills Fire Department



Headquarters 28970 Cabot Drive • Suite 100 Novi • MI • 48377

NW Michigan 818 Red Drive• Suite 30 Traverse City• MI • 49684

www.cunninghamlimp.com

August 14, 2023

RE: Citizens Participation Letter Five Points Community Church 3411 E Walton Blvd, Auburn Hills, 48326

Dear Neighbor:

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we are notifying you on behalf of our client, Five Points Community Church, that a development application will be submitted to the City of Auburn Hills to develop and expand their current building and site located at 3411 Walton Road. We intend to construct a new 10,300 square-foot one-story addition consisting of a new sanctuary, commons area & corridor, and supporting rooms. This is Phase II, a continuation of a project started in 2017. Phase I anticipated this future expansion by incorporating parking and stormwater requirements.

We feel that this project has been designed in such a manner to be aesthetically pleasing and will be in keeping with the character of the existing church and the rest of the local area. The new facility will also provide quality landscaping for the new construction to improve site aesthetics as visible from adjacent developments and from North Squirrel and Walton Roads. See the attached colored site plan and elevations.

The application also includes a request to rezone the eastern portion of the property (approximately 7.29 acres) from R-4, One Family Residental to B-2, General Business District, and the portion of the northwest corner of the property (approximately 0.30 acres) from RM-1, Multiple Family (Low Rise) to B-2, General Business District, to bring the entire parcel inline with the City Master Land Use Plan's non-residential land use classification.

The City of Auburn Hills Planning Commission is scheduled to review the development application on September 13, 2023. If you have any questions, concerns, or comments, please do not hesitate to contact me at 248-489-2300. If you wish to speak to a City representative, please contact Shawn Keenan, City Planner, at 248-364-6926.

Sincerely,

Nick Devlin Estimator Cunningham-Limp





Site Plan

Five Point Church Building Expansion | Auburn Hills | July, 2023





Headquarters 28970 Cabot Drive • Suite 100 Novi • MI • 48377 **NW Michigan** 818 Red Drive• Suite 30 Traverse City• MI •49684

www.cunninghamlimp.com

August 30, 2023

RE: Citizens Participation Letter Five Points Community Church 3411 E Walton Blvd, Auburn Hills, 48326

Dear Mr. Keenan,

On August 16, 2023, letters were sent out to neighboring residents regarding the Five Points Church Phase II project based off the list provided by your office. As of this date, no responses or calls have been received regarding this CP letter.

Sincerely,

Nichola s Devlin

Digitally signed by Nicholas Devlin DN: cn=Nicholas Devlin, o=C-L, ou=PM, Estimator, email=ndevlin@clc.build, c=US Date: 2023.08.30 11:05:50 -04'00'

Nick Devlin Estimator Cunningham-Limp





The City of Auburn Hills City Council Meeting Minutes - Excerpt

CALL TO ORDER:Mayor McDaniel at 7:00 p.m.LOCATION:City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326Present: Mayor McDaniel, Council Members Burmeister, Hammond, Kittle, Knight,
Mitchell and VerbekeAbsent: NoneAlso Present: City Manager Tanghe, Assistant City Manager Grice, City Attorney
Beckerleg, Police Chief Olko, Fire Chief Manning, Community Development
Director Cohen, Assessor Bill Griffin, City Clerk Kowal, DPW Director Melchert,
Finance Director/Treasurer Schulz, Director of Authorities Mariuz, Mgr. of Public

Utilities Michling, and Golf Manager/Pro Marmion.

15 Guests

9. NEW BUSINESS

<u>9a. Motion - Approve a Special Land Use Permit, Site Plan and Tree Removal Permit / Five Points</u> <u>Community Church</u>

Mr. Cohen explained the request to construction a 16,000 square foot addition on the north side of the existing building. The addition will include new offices, a commons room, youth group rooms, nursery rooms and a large gathering area. The plans call for the demolition of the southern wing, which was the original church, as well as the removal of a garage and existing one story concrete block building. The total investment in the project is \$3.2 million. Construction is anticipated to begin in May and be complete by December. The Planning Commission and staff both recommend approval of the project.

Mr. Cohen confirmed for Mr. Knight that only Phase One was being considered tonight and Phase Two would be considered at another time.

Ms. Hammond pointed out that the parking lot will be near the new senior development and will be nicely buffered. Chris Allard, AKA Architects representing Five Points Community Church, confirmed that it is appropriately landscaped with the landscape buffers.

Moved by Verbeke, Seconded by Knight.

RESOLVED: To accept the Planning Commission's recommendation and approve the Special Land Use Permit, Site Plan and Tree Removal Permit for Five Points Community Church subject to the conditions of the administrative review team."

VOTE: Yes: Burmeister, Hammond, Kittle, Knight, McDaniel, Mitchell, Verbeke

No: None

Resolution No. 17.03.047

Motion Carried (7 - 0)



CITY OF AUBURN HILLS PLANNING COMMISSION MINUTES - EXCERPT

- 1. CALL TO ORDER: Planning Commission Chairperson Ouellette called the meeting to order at 7:00 p.m.
- ROLL CALL: Present: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Hitchcock, Mendieta (7:02 p.m.), Pederson Absent: Shearer Also Present: Assistant City Planner Keenan Guests: 10
 Location: City Council Chamber, 1827 N. Squirrel Roads, Auburn Hills, MI 48326

5. PETITIONERS

5c. Five Points Community Church (7:49 p.m.)

Recommendation to City Council for approval of Special Land Use Permit, Site Plan and Tree Removal Permit

Mr. Keenan introduced the request from Five Points Community Church to construct a 16,019 sq. ft. building addition onto their existing building located at 3411 Walton Boulevard. The site is 11.3 acres in size and zoned R-4, One-Family Residential, RM-1, Multiple-Family Residential and B-2, General Business District.

Mr. Keenan explained the proposed building addition is located on the north side of the existing building and that the addition includes offices, a commons room, youth group rooms, nursery rooms, and a large gathering area.

Mr. Keenan noted the plans also call for the demolition of the southern wing of the existing church as well as the garage and existing one-story concrete block building located on the southwest portion of the property. Once the proposed project is complete, the overall building size will equal 41,601 sq. ft.

Mr. Keenan indicated that construction will begin May 2017 with completion taking place in December 2017. The overall investment is estimated at \$3.2 million.

Mr. Steve Auger 214 S. Broadway Suite 220, Lake Orion, MI 48362 explained that since this church is a permanent site in the community and serves the community with its sledding hill, food pantry, sports activities and mentoring program, the goal is to clean up the property and take down the older sections that are falling apart and add new ones to continue the activities for the community.

Ms. Ochs stated that she noticed there are a number of trees that will need to be replaced due to others being taken down.

Mr. Keenan clarified that dead trees are not counted as replacement trees unless they were part of the original landscape plan for the property. He stated that all regulated trees being removed are being replaced in accordance to the City's Woodland Preservation Ordinance.

Mr. Burmeister asked if the food pantry operations will be continued.

Mr. Mike Houston, Five Points Community Church member of the church building committee member indicated that the food pantry operations will continue.

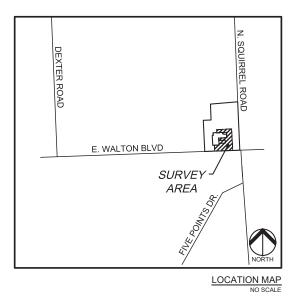
Mr. Ouellette opened the meeting for Public Hearing at 8:05 p.m. Hearing not comments Mr. Ouellette closed the Public Hearing at 8:05 p.m. Auburn Hills Planning Commission March 15, 2017 Page **2** of **2**

Motion made by Mr. Hitchcock to Move to recommend to City Council approval of the Special Land Use Permit, Site Plan and Tree Removal Permit for Five Points Community Church, subject to the conditions of the administrative review team. Second by Mr. Beidoun

VOTE: YES: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Hitchcock, Mendieta, Pederson NO: None Motion Carried (8-0) PRELIMINARY SITE PLANS

FIVE POINT CHURCH EXPANSION 3411 WALTON BLVD

AUBURN HILLS, OAKLAND CO., MICHIGAN



NUMBER C-0.0 C-1.0 C-2.0 D C-3.0 D C-4.0 FI C-4.1 E C-5.0 N L-1.0 1-11 17 T-1.0 T S A000 С D.101 15 A.101 A.201 В PROJEC

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER

CUNNINGHAM - LIMP 28970 CABOT DRIVE, STE 100 NOVI, MI 48377 CONTACT: NICK DEVLIN PHONE: 248-318-7438 EMAIL: NDEVLIN@CLC.BUILD

ARCHITECT

AUGER KLEIN ALLER 303 E. THIRD STREET, STE 100 ROCHESTER, MI 48307 CONTACT: MICAH WIERSMA PHONE: 248-287-7268 EMAIL: M.WIERSMA@AKA-ARCHITECTS.NET CIVIL ENGINEER

PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM

LANDSCAPE ARCHITECT

PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844,813,2949 EMAIL: JEVANS@PEAGROUP.COM PΞΛ GROUP

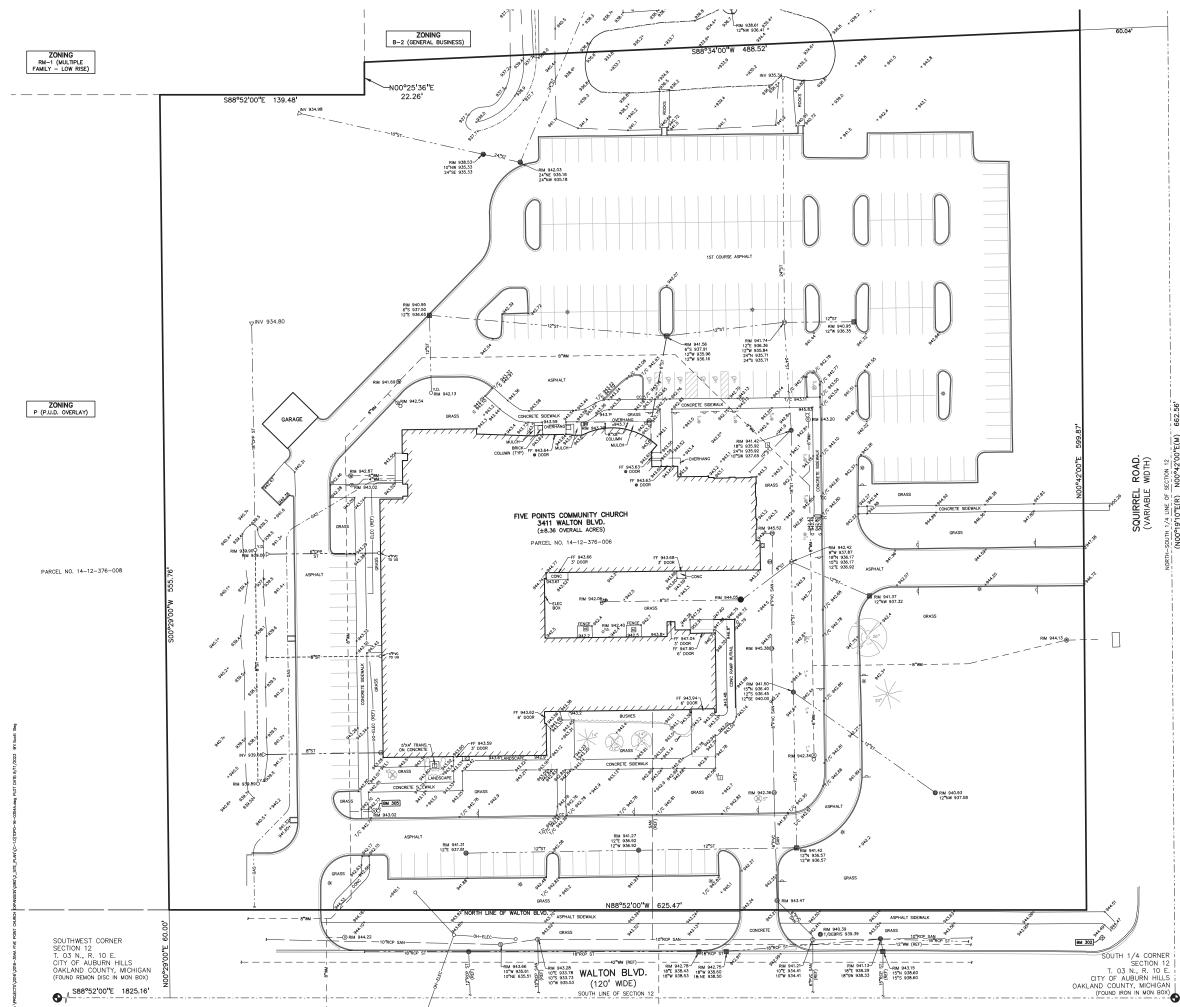
DESCRIPTION RIGINAL ISSUE CITY COMMENTS CITY COMMENTS

INDEX OF DRAWINGS
TITLE
COVER SHEET
TOPOGRAPHIC SURVEY
DEMOLITION PLAN
DIMENSIONAL SITE PLAN
ENGINEERING PLAN - GRADING
ENGINEERING PLAN - STORM
NOTES AND DETAILS
PRELIMINARY LANDSCAPE PLAN
ANDSCAPE DETAILS
TREE PRESERVATION PLAN AND TREE LIST
SITE PLAN - COLOR RENDERING
CODE COMPLIANCE PLAN
IST FLOOR DEMOLITION PLAN
PHASE II FLOOR PLAN
BUILDING ELEVATIONS
T DESCRIPTION:
CONSISTS OF REMOVAL OF THE SOUTHEASTERN WING

PROJECT CONSISTS OF REMOVAL OF THE SOUTHEASTERN WING AND PROVIDE A NEW 9,990 SF. ADDITION TO THE EXISTING CHURCH FACILITY, THE INTERIOR OF THE EXISTING BUILDING WILL BE RENOVATED TO ACCOMMODATE THE PROPOSED ADDITION. THE PARKING AREA WILL REMAIN THE SAME AND PROVIDE 212 PARKING SPACES WITH NEW LANDSCAPING.

	REVISIONS	
		DATE
DATE		7/26/2023
		8/10/2023
		9/6/2023





NOT	FOR	CONSTRUCTION
IUUI	FUR	CONSTRUCTION

CLIENT BM #305 ARROW ON A HYDRANT LOCATED APPROX. 36' SOUTH FROM THE SOUTHWEST BUILDING CORNER OF 3411 WALTON BLVD. ELEV. - 944.94 BM #302 TOP OF NOTTHWEST BOLT OF A TRAFFIC SIGNAL POLE LOCATED AT THE NORTHWEST CORNER OF WALTON BLVD & SQUIRREL ROAD. (TAKEN FROM PEA JOB NO. 2016-0354, NOT SHOWN IN SURVEY AREA) ELEV. - 94:53

COUNT , MICHIGAN DESCRIED AS FOLLOWS: COMMENCING AT THE SOUTH LINE OF SECTION 12, SOUTH 88 DEGREES 42.0NG THE SOUTH LINE OF SECTION 12, SOUTH 88 DEGREES 52.MINUTES 00 SECONDS EAST 1025.16 FEET; THENCE NORTH 00 DEGREES 28 MINUTES 00 SECONDS EAST 0.005 FEET TO THE POINT OF BEGINNING; THENCE CONTUNING NORTH 00 DEGREES 29 MINUTES 00 SECONDS EAST 1036 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 00 SECONDS EAST 1036 FEET; THENCE NORTH 60-FOOT RIGHT-0F-WAY LINE OF WALTON BLVD, AND DEGREES 29 MINUTES 00 SECONDS EAST 1036 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 00 SECONDS EAST 1036 FEET; THENCE NO72930F 22.26 FEET; THENCE NORTH 88 DEGREES 24 RIGHT-0F-WAY LINE OF SQUIRREL ROAD; THENCE ALONG SAM WEST LINE SOUTH 00 DEGREES 24 MINUTES 00 SECONDS WEST 598.87 FEET TO THE NORTH 60-FOOT RIGHT-0F-WAY LINE OF WALTON BLVD; THENCE ALONG SAM DAVEL LINE 00 SECONDS WEST 598.87 FEET TO THE NORTH 60-FOOT RIGHT-0F-WAY LINE OF POINT OF BEGINNING; CONTAINING 364.371 SQUARE FEET TO THE 0 SECONDS MEST 398.47 CRESS 1000 SECONDS WEST 625.47 FEET TO THE 0 SECONDS WEST 00 SECON

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LEGAL DESCRIPTION:

BENCHMARKS:

• • R M C

REFERENCE DRAWINGS:

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SECTION CORNER FOUND

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RECORDED / MEASURED / CALCULATED

LEGEND: -OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE -UG-CATV-----------------------EX. U.G. CABLE TV & PEDESTAL -UG-COMM-S-CO- EX. U.G. COMMUNICATION LINE. PEDESTAL & MANHOL -UG-ELEC-DEC EX. U.G. ELEC, MANHOLE, METER & HANDHOLE 0 83 EX. GAS VALVE & GAS LINE MARKER • EX. TRANSFORMER & IRRIGATION VALVE EX. WATER MAIN 0 ~ 0 0 8 EX. HYDRANT. GATE VALVE & POST INDICATOR VALVE EX, WATER VALVE BOX & SHUTOFF EX. SANITARY SEWER 0 S EX. SANITARY CLEANOUT & MANHOLE © EX. COMBINED SEWER MANHOLE EX, STORM SEWER 00 00 **11 0 0** EX. CLEANOUT & MANHOLE EX. SQUARE, ROUND & BEEHIVE CATCH BAS 0^{Y.D.} 🐵 EX. YARD DRAIN & ROOF DRAIN 1 EX. UNIDENTIFIED STRUCTURE EX. MAILBOX, SIGN & LIGHTPOLE ₩ - * ____x EX. FENCE EX. GUARD RAIL *00 EX. DEC. TREE. CONIFEROUS TREE & SHRUB EX. TREE TAG, & TREE LINE +724 *696.91 --670 EX, SPOT ELEVATION EX. CONTOUR • & # ø IRON FOUND / SET



PEA JOB NO. 16-0354A P.M. JAH DN. SWS DES. SWS DRAWING NUMBER:

C-1.0

TOPOGRAPHIC SURVEY

CITY COMMEN

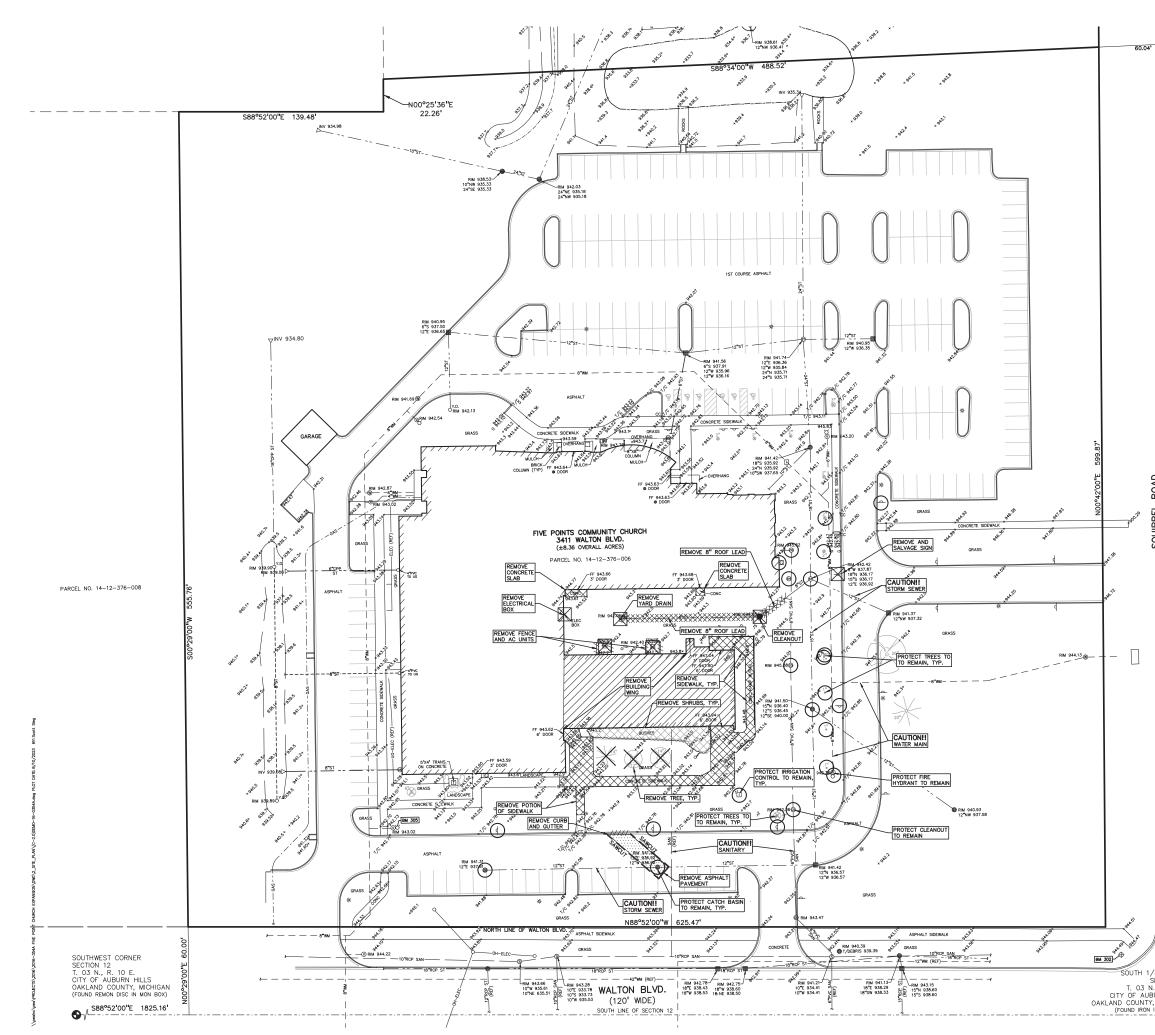
ORIGINAL ISSUE DATE: JULY 26, 2023

DRAWING TITLE

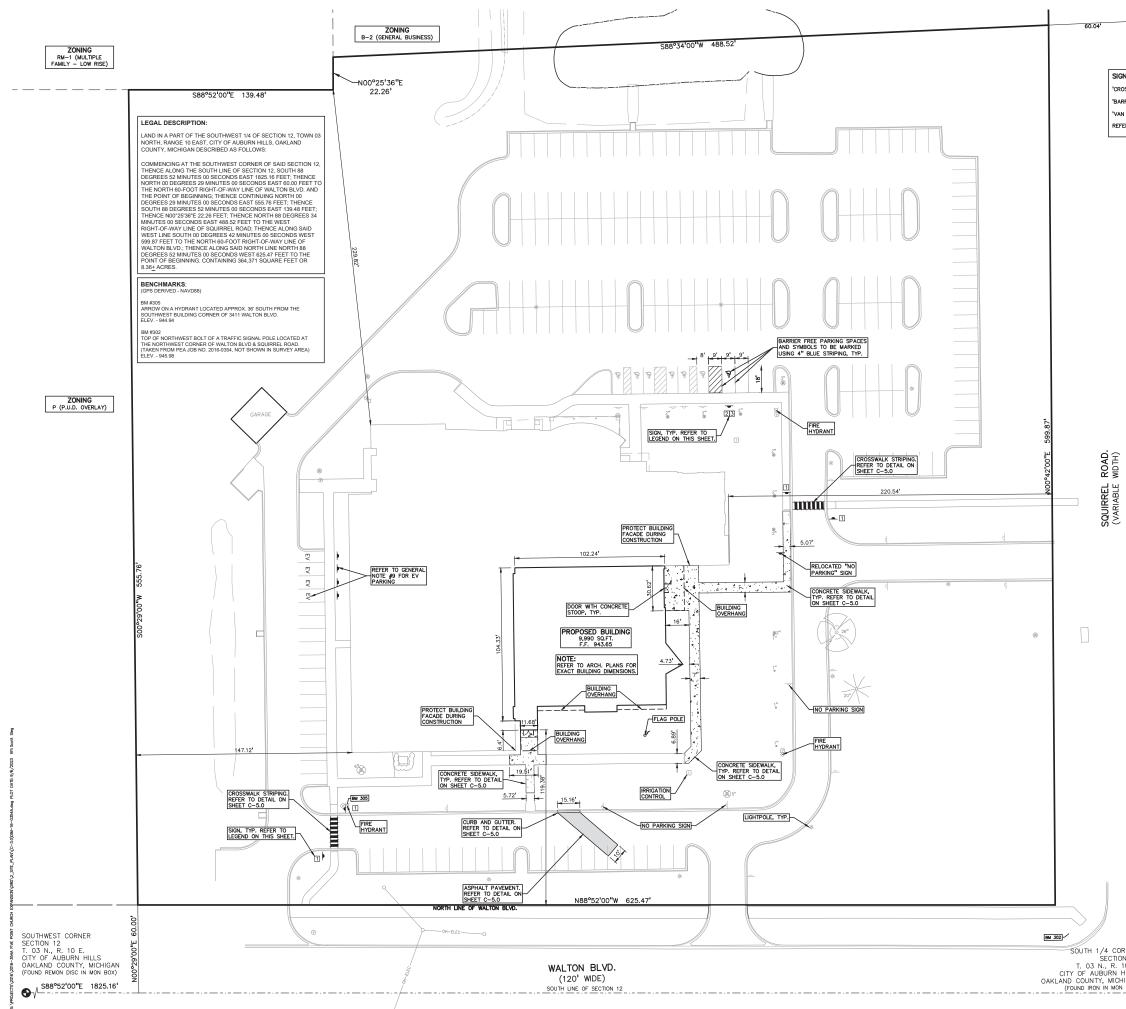
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662.

SOUTH 1/4 CORNER



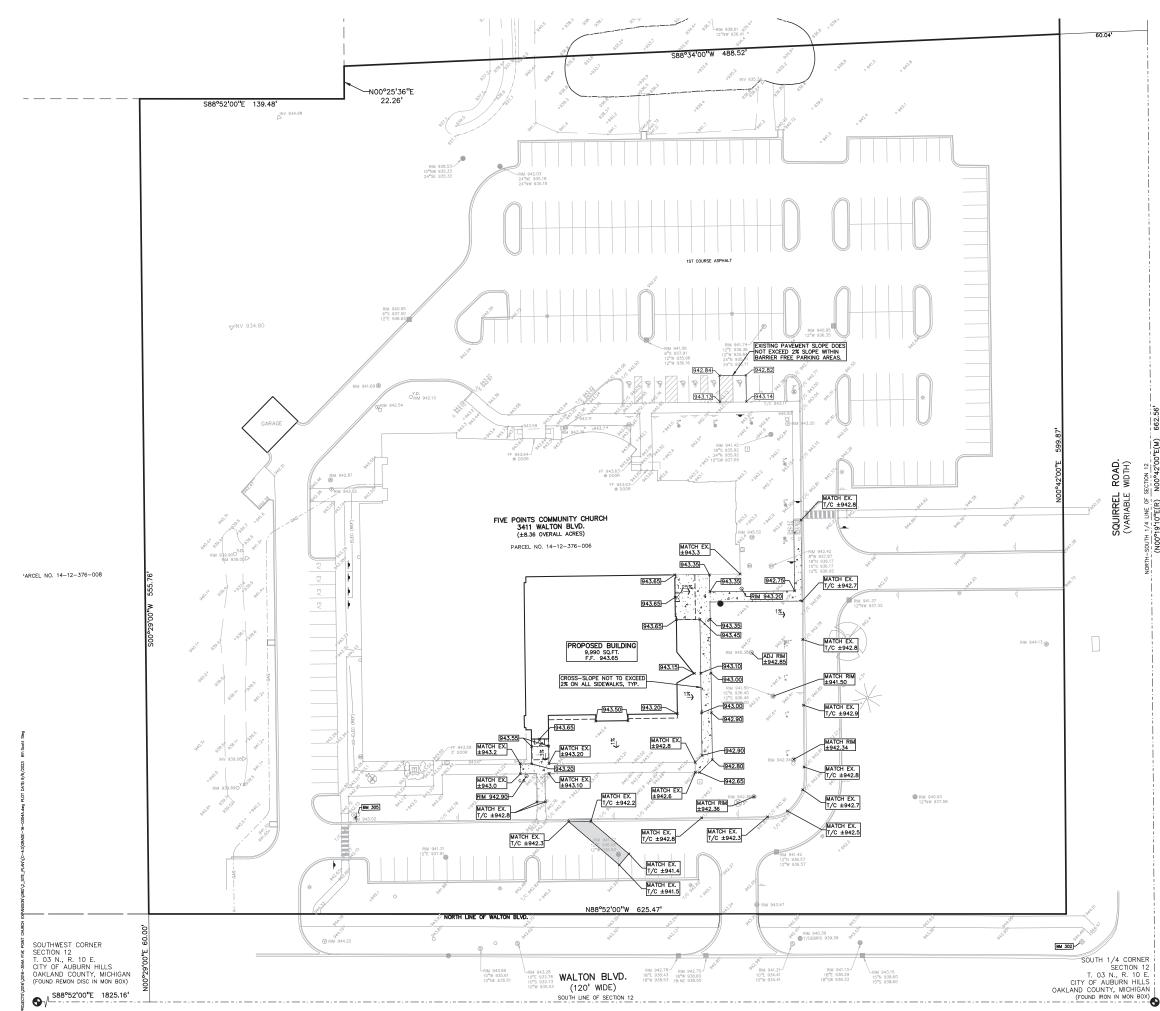
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AUNDRED (100) FEET. 6. DESIGNATED EXIT DOORS ON PROTECTED WITH GUARD POS	O DRIVES OR PARKING AREAS MUST BE	PEA JOB NO. 16-0354A P.M. JAH DN. SWS DES. SWS DRAWING NUMBER: SWS

NOT FOR CONSTRUCTION

C-3.0



GRADING LEGEND:

×696.91	EXISTING SPOT ELEVATION	
622.50	PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.	
670	EXISTING CONTOUR	
	PROPOSED CONTOUR	
	PROPOSED REVERSE GUTTER PAN	
	PROPOSED RIDGE LINE	
	PROPOSED SWALE/DITCH	
ABBREVIATIONS		

T/C = TOP OF CURB T/P = TOP OF PAVEMENT T/S = TOP OF SIDEWALK T/W = TOP OF WALL G = GUTTER GRADE FG = FINISH GRADE RIM = RIM ELEVATION B/W = BOTTOM OF W REFER TO GRADING NOTES ON SHEET C-9.0

CITY OF AUBURN HILLS STANDARD NOTES:

- CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS.
- 2. NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.
- 3. A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW
- I. ALL OTY STREET MUST BE MAINTAINED DURING CONSTRUCTION. STREET SHALL BE KEPT FREE OF MUD. DIRT, CONSTRUCTION BERRS, DUST AND THE LIKE IF CLEANUP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
- WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 700 AMT 07 700 PM; SUNUI TO SUNDOWN, WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYONL THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OF HIS DESIGNEE.
- ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.
- 7. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OARLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.
- 11. ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
- 12. FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OFF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT", SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESION ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
- WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOI PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
- 14. 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILT2 & McCLIMENT, INC. AT (734) 468-4539 TO SCHEDUIE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN GITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL TEMS NOTED UNING REVEWOR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROFEN INSPECTION.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INCLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO ROPERLY GRADE THIS PROJECT TO THI FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEO WIN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REVOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

REFER TO GRADING NOTES ON SHEET C-5.0.

BENCHMARKS PS DERIVED

BM #305

OW ON A HYDRANT LOCATED APPROX. 36' SOUTH FROM THE THWEST BUILDING CORNER OF 3411 WALTON BLVD. ELEV. - 944.94

BM #302 TOP OF NORTHWEST BOLT OF A TRAFFIC SIGNAL POLE LOCATED AT THE NORTHWEST CORNER OF WALTON BLVD & SQUIRREL ROAD. (TAKEN FROM PEA JOB NO. 2016-0354, NOT SHOWN IN SURVEY AREA) ELEV. - 94,5 3











CAUTION!! IPLIED AS TO THE COMPLETENE HE CONTRACTOR SHALL BE EXC



CLIENT

CUNNINGHAM LIMP COMPANY SUITE 100

PROJECT TITLE FIVE POINT

CHURCH
EXPANSION
3411 WALTON BLVD AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS	
CITY COMMENTS	8-10-23
CITY COMMENTS	9-6-23

ORIGINAL ISSUE DATE: JULY 26, 2023

DRAWING TITLE

ENGINEERING PLAN - GRADING

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

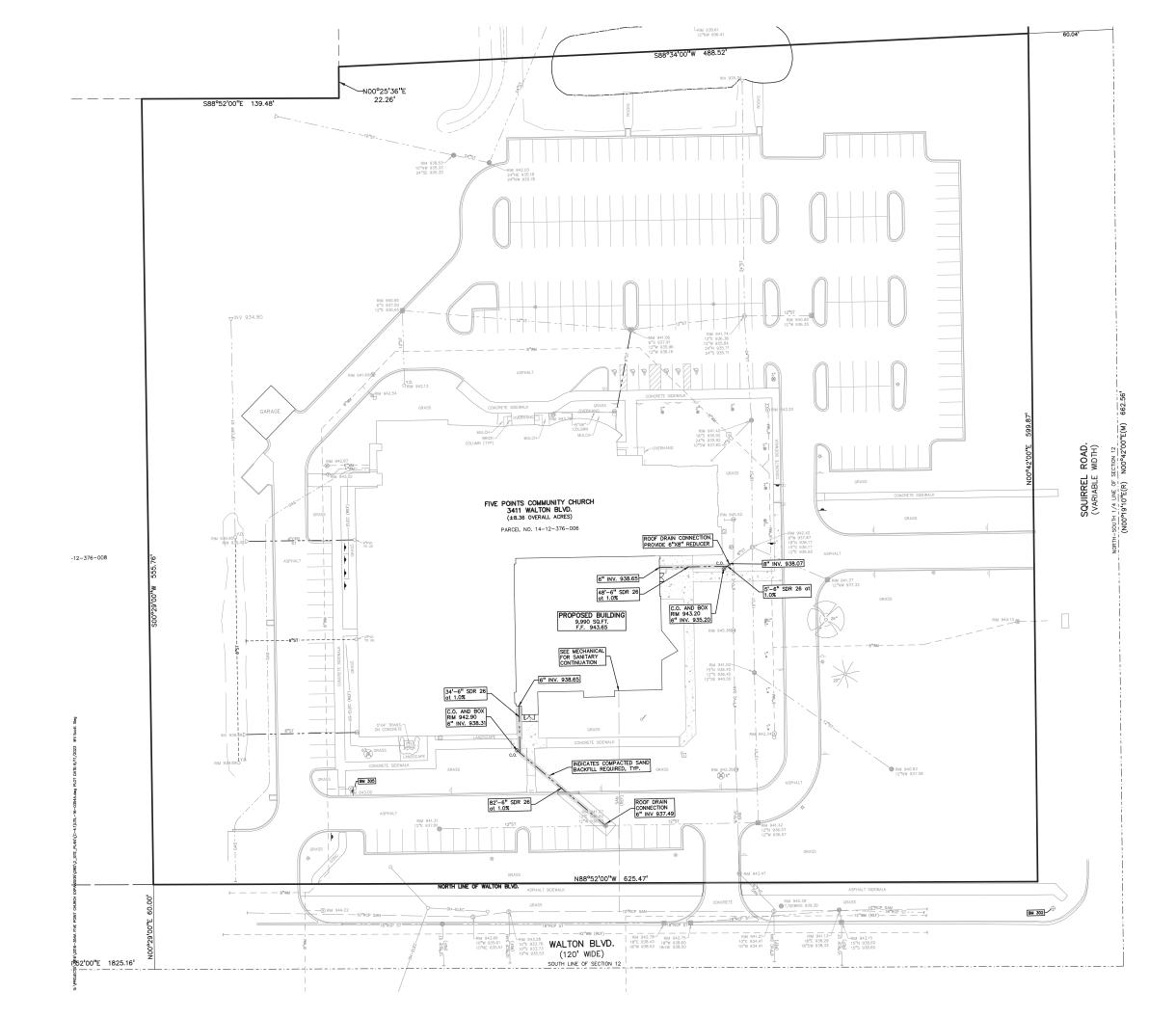
C-4.0

NOT FOR CONSTRUCTION

910

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662 E(M)



UTILITY LEGE	ND:
-OH-ELEC-W-O-	EX. OH. ELEC, POLE & GUY WIRE
-UG-CATV-	EX. U.G. CABLE TV & PEDESTAL
-UG-COMM-B-O-	EX, U.G. COMMUNICATION LINE, PEDESTAL & MANHO
-UG-ELEC-@EKE>-	EX. U.G. ELEC, MANHOLE, METER & HANDHOLE
	EX. GAS LINE
© ===	EX. GAS VALVE & GAS LINE MARKER
	EX, TRANSFORMER & IRRIGATION VALVE
	EX, WATER MAIN
V ~ @	EX, HYDRANT, GATE VALVE & POST INDICATOR VALV
0 8	EX. WATER VALVE BOX & SHUTOFF
	EX. SANITARY SEWER
@ S	EX. SANITARY CLEANOUT & MANHOLE
©	EX, COMBINED SEWER MANHOLE
	EX. STORM SEWER
0 0	EX. CLEANOUT & MANHOLE
	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
0 ^{Y.D.} ®	EX. YARD DRAIN & ROOF DRAIN
0	EX. UNIDENTIFIED STRUCTURE
	 PROPOSED WATER MAIN
₩ ⊗	PROPOSED HYDRANT AND GATE VALVE
	PROPOSED TAPPING SLEEVE, VALVE & WELL
+	PROPOSED POST INDICATOR VALVE
— —	 PROPOSED SANITARY SEWER
0 ^{C.0.} ●	PROPOSED SANITARY CLEANOUT & MANHOLE
	PROPOSED STORM SEWER
O ^{C.0.} ●	PROPOSED STORM SEWER CLEANOUT & MANHOLE
@ 🔳 O ^{Y.D.}	PROPOSED CATCH BASIN, INLET & YARD DRAIN

STORM SEWER QUANTITIES:

6" SDR 26 169 LF 6" X 8" REDUCER 1 EA. 6" CLEAN OUT AND BOX 2 EA.

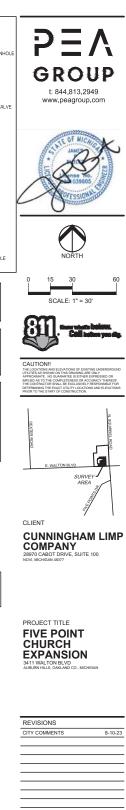
PREMIUM TRENCH BACKFILL NOTE: ALL UTILITES UNDER PAYEMENT OR WITHIN 3' OF THE EDG OF PAYEMENT (OR WITHIN THE 45' UNE OF INFLUENCE OF PAYEMENT) SHALL HAVE W.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).

STORM WATER MANAGEMENT NARRATIVE: SINCE THE STORM WATER MANAGEMENT SYSTEM, DECOMPONE OUTRILICTED IN 2017 WAS BON FOR THE ENTRE PROPERTY, NA DOTTONAL STORAGE HAS BEEN PROVIDED FOR THIS ADDITIONA. THE EXISTING STE DETENTION BASIN "C" VALUE WAS DESGRED AT 0.548 AND THE PROPOSED DETENTION BASIN "C" VALUE IS DESIGNED AT 0.548, REFERENCE PEA GROUP JOB DESIGNED AT 0.548, REFERENCE PEA GROUP JOB NUMBER 2016–354AND OHM JOB NUMBER 0120–15–1110

NOTE:

- CONTRACTOR SHALL VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.
- 2. 2.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL STORM SEWERS.
- ROOF DRAIN SHALL BE CONNECTED AT A STRUCTURE. NO DIRECT TAP CONNECTIONS ARE ALLOWED.
- 4. REFER TO UTILITY NOTES ON SHEET C-5.0

NOTE: CONTRACTOR SHALL VERIFY ALL QUANTITIES. ANY DEVAITIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.



ORIGINAL ISSUE DATE: JULY 26, 2023

DRAWING TITLE ENGINEERING PLAN-STORM

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

C-4.1

NOT FOR CONSTRUCTION

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, AND MUNICIPALITY STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
- ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF TO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE MILL BE REPARED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT IN A USE RESOLVED.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PROVE THAT PROVIDE IN ANY DISTEO OR RE-DOME, SHALL BE AT THE CONTRACTORS SUBJICT THE OF RECEIPTING FROM THE ROUTER A CONTROL FROM THE DUDGE OF RE-DUDGE STALL BE AT THE UNITACIDE RECEIPTING FROM THE SUBJICT ENTERED THESE FLANS AND/OR SPECIFICATIONS. THE STALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SÓ SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGNEER, OWNER, GITY AND STATE SHALL NOT BE HELD LABLE FOR ANY CLAIMS RESULTING RAGM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- . THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNT DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
- . IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS, ALL SUCH ADJUSTNENTS SHALL BE INCOENTAL TO THE JOB AND WILL NOT BE PAD FOR SEPARATELY.

PAVING NOTES:

- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
- CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
- ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
- ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
 CONCRETE PAVEMENT JOINTNG UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION;
 WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILLER BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AN IN BETMEEN POUNDS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8 DOWELS EVERY 30' CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8 DOWELS EVERY 30' CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED CONCRETE (CONSTRUCTION JOINT), ALTERNATE DOMESS JEES AND SPACING MUST BE APPROVED THE ENGINEER PRORD TO COMMENCING WORK AND VIA THE 5.3. WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED DOEMALK OR CURRING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. ALTERNATE DOMESSIES AND SPACING MUST BE APPROVED THE ENGINEER PROR TO COMMENCING WORK AND VIA THE 5.4. CONTROL LONGTOURIAL AND/OR TRANSVERSE JUINTS SHALL BE FLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PRAAMETERS: 5.4.1. B-INCH THICK CONCRETE PAVEMENT: 12' X 12' 5.4.2. B-INCH THICK CONCRETE PAVEMENT: 15' X 12' 5.5.1. RECULAR-SHAPED PANELS MAY REQUIRE THE USS OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITAL PROCESS. 5.6. IF A JOINT FLAN. IN OTH PROVIDE IN THE FLANS, THE CONTRACTOR SHALLS MOUNT AND VIA THE SUBMITAL PROCESS. 5.6. IF A JOINT PLAN. IN OTH PROVIDE IN THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITAL PROCESS. 5.6. IF A JOINT FLAN. IN OTH PROVIDE IN THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITAL PROCESS. 5.6. IF A JOINT FLAN. IN OTH PROVIDE IN THE ENGINEER FROM THE CONTROL MOUNT AND VIA THE SUBMITAL PROCESS. 5.6. IF A JOINT FLAN. IN OTH PROVIDE IN THE ENGINEER FROM THE CONTROL MORK AND VIA THE SUBMITAL PROCESS.
 CONDRETE CURBING, OUTRIN

- COMMENCING WORK AND VIA THE SUBMITTAL PROCESS. CONMENCING WORK AND VIA THE SUBMITTAL PROCESS. CONNECTED LINEING JOINTANDE UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION 6.1.3 PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING. 6.1.3 PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING. 6.1.3 PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING. 6.1.3.3 PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING. 6.1.3.3. AT THE END OF RADIUS AT OPPOSITE RUNS IN A CURBED LANDSCAPE ISLAND 6.2. JOINTS WHEN TRED'L CONCRETE FAVEWENT 6.2.1 PLACE CONTRACTION JOINTS OF OTHER SHOWS IN A CURBED CANDSCAPE ISLAND 6.2.2 PLACE CONTRACTION JOINTS OF CITCATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING. 6.2.2 ALC CURBENT AND CONCRETE FAVEWENT 6.3.1. PLACE CONTRACTION JOINTS OF CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING. 6.3.2. A CURBE AND OUTTER AND CONCRETE FAVEWENT 6.3.1. RETURNED POUNS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT). 6.3.1. CARRY THE REBAR CONTINUOUSLY BETWEEN POUNS 6.3.2. A CURBE AND LONG ENOUGH TO CARRY CONTINUOUSLY, THEN THE TWO PIECES OF REBAR PER THE LATEST MODT SPECIFICATIONS

GENERAL GRADING AND EARTHWORK NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.

- 2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE COUNTY PRIOR TO CONSTRUCTION.
- 5. ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPOR
- 3. REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
- THE DETENTION BASIN SIDE SLOPES AND ALL SLOPE EXCEEDING 1:4 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUTABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY. THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
- . ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
- THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THA' CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- 2. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL COMDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW PROPOSED SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
- . SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTN OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
- 14. ANY SUBGRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB
- ANY SPECIALITY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY DO NOT STATE FOR THE CONTRACTO SHALL SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW BUT THE CONTRACTOR REQUESTS TO BE REVIEWED. THE CONTRACTOR'S REQUEST FOR REVIEW MUST BE IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING THE INFORMATION.

. STORM WATER MANAGEMENT UNDERGROUND DETENTION SYSTEM MATERIAL AND SHOP DRAWINGS DEPICTING THE LAYOUT OF THE SYSTEM

3. PAVEMENT AGGREGATE BASE MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS O THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER

9. PAVEMENT UNDERDRAIN MATERIAL AND BACKFILL WITH ALL BACKFILL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER

D. PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW BY THE ENGINEER MUST FOLLOW THE CURRENT MODT REVIEW CHECKLISTS AS SUMMARIZED BELOW AND ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS AFPROVED OTHERWISE BY THE ENGINEER: •8.1. CONCRETE MIX DESIGN REVIEW CHECKLIST (FORM 2000) •8.2. SUPERAVE MIX DESIGN (HECKLIST (FORM 1862))

- TRENCH DRAIN MATERIAL AND SHOP DRAWING DEPICTING THE LAYOUT OF THE SYSTEM

- .. RETAINING WALL MATERIAL AND STRUCTURAL CALCULATIONS

GENERAL UTILITY NOTES:

STORM SEWER NOTES:

WATER MAIN NOTES:

SANITARY SEWER NOTES:

CONSTRUCTION MATERIAL SUBMITTALS

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

STORM AND SANITARY SEWER PIPING INCLUDING JOINT

WATER DISTRIBUTION SYSTEM PIPING INCLUDING JOINTS

WATER DISTRIBUTION SYSTEM STRUCTURE FRAME AND COVERS

STORM AND SANITARY SEWER STRUCTURE FRAME AND COVERS INCLUDING CLEAN OUTS

3. STORM WATER MANAGEMENT OUTLET CONTROL STRUCTURES INCLUDING COVERS OR GRATES

4. STORM WATER MANAGEMENT OUTLET SEDIMENTATION BASIN RISERS INCLUDING GRATES

15. STORM WATER MANAGEMENT MECHANICAL PRE-TREATMENT UNITS INCLUDING COVERS

STORM AND SANITARY SEWER STRUCTURES

WATER DISTRIBUTION SYSTEM STRUCTURES

10. WATER DISTRIBUTION SYSTEM SHUT OFF BOXES

. WATER DISTRIBUTION SYSTEM FIRE HYDRANTS

16. STORM WATER MANAGEMENT OIL/GREASE SEPARATORS

•8.3. MARSHALL MIX DESIGN CHECKLIST (FORM 1849) 1. SITE FENCING AND GATES INCLUDING FOOTINGS 22. SITE RAILINGS INCLUDING FOOTING OR EMBEDMENTS

12. WATER DISTRIBUTION SYSTEM GATE VALVES

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY.

ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.

WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.

THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESION ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.

THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.

PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAR.

ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).

ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP P PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENOTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5') DECREE BENDS, PROPERLY ANCHORED.

MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.

NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.

WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.

ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.

THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION DEPARTMENT AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.

DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.

ALL SANITARY SEWER 8" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2680) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.

SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.

UNLESS REQUIRED OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PLANS, FOR REVEW BY THE ENGINEER, UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.

UTILITY TRENCH BACKFILL MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER

RIP RAP MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER

ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.

PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.

JOINTS FOR P.V.C. PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.

ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE

ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.

ALL FIRE HYDRANTS SHALL BE EJIW #5BR MODEL #250 PER CITY STANDARDS

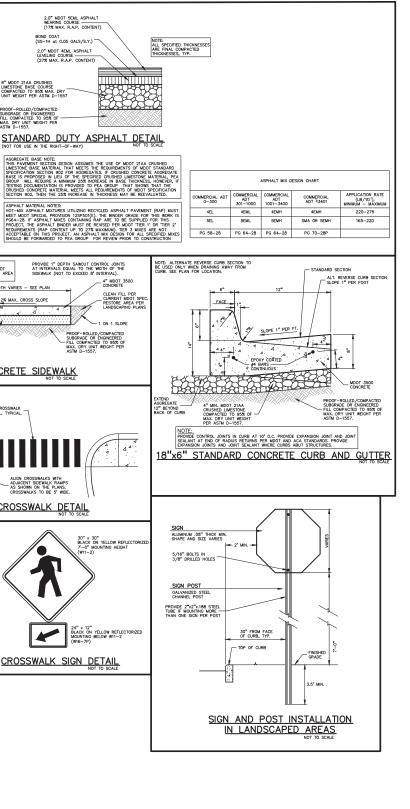
ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.

ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TY

ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.

ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.

- 23. ANY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:



2.0" MDOT 5EML ASPHALT WEARING COURSE (17% MAX. R.A.P. CONTENT)

BOND COAT (SS-1H at 0.05 GALS/S.Y.)

2.0" MDOT 4EML ASPHALT LEVELING COURSE (27% MAX, R.A.P. CONTENT

PROOF-ROLLED/COMPACTE SUBGRADE OR ENGINEERED FILL COMPACTED TO 95% C MAX. DRY UNIT WEIGHT PE ASTM D-1557.

WIDTH VARIES - SEE PLAN

CONCRETE SIDEWALK

ADJACENT SIDEWALK RAMPS AS SHOWN ON THE PLANS. CROSSWALKS TO BE 5' WIDE

CROSSWALK SIGN DETAIL

STRIPED CROSSWALK DETAIL

18" WIDE WHITE CROSSWALK STRIPING, 48" O.C., TYPICAL.

NOTE: CROSS-SLOPE OF SIDEWALK MUST NOT EXCEED 2.0%, EXCEPT IN TRANSITION AREA MATCHING INTO EXISTING SIDEWALK

MDOT CLASS II SAND BASE URSE COMPACTED TO 95% _ XIMUM DRY UNIT WEIGHT R ASTM D-1557

44

AGOREGATE BASE NOTE: THIS PAYWENT SECTION DESION ASSUMES TH LIMESTONE BASE MATERIAL THAT METIS THE SPECIFICATION SECTION 002 FOR AGREGATES BASE IS PROVIDED IN LEU OT THE SPECIFIE OF THE ADDRESS OF THE SPECIFIE OF THE ADDRESS OF THE SPECIFIE OF THE ADDRESS OF THE ADDRESS OF TO PE-CRUSHED CONCERT MATERIAL METS ALL RE SECTION 902, THEN THE 25% INCREASE IN TO

PROVIDE 1" DEPTH SAWCUT CONTROL JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK (NOT TO EXCEED 8' INTERVAL)

CLEAN FILL CURRENT N RESTORE A

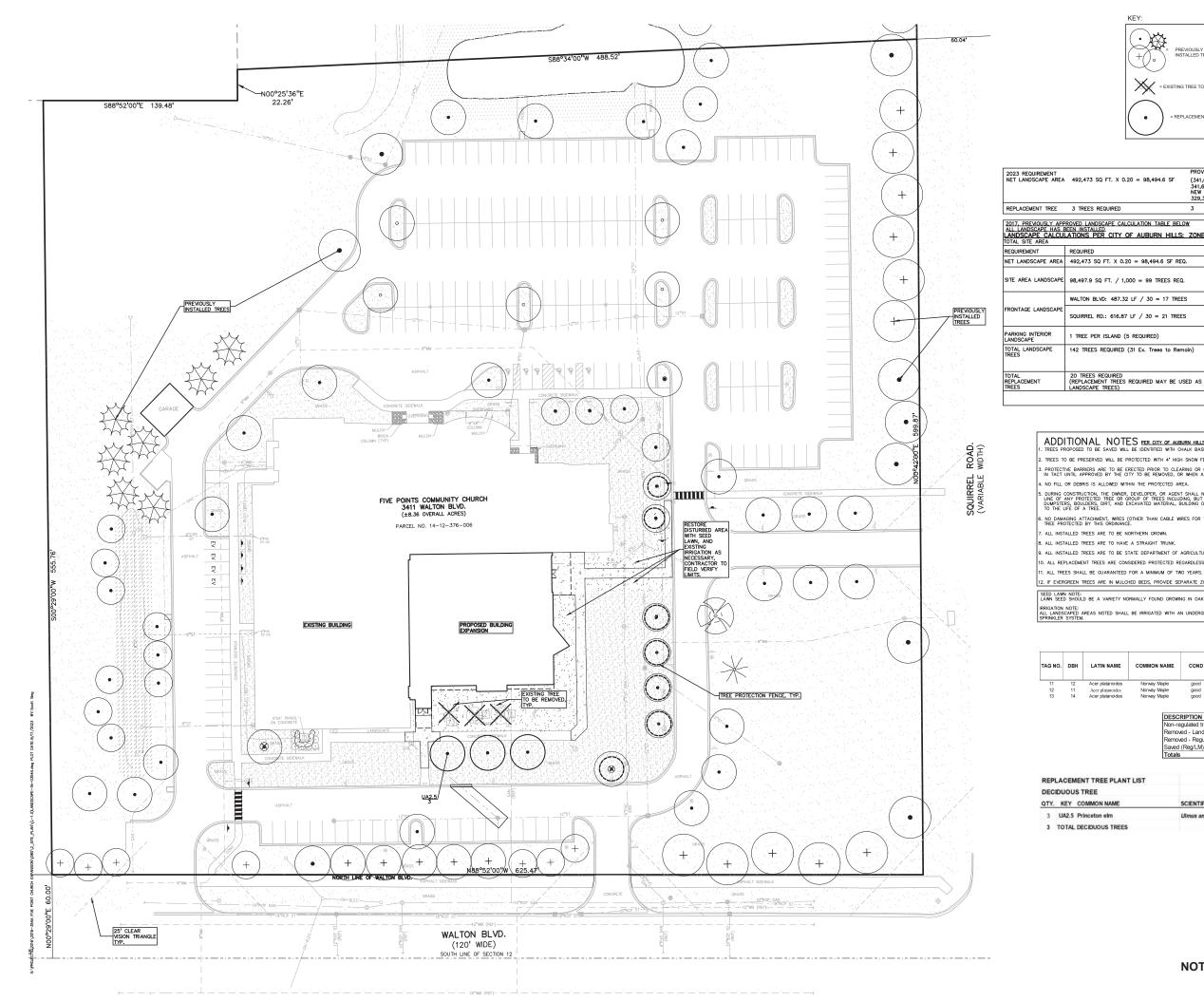
PROOF-ROLLED/COMPACTED SUBGRADE OR ENGINEERED - FILL COMPACTED TO 95% OF MAX, DRY UNIT WEIGHT PER ASTM D-1557.

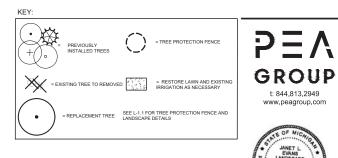


PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

C-5.0

NOT FOR CONSTRUCTION





)	
2,473 SQ FT. X 0.20 = 98,494.6 SF	(341,670 SF PROVIDED PREVIOUSLY 2017(69.4%)) 341,670 SF PROVIDED PREVIOUSLY 2017 - 9,990 SF NEW BLDG EXP 2338 SF NEW WALKS = 329,342 SF PROVIDED 2023 (66.9%)	
REES REQUIRED	3	
D LANDSCAPE CALCULATION TABLE BELOW	¥.	
NS PER CITY OF AUBURN HILLS:		
		11.306 ACRES NET AND GROSS
JIRED		PROVIDED
473 SQ FT. X 0.20 = 98,494.6 SF REQ.		341,670 SF PROVIDED (69.4%)
97.9 SQ FT. / 1,000 = 99 TREES REQ.		31 EX. REGULATED TREES TO REMAIN (West Wooded area to remain—not included) 68 PROVIDED TREES
TON BLVD: 487.32 LF / 30 = 17 TREES		17 TREES PROVIDED
RREL RD.: 616.87 LF / 30 = 21 TREES		9 EX. REGULATED TREES TO REMAIN (NO CREDITS PER CITY COMMENT 3.317.) 12 PROVIDED TREES
EE PER ISLAND (5 REQUIRED)		5 PROVIDED
TREES REQUIRED (31 Ex. Trees to Remo	,	102 TREES PROVIDED + 40 EXISTING TREES TO REMAIN (31 EX. REGULATED SITE AREA TREES +9 EX. REGULATED FRONTAGE TREES, SEE ABOVE)
TREES REQUIRED 'LACEMENT TREES REQUIRED MAY BE USE DSCAPE TREES)	D AS	20
	102	TOTAL TREES PREVIOUSLY PROVIDED, 2017





CAUTION!! WPLIED AS TO THE COMPLETENES HF CONTRACTOR SHALL BE EXC!



CUNNINGHAM LIMP COMPANY

8970 CABOT DRI

PROJECT TITLE

3411 WAL

REVISIONS

FIVE POINT

CHURCH EXPANSION

SUITE 100

ADDITIONAL NOTES PER CITY OF AUBURN HILS I. TREES PROPOSED TO BE SAVED WILL BE IDENTIFIED WITH CHALK BASE FLUORESCENT ORAGE PAINT, OR RED FLAGGING TAPE TREES TO BE PRESERVED WILL BE PROTECTED WITH 4' HIGH SNOW FENCE WITH METAL 'T'-POSTS EVERY 5'

PROTECTIVE BARRIERS ARE TO BE ERECTED PRIOR TO CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMA IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED. NO FILL OR DEBRIS IS ALLOWED WITHIN THE PROTECTED AREA.

DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY PROTECTED THEE OR GROUP OF THESE INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, BOULDERS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFL TO THE LIFE OF A TREE.

NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE. ALL INSTALLED TREES ARE TO BE NORTHERN GROWN.

ALL INSTALLED TREES ARE TO HAVE A STRAIGHT TRUNK

. ALL INSTALLED TREES ARE TO BE STATE DEPARTMENT OF AGRICULTURE NURSERY GRADE NO. 1 OR BETTER.

10. ALL REPLACEMENT TREES ARE CONSIDERED PROTECTED REGARDLESS OF SIZE.

12. IF EVERGREEN TREES ARE IN MULCHED BEDS, PROVIDE SEPARATE ZONE FROM LAWN, AVOID OVERHEAD SPRAY.

SEED LAWN NOTE: LAWN SEED SHOULD BE A VARIETY NORMALLY FOUND GROWING IN OAKLAND COUNTY.

IRRIGATION NOTE: ALL LANDSCAPED AREAS NOTED SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM.

LATIN NAME	COMMON NAME	COND	COMMENT	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)
Acer platanoides	Norway Maple	good		REG./REPLACE	-	х
Acer platanoides	Norway Maple	good		REG./REPLACE	-	х
Acer platanoides	Norway Maple	good		REG./REPLACE	-	х

DESCRIPTION	SURVEYED	D TREES	REPLACEMENT TRE
Non-regulated trees		0	0
Removed - Landmark 1	rees (24")	0	0
Removed - Regulated 1	rees	3	3
Saved (Reg/LM)		0	
Totals		3	3

IT TREE PLANT LIST			
REE			
DMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
inceton elm	Ulmus americana 'Princeton'	2.5" Cal.	B&B
CIDUOUS TREES			

CITY COMMENTS	8-10-23

ORIGINAL ISSUE DATE: JULY 26, 2023

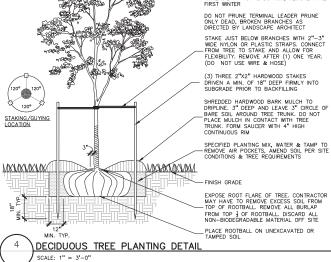
DRAWING TITLE PRELIMINARY LANDSCAPE PLAN

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	BZ
DES.	JLE
DRAWING NUMBER:	

L-1.0

NOT FOR CONSTRUCTION





GENERAL PLANTING NOTES:

LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.

2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, DAS, TELEPHONE, CABLE TELEMISON MAY BE LOCATED BY CALLING MISS DIG 1-BOO-482-7171. May DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL REALTED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.

3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. ORADE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK. 5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS. 6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.

7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.

8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.

ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.

10.ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.

13.IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS. 14.ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.

16.SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

17.FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.

15.ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.

11.NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.

12.ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.

UNDERSTOR

'T' - POLES @ 5' O.C.

SCALE: 1'' = 3' - 0''

PROTECTIVE FENCING

(3) THREE 2"X2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

SECURE TREE WRAP WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM, REMOVE AFTER FIRST WINTER

PLANT SO THAT THE TREE'S ROOT FLARE (TRUNK FLARE) IS FLUSH WITH GRADE OR 1-2" HIGHER IN POORLY DRAIN SOIL.

SCALE: 1" = 1'-0"

SECTION 138-12.109 MAINTENANCE:

AUBURN HILLS TREE PROTECTION NOTE NOT TO SCALE

DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE FENCE LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMIETO TO, THE STORAGE OF ECUPWENT, DUMPSTERS, BOULDERS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE. NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.







CUNNINGHAM LIMP COMPANY

PER CITY OF AUBURN HILLS:

PER CITY OF AUBURN HILLS:

identify on site all trees or areas of trees which are being proposed to be preserved with fluorescent orange spray paint (chalk base) or by Red Flagging tape. ERECT BARRIERS OF FOUR (4) FOOT HIGH FENCING STAKED WITH METAL "T-POSTS" FIVE (5) FEET ON CENTER OF ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN. PROTECTIVE BARRIERS ARE TO BE ERECTED PRIOR TO ANY CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED. KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER.

THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING AS FOLLOWS:

LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.

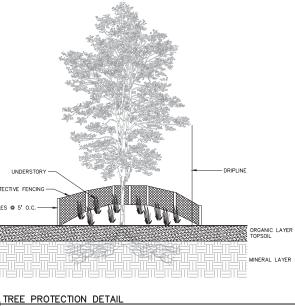
PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD C DISEASED BRANCHES, SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHEVE THEIR APPROVED PURPOSE.

A LATING TO AUMILY. THEIR APPRIVED PURPOSE. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS ATTER IT DIES OR IN THE NEXT PLANTING SEASON, FOR DECODUOUS PIRST, FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECODUOUS PLANTS SHALL BE ENVERN MARCH 1 AND JONG OCTOBER I UNTIL THE PREPARED SOLIC BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN FUNTS SHALL BE BETWEEN MARCH 1 AND JONE 1. PLANT MATERIAL INSTALLED TO MER ASE DEFO ON DISEASED MATERIAL SHALL BE AS CLOSE A NOTIFY PROPERTY OWNERS OF THE MATERIAL THE AD AMAGED, OR DISEASED MATERIAL

THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, JAVIR FEVISIONS TO OR REDWOY OF PLAN MATERIALS, OR NON-COMPULANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.109 WILL PLACE THE PARCEL IN NON CONFORMITY WIT THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.

IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

AUBURN HILLS MAINTENANCE NOTES



NOT FOR CONSTRUCTION



PROJECT TITLE

CLIENT









ORIGINAL ISSUE DATE:

JULY 26, 2023

DRAWING TITLE

LANDSCAPE DETAILS

16-0354A

JAH

BZ

JLE

PEA JOB NO.

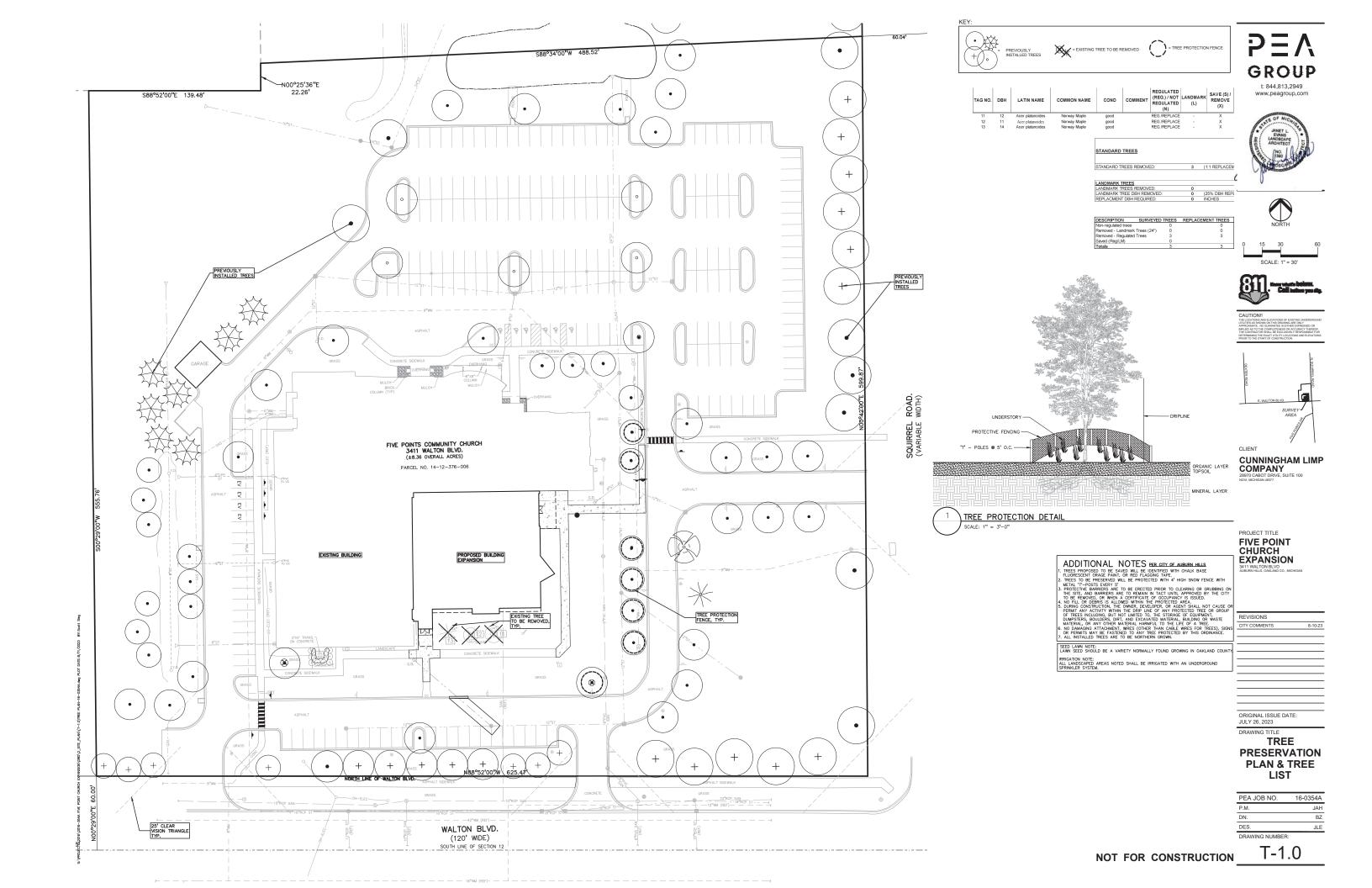
DRAWING NUMBER

L-1.1

P.M.

DN.

DES.







	PROJECT SUMMARY	BUILDING DATA CONTINUED
	PROJECT: 5 POINTS COMMUNITY CHURCH ADDITION DESCRIPTION: A SINGLE STORY 9,990 GSF (9,470 USF) BUILDING ADJACENT TO AN EXISTING 25,582 GSF CHURCH BUILDING. THE NEW CONSTRUCTION WILL INCLUDE A 362 SEAT SANCTUARY FOR USE DURING CHURCH SERVICES AS WELL AS ASSOCIATED SUPPORT AND GATHERING SPACES. THE EXISTING TWO-STORY SANCTUARY AND GATHERING SPACE WILL BE DEMOLISHED AS PART OF THIS PROJECT.	USE: A-3 ASSEMBLY OCCUPANT LOAD MBC 1004, 1004.9 TABLE 1004.11: 362 SEAT SANCTUARY. THE GATHERING COMMONS AREA AND SANCTUA THEREFORE, THE LARGER OCCUPANCY LOAD OF THE SANCTUARY DEFIN BUILDING EGRESS: MAXIMUM TRAVEL DISTANCE ALLOWED 250' (MBC 1029,7) PROPOSED MAXIMUM TRAVEL DISTANCE - 105'-8" MAXIMUM COMMON PATH OF EGRESS TRAVEL - 75' (MBC 1006.3.2(2))
	BUILDING DATA	MAXIMUM COMMON PATH OF EGRESS TRAVEL - 75 (MBC 1006.3.2(2)) PROPOSED MAXIMUM COMMON PATH - 6'-2" NUMBER OF EXITS MBC 1015 TABLE 1015.1, 1016.2, 1019.1, 1019.2 3 EXITS PROVDED
	CODE COMPLIANCE 2015 MICHIGAN BUILDING CODE (MBC) 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015 MICHIGAN MECHABILITATION CODE 2015 MICHIGAN MECHANICAL CODE 2018 MICHIGAN PLUMBING CODE 2017 MICHIGAN ELECTRICAL CODE BUILDING CODE SUMMARY A NEW BUILDING IS BEING CONSTRUCTED ADJACENT TO AN EXISTING BUILDING WITH A FIRE WALL SEPARATING THE TWO STRUCTURES, CREATING 2 SEPARATE BUILDINGS. MRCEB 202 DEFINES "AN EXTENSION OR INCREASE IN FLOOR AREA, NUMBER OF STORIES OR HEIGHT, THEREFORE THIS PROJECT IS NOT AN ADDITION. (MRCEB 1102.2) THIS OCCUPANCY HEIGHT	REQUIRED FIRE RESISTANCE OF BUILDING ELEMENTS MBC 508, CHAPTER TYPE 5B CONSTRUCTION PRIMARY STRUCTURAL FRAME 0 HR. BEARING WALLS EXTERIOR EXTERIOR 0 HR. EXTERIOR NON-BEARING WALLS 0 HR. EXTERIOR NON-BEARING WALLS 0 HR. FLOOR CONSTRUCTION & 0 HR. SECONDARY MEMBERS ROOF CONSTRUCTION & ROOF CONSTRUCTION & 0 HR. SECONDARY MEMBERS PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY OR MAX. PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY OR MAX. A SPACES REQUIRING FIRE RESISTANCE RATING SEPARATION MBC 508 AN SPACES
	AND AREA OF THE EXISTING BUILDING REMAINS UNCHANGED. THE NEW BUILDING HAS BEEN DESIGNED UNDER THE REQUIREMENTS OF THE MBC 2015.	ROOF COVERING MATERIAL MBC TABLE 1505.1 CLASS B ROOF ASSEMBLY FIRE RESISTANCE RATING FOR EXTERIOR WALLS BASED ON DISTANCE MBC TABLE 602
	CHANGES TO THE EXISTING BUILDING HAVE BEEN DESIGNED UNDER THE <u>WORK</u> AREA COMPLIANCE METHOD OF THE MRCEB 2015 EXISTING BUILDING CODE COMPLIANCE	REQUIRED PLUMBING FIXTURES MPC 403 TABLE 403.1 2009 MICHIGAN UNIFORM ENERGY CODE (CHAPTER 5) & ANSI/ASHRAE/
	MRCEB - WORK AREA COMPLIANCE METHOD - LEVEL 2 EXISTING STRUCTURE OCCUPIED PRIOR TO THE ADOPTION OF THIS CODE (MRCEB 101.4.2).	BUILDING ENVELOPE REQUIREMENTS FOR CLIMATE ZONE 5 (TABLE 5.5-5 ROOFS ABOVE DECK R-20.0 C.I. METAL BUILDING R-19.0 ATTIC AND OTHER R-38.0 WALLS ABOVE-GRADE R-38.0
BUILDING LIGHTING	EXISTING HEIGHT AND AREA REQUIREMENTS EXISTING BUILDING PRIOR TO DEMOLITION - 47,490 SF EXISTING BUILDING TO BE DEMOLISHED - 11,700 SF (2-STORIES) EXISTING BUILDING AFTER DEMOLITION - 35,790 SF 2 HOUR FIRE WALL SEPARATES NEW AND EXISTING BUILDING.	MASS R-11.4 C.I. METAL BUILDING R-13.0 STEEL-FRAMED R-13.0 + R-7.5 C.I. WOOD-FRAMED AND OTHER R-13.0 + R-7.5 C.I. WALLS BELOW-GRADE R-13.0 + R-3.8 C.I. BELOW GRADE WALLS R-2.6 C.I.
WALL MOUNTED LUMINAIRE AS INDICATED ON DRAWINGS SHIELDED LIGHT SOURCE, DIRECTED AWAY FROM ADJACENT PROPERTIES EXTERIOR WALL	EXISTING USE & OCCUPANCY CLASSIFICATION EXISTING STRUCTURE OCCUPIED PRIOR TO THE ADOPTION OF THIS CODE (MRCEB 101.4.2) EXISTING CONSTRUCTION EXISTING MASONRY AND NON-COMBUSTIBLE MATERIALS EXISTING BUILDING ECRESS MAXIMUM TRAVEL DISTANCE ALLOWED 200' (MBC 1029,7) EXISTING MAXIMUM TRAVEL DISTANCE – 173' EXISTING FIRE SUPPRESSION NON-SUPPRESSED NEW CONSTRUCTION CODE COMPLIANCE	BELUM GRADE WALLS R-7.5 C.I. UNHEATED NIR VERTICAL GLAZING CURTAINWALL/STREFRONT U-0.50, SHGC-0.40 METAL FRAMING (ENTRANCE DOOR) U-0.85, SHGC-0.40 B B EXISTING TO
WALL MOUNTED LIGHT	NEW CONSTRUCTION BUILDING AREA: 9,990 SF CONSTRUCTION TYPE VB NEW CONSTRUCTION - FULLY SUPPRESSED PER NFPA 13. SUPPRESSION TO BE DESIGN-BUILD TO MEET ALL LOCAL AND STATE CODES. FIRE ALARMS MBC 907	2 HOUR FIRE WALL
BUILDING LIGHTING SCHEDULE LI WALL-MOUNTED LIGHT WDGE3 LED WALL MOUNT LUN	HEIGHT_STORIES_AND_AREAS_MBC_CHAPTER_5 NON-SEPARATED_MIXED_USE - A3_MOST_RESTRICTIVE HEIGHT_MBC_TABLE_504.3 60' ALLOWABLE 32' PROPOSED BUILDING_COMPLIES STORIES_ 2 STORIES_ALLOWABLE (SPRINKLED) 1 STORY_PROVIDED (SPRINKLED)	A-3 (MULTI-PURPOSE ROOM) EXISTING ST TO BE DEMO
L2 CEILING-MOUNTED DOWNLIGHT OLCFM LED OUTDOOR CEILING	BUILDING COMPLIES	EXISTING TO REMAIN 19,905 SF RENOVATION SF
L3 EXTERIOR WALL SCONCE AVATAR OW1315 OUTDOOR A	CCENT BAR	
L4 WALL-MOUNTED WASH LIGHT (LIGHTING UNDERSIDE OF ARCH) ECHO VELOCITY 3.5 LED EXT EEW11920	ERIOR WALL	SANTU, VON-S USE 9,

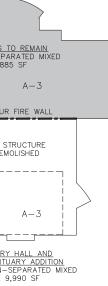
ARY ARE NOT TO BE USED FOR ASSEMBLY SIMULTANEOUSLY. ES THE MAXIMUM.

7, 1020, 1022, 3006.4 AND TABLES 601, 1017.1

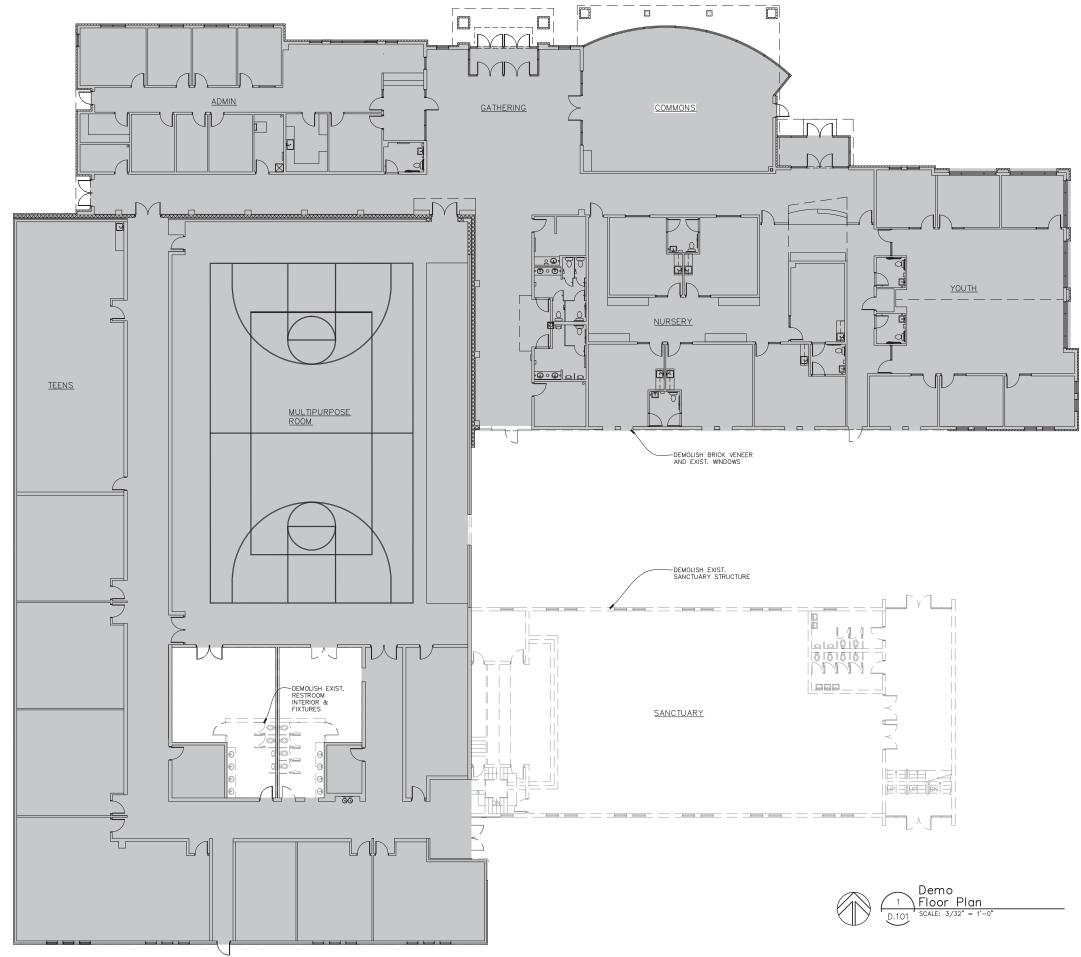
10' SEPARATION)

REA OF EXTERIOR WALL OPENINGS MBC 705.8 TABLE 705. D TABEL 508.4

/IESNA STANDARD 90.1-2007









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ARCHITECTS INC.

303 E. THIRD STREET SUITE 100 ROCHESTER, MI 48307 248.814.9160

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PROJECT 5 Points Commun. Church Master Plan 3411 E. Walton Auburn Hills, MI

DATE ISSUED	ISSUED FOR
DATE ISSUED	ISSUED FOR
08.10.23	Site Plan Approval
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DRAWN	AKA
CHECKED	CA
APPROVED	CA

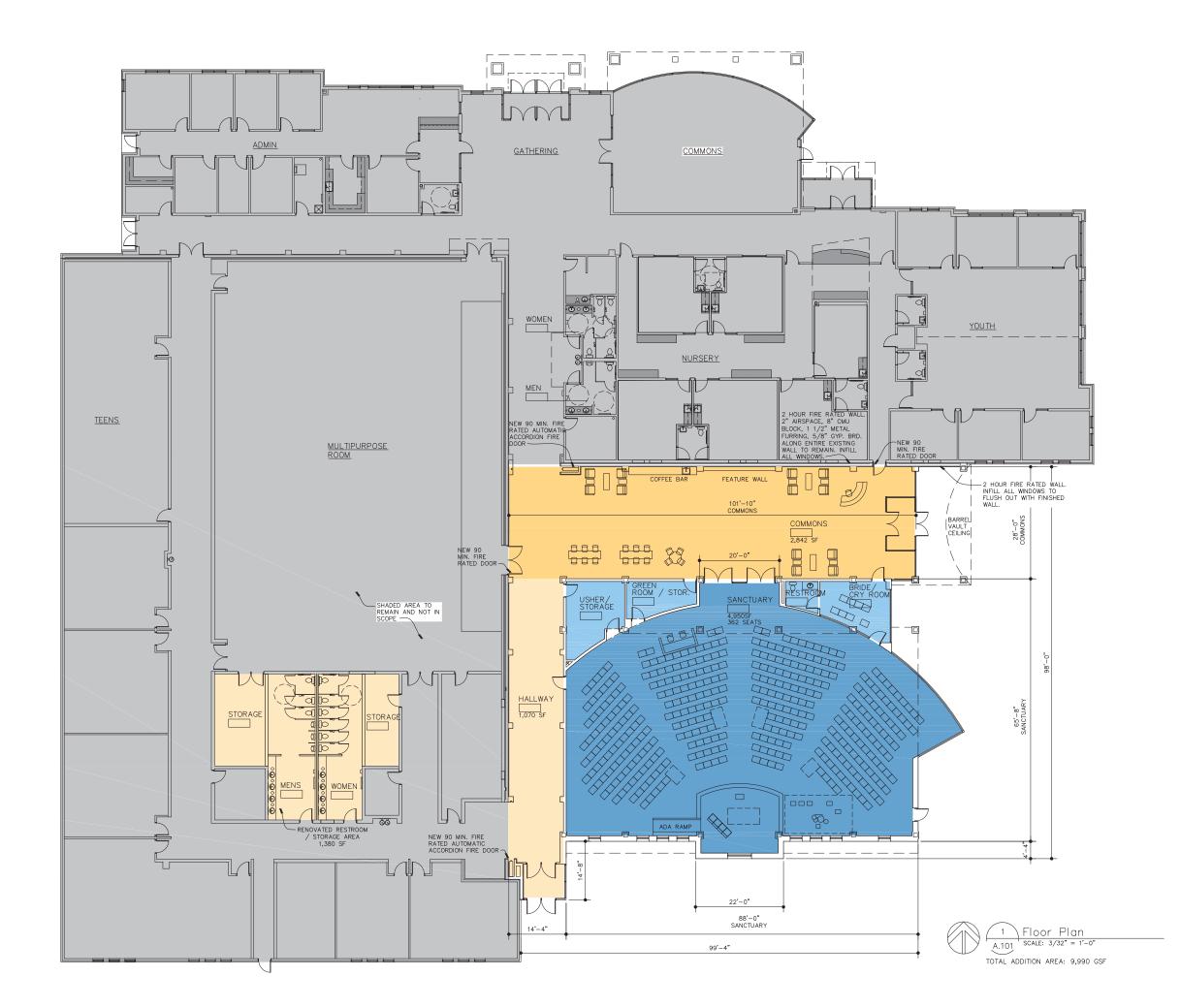
SHEET

1st Floor Demolition Plan scale as shown

FILE NUMBER

2302

SHEET NUMBER D.101





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5 Points Commun. Churc Master Plan 3411 E. Walton Auburn Hills, MI

DATE ISSUED	ISSUED FOR
07.26.23	Site Plan Approval
08.10.23	Site Plan Approval
00.10.25	
•	. 1
•	. /
	- I
	. /
DRAWN	AKA
DRAWN	ANA
CHECKED	CA
APPROVED	CA

SHEET Phase II Floor Plan

scale as shown

.

FILE NUMBER 2302

SHEET NUMBER

A.101



PRE-FINISHED METAL COPING BRICK VENEER -PRE-FINISHED METAL OVERHANG -WINDOW/DOOR SYSTEM

L2

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AUGER KLEIN ALLER **ARCHITECTS INC.**

303 E. THIRD STREET SUITE 100 ROCHESTER, MI 48307 248.814.9160

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PROJECT 5 Points Commun. Churc Master Plan 3411 E. Walton Auburn Hills, MI

DATE ISSUED	ISSUED FOR
07.26.23	Site Plan Approval
08.10.23	Site Plan Approval
	. /
	. 1
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	• 1
	. /
DRAWN	·
CHECKED	
APPROVED	

SHEET Building Elevations

scale as shown

FILE NUMBER





T.O. FIN. FLR. ELEV. = 100' - 0''

∫ 1 ∖ South Elevation A.201 SCALE: 3/32" = 1'-0"

HH

88







CITY OF AUBURN HILLS PLANNING COMMISSION AGENDA

MEETING DATE: SEPTEMBER 13, 2023

AGENDA ITEM NO. 5b.

COMMUNITY DEVELOPMENT

To:Chairperson Greg Ouellette and the Planning CommissionFrom:Steven J. Cohen, AICP, Director of Community Development; and Shawn Keenan, AICP,
City Planner

Submitted: September 8, 2023

Subject: <u>Pacific and Taylor - Light Industrial Speculative Building (aka Pacific Drive Industrial)</u> Public Hearing/Motion – Recommendation to City Council for Site Plan and Tree Removal Permit.

INTRODUCTION

This is a request from Pacific Drive Ventures, LLC, to construct a 47,728 sq. ft. Light Industrial building at the northeast corner of Pacific Drive and Taylor Road. The 3.7-acre parcel is within the Metro North Technology Park and zoned I-1, Light Industrial.

Approximately 4,880 sq. ft. of the building will be used as office space and 42,848 sq. ft. will be utilized as manufacturing space.

On February 27, 2017, the City Council approved plans for a 50,000 sq. ft. light industrial building; however, that project never moved forward because the previous land owner could not secure a tenant.

The applicant will be the developer of the project. Once completed, they intend to lease the building to an industrial business compatible with the uses specified in the City's Zoning Ordinance Light Industrial district.



Aerial View of the Site



Rendering of the proposed building looking north from Taylor Road

INTRODUCTION cont.

The cost to construct the proposed building is estimated at \$4 million. Pacific Drive Ventures, LLC goal is to begin construction in the Spring 2024, with completion expected to occur in the Summer 2025.



Illustrated Site Plan

STAFF RECOMMENDATION

Please be advised that this project has been reviewed by the <u>City's Administrative Review Team</u> and has received a recommendation for approval.

We recommend <u>Conditional Approval</u> of the <u>Site Plan</u> and <u>Tree Removal Permit</u> and offer the following discretionary findings of fact:

- 1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
- 2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
 - a) All requirements and standards of the Zoning Ordinance, and other City Ordinances, can be met.
 - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to Pacific Drive.
 - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
 - d) A satisfactory and harmonious relationship will exist between the proposed development and surrounding area.
 - e) The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel, or the adjacent area.

STAFF RECOMMENDATION cont.

- 3. Based upon the project's total square footage, 82 parking spaces are required, and 103 parking spaces are depicted.
- 4. The parking layout meets minimum requirements, and barrier-free parking spaces are provided (five spaces are required and five spaces are provided). One space is van accessible.
- 5. Building and parking setback requirements will be met.
- 6. Greenbelts will be provided.
- 7. Landscape requirements will be met, and calculations have been submitted.
- 8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wallmounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. Light poles are designed to be 25 feet in height from the finished grade.
- 9. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
- 10. A note indicates that parking spaces shall be double-striped.
- 11. Ground-mounted and roof-mounted mechanical equipment will be screened.
- 12. A note indicates that there will be no outside storage allowed, which includes pallet storage, overnight vehicles, or trailer storage.
- 13. An eight-foot-wide pathway currently exists along Taylor Road. A sidewalk connection between the building and the pathway was examined; however, the existing grades make a connection impractical.
- 14. A Tree Removal Permit is required 36 replacement trees are required, and 36 replacement trees are proposed.
- 15. The developer has agreed to prep the parking lot for two electric vehicle charging stations. They will install electrical stubs at planned station locations and will run conduit from the power source to the stubs at the time of construction to support the future installation of the charging stations, when needed.

Conditions:

1. Pacific Drive Ventures, LLC agrees to meet the requirements of Article XX Administration and Enforcement, Section 2007. Performance Guarantees.

RECOMMENDED ACTION

"Move to recommend to City Council approval of the Site Plan and Tree Removal Permit for <u>Pacific Drive</u> <u>Industrial Speculative Building</u> subject to the conditions of the City's Administrative Review Team."

AUBURN H		ev(elopment olication
Project Name: 1465	-PACIFIC DAVE MOUS		<u>City Use Only</u> Address:
General Project Locatio			
PAGFIC DR	TAYLOR RO.		Date Received: 7/26/23
Parcel Size: 3.7A	Zoning:ا	an tanàn amin'	Fees Paid: <u>4893,00</u> SP #: 230010
Sidwell Number(s):	4-03-351-009		SLU #(s):
Project Description:	ONPUT 18,000 59	<u>f</u>	LD/LE/SUB #:
HOUSTHOL BU	LOING SINGLE TEN	DNT	RZ #:
	8		PUD #:
Building Size (sq. ft.): _	- 4 / QQU		ZBA #:
Check requested review	<u>N(s)</u>		PTR 2300/2
🕱 Site Plan		🗆 Suł	odivision
💢 Tree Removal Perm	it	🗆 Pla	nned Unit Development - Step 1/Step 2/Combined
Special Land Use Pe	rmit(s)	🗌 Rez	zoning to
		ZB/	A Variance or Interpretation
Land Division		_	(see supplemental application)
□ Land Exchange (CHRISTOPHER COUSING		ner
Name: PA	CIAL DRUE VONTURES, L		nature: Ch.H.C.mv
Business Nar	me and Address: <u>12955</u>		
Business Nar City: She	BY THP State: M Zip C	ode: <u>483</u>	DIS Phone Number: 586.615.6036
Fax Number:	Alt. Phone N	Number(s):	
Name:	AME	Sigr	nature:
2 0	ne and Address:		
City:	State: Zip C	ode:	Phone Number:
			(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department, 1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939 www.auburnhills.org



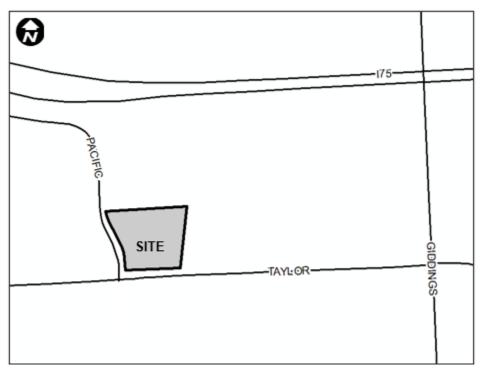
Planning Commission Public Notice

Meeting Date, Time, and Location:	Wednesday, September 13, 2023, at 7:00 p.m. City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Pacific Drive Development
General Property Location:	Generally located at the northeast corner of Taylor Road and Pacific Drive Sidwell No. 14-03-351-009
Applicant:	Chris Cousino, DEI Properties – 586-254-4367
Nature of the Request:	Recommendation to City Council for Site Plan approval and Tree Removal Permit approval to construct an industrial building.
City Staff Contact:	Shawn Keenan, AICP City Planner - 248-364-6926

Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application is available for inspection prior to the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.

Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Shawn Keenan, AICP, City Planner, at the above address.

Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 - 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.



LOCATION MAP

ARCHITECTS. ENGINEERS. PLANNERS.



September 7, 2023

Mr. Shawn Keenan, AICP City Planner CITY OF AUBURN HILLS 1827 North Squirrel Road Auburn Hills, Michigan 48326

RE: 1456 Pacific Drive Industrial Site Plan 1st Review

Dear Mr. Keenan:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on September 5, 2023, was prepared by PEA Group. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.
- ▶ Water main extension permit from E.G.L.E.

GENERAL:

The site is located at the northeast corner of Pacific Drive and Taylor Road, at 1456 Pacific Drive in Section 3 of the City of Auburn Hills. The applicant is proposing to construct a 47,728 sq. ft. speculative building that will consist of 4,880 sq. ft. of office space and 42,848 sq. ft. of manufacturing space. The new facility is intended to house a single tenant in the industrial or automotive industry. The site along with the adjacent properties to the north and east are zoned Light Industrial (I-1). A complete legal description of the parcel is shown on the plan. The City of Auburn Hills Standard Notes and Fire Department Notes are included on the plans. A landscape plan was included in the plan set and appears to be acceptable. Furthermore, a soil erosion and sedimentation control plan is needed for engineering review.

MUNICIPAL UTILITIES:

There is an existing 12-inch water main that extends along Taylor Road and an existing 12-inch water main that extends along Pacific Drive. The applicant is proposing to connect to the existing water main along Taylor Road and extend 8-inch water main north onto the site, south of the proposed building. The applicant is also proposing to connect to the water main along Pacific Drive and extend 8-inch water main east onto the site, west of the proposed building. Two (2) fire hydrant assemblies are proposed to provide adequate coverage for the site along with one (1) existing fire hydrant relocation. Fire suppression and domestic service lines are proposed to extend from the new 8-inch water main located on the west side of the site to the west side of the proposed building. The material type of the proposed water main shall be labeled for engineering review.

T 248.751.3100 F 248.287.4201 City of Auburn Hills 1456 Pacific Drive Industrial September 7, 2023 Page 2 of 3

There is an existing 18-inch sanitary sewer that extends along Taylor Road. The applicant is proposing to tap an existing sanitary sewer stub located just outside the influence of Taylor Road and extend a new sanitary sewer lead to the south side of the building. The slope and material type of the proposed sanitary sewer lead shall be labeled for engineering review.

STORM SEWER AND DETENTION:

It appears that the site is located in the Vinewood Drainage District, which has a maximum discharge rate of 0.0776 cfs/acre. Storm water runoff for the site will be collected via a series of catch basins and routed to an existing detention pond at the southeast side of the site. A stormwater detention note was included on the plans stating that the subject parcel was included in the regional stormwater detention facilities per the Vinewood Drain plans. The Vinewood Drain plans are based upon a 'C' value of 0.70 while the proposed site has a 'C' value of 0.65. Therefore, the existing detention basin has enough capacity for the proposed development. Additional details of the stormwater management system will be needed for the engineering review including storm sewer calculations, profiles, and hydraulic grade lines. A water quality unit has been provided on the plans prior to the storm water entering the detention basin. Additional details of the water quality unit will need to be provided for the engineering review.

TRAFFIC/PAVING:

Access to the site consists of one (1) new approach off Pacific Drive. Parking is located to the west and south of the proposed building. The plans indicate concrete curb and gutter throughout the site with standard duty asphalt pavement proposed for the parking and drive aisles and standard duty concrete pavement for the approach, loading area, and dumpster pad. 8-inch concrete on 6-inch aggregate base is proposed for the heavy duty concrete while 4-inch asphalt on 8-inch aggregate base is proposed for standard duty asphalt. All driveway cross-sections shall meet or exceed the cross-section of the roadway it enters onto, and drive aisles shall be a minimum 6-inch asphalt on 8-inch aggregate base. Additional cross-sections for the site appear to meet City standards.

The applicant is proposing 103 parking spaces including 5 barrier free accessible parking spaces and 2 future electric vehicle parking spaces. A loading area with a truck dock is located at the northwest corner of the building, and a trash enclosure is proposed adjacent to the loading area. A 7-foot-wide concrete sidewalk has been provided along the south and west side of the building providing access to the parking lot and truck dock. An auto-turn analysis for the WB-67 Interstate Semi-Trailer has been included in the plan set.

GRADING:

Existing and proposed grades are shown with contours and spot elevations. The site is sloped towards the east side of the parcel and drains towards the existing detention basin. Steep perimeter site slopes appear to match into existing contours. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalk slopes shall comply with ADA standards.

RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements, and has been stamped "Approved" by our office. We ask that the site plan approval acknowledge the following:

- 1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
- 2. The developer must post a performance guarantee, in accordance with the City's requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities,



pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.

If you have any questions or are in need of any further information, please feel free to contact our office.

Sincerely, OHM Advisors

May Mate 1

MaryKate Kirksey for Hannah Driesenga, P.E.

Transmitted via e-mail to Shawn Keenan: September 7, 2023 cc: File

P:\0101_0125\SITE_AUBURNHILLSCITY\2023\0120231190_NEC TAYLOR PACIFIC_SITE\1456 PACIFIC DRIVE INDUSTRIAL_SITE REV#1_APP.DOCX





POLICE DEPARTMENT 1899 North Squirrel Road

Auburn Hills, MI 48326

MEMORANDUM

TO: Shawn Keenan, City Planner
FROM: Jeremy Stubbs, Lieutenant
DATE: August 17, 2023
SUBJECT: Taylor-Pacific Spec Building

I have reviewed the site plans for the Taylor-Pacific Spec Building. We have no objections to the project as presented in the site plans.



AUBURN HILLS FIRE DEPARTMENT



Official Memorandum

То:	Shawn Keenan, City Planner
From:	Fred Solomon, Fire Inspector
Date:	September 5, 2023
Re:	Site Plan Review

PROJECT: NEC, 1456 Pacific

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No Comments

7. Johnson

Fred Solomon Fire Inspector Auburn Hills Fire Department

August 25, 2023

Shawn Keenan, AICP, City Planner; Steve Cohen, Director Com. Dev. City of Auburn Hills, Community Development Department 1827 North Squirrel Road Auburn Hills, MI 48326

Subject: Woodlands Ordinance Review for NEC Taylor/Pacific, Auburn Hills, MI

Dear Mr. Keenan and Mr. Cohen,

The submittals regarding the above-mentioned project were reviewed and a site visit made to correlate information. See the tree detail chart below regarding the proposed project.

DESCRIPTION	TOTAL TREES	Required/REPLACEMENT TREES
Total Trees Surveyed	129	
Removed Regulated Trees	32	32
Removed Landmark Trees	1 (Total of 41" DBH)	4
Removed Non-regulated Trees	92	0
Saved Regulated Trees	4	0
TOTAL Required Replacement Trees		36 Trees

TREE REQUIREMENT TABLE – NEC Taylor/Pacific

Applicant is removing and replacing regulated trees. One tree being removed is a Landmark tree $(41^{\circ}x \ 0.25/2.5 = 4.1)$. The landscape plans provide 56 deciduous trees plus 14 evergreen trees totaling 70 new trees for installation, which satisfies the Woodlands Ordinance.

This project is approved based on the fulfillment and landscape strategy stated above and set of accompanying plans.

Best regards,

ie Stachecki T-

Julie Stachecki City of Auburn Hills Woodland Consultant



August 23, 2023

RE: Citizen Participation Letter 1465 Pacific Drive Industrial Development

Dear Neighbor:

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we are notifying you that Pacific Drive Ventures, LLC, has been submitted a development application to the City of Auburn Hills to construct a new single story 47,728 square feet industrial building on the currently vacant 3.70 acre parcel of land located 1465 Pacific Drive. In addition to the construction of the building, a parking area will be constructed to accommodate 104 total parking spaces which will be located to the west and south of the building.

The proposed building will be a speculative building that is intended for a single tenant which will offer space office, warehouse, and light manufacturing operations.

We feel that this project has been designed in such a manner to be aesthetically pleasing and will be in keeping with the character of other developments within the City of Auburn Hills and Taylor Road and Pacific Drive.

The City of Auburn Hills Planning Commission is scheduled to review the development application on September 13, 2023. If you should have any questions, concerns, or comments, please do not hesitate to contact me at 586-254-4367, if you wish to speak to a City Representative, please contact Shawn Keenan, City Planner at 248-364-6926

Sincerely

Chris Cousino Pacific Drive Venture, LLC



Auburn Hills, MI | August, 2023

1456 Pacific Drive Industrial

PEA GROUP

. . . .

1849 Pond Run Auburn Hills, MI 48326

844.813.2949 peagroup.com

September 01, 2023

Shawn Keenan, AICP City Planning City of Auburn Hills Community Development Department 1827 Squirrel Road Auburn Hills, Michigan 48326

RE: Citizen Participation Letter 1456 Pacific Drive Industrial Development

Mr. Keenan

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we have mailed the Citizen's Participation letter related to the development application for 1456 Pacific Drive Industrial Development to the mailing labels provided by the Community Development Department. The letters were postmarked August 23, 2023. We have not received any responses to this letters provided.

Sincerely,

PEA Group

James P. Butler, PE Principal/Project Executive



CITY OF AUBURN HILLS Regular City Council Meeting EXCERPT - Minutes

CALL TO ORDER:Mayor McDaniel at 7:00 p.m.LOCATION:City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326
Present: Mayor McDaniel, Council Members Burmeister, Kittle, Knight, Moniz, and Verbeke
Absent: Council Member Hammond
Also Present: City Manager Tanghe, City Attorney Beckerleg, City Clerk Pierce, Lt. Gagnon,
DPW Director Melchert, Director of Community Development Cohen, Management Intern
Thomas.

10 Guests

4. NEW BUSINESS

<u>9a. Motion - Approval of One-Year Extension of Site Plan and Tree Removal Permit / Cunningham-Limp</u> <u>Development Company - Pacific Drive Development</u>

Mr. Cohen presented the request of Cunningham-Limp Development Company for a one year extension to construct a 50,000 square foot light industrial building at the northeast corner of Pacific Rd and Taylor Rd. He stated that this project was originally presented to Council on Feb 27, 2017.

Mr. Steven Schimpke the business development manager of Cunningham-Limp stated that they have several companies interested in this area and they anticipate construction to begin in the 2nd quarter of 2018.

Mr. Kittle asked why some companies wait to start building a facility while others build a speculative building first. Mr. Schimpke stated that there is a level of risk with this type of a project, but they feel confident with this site. He stated that it is nice for the builders to have a say in what they want and with the end results.

Moved by Verbeke, Seconded by Moniz.

RESOLVED: To approve a one-year extension of the Site Plan and Tree Removal Permit for Pacific Drive Development. The approval shall expire on February 27, 2019.

Ms. Verbeke stated that the resolution states that this approval will expire on February 27, 2019. She asked Mr. Cohen to clarify if this one year extension means that they have to start construction before this date or do they need to have the project complete.

Mr. Cohen clarified that the past practices of the City has been to pull a permit then begin construction within 6 months. However, the plan for this development is to start construction this year.

VOTE: Yes: Burmeister, Kittle, Knight, McDaniel, Moniz, Verbeke No: None Resolution No. 18.01.014

Motion Carried (6 - 0)



EXCERPT The City of Auburn Hills City Council Meeting Minutes

February 27, 2017

CALL TO ORDER:Mayor McDaniel at 7:00 p.m.LOCATION:City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326
Mayor McDaniel, Council Members Burmeister, Hammond, Kittle, Knight, Mitchell,
and Verbeke
Absent: None
Also Present: City Manager Tanghe, Assistant City Manager Grice, Police Chief
Olko, City Clerk Kowal, Community Development Director Cohen, Deputy Director
of Public Works Herczeg, Finance Director/Treasurer Schulz, Recreation Director
Marzolf, Seniors Admin. Asst. Leonard, Attorney Beckerleg, City Engineer Juidici.

13 Guests

9. NEW BUSINESS

9b. Motion – Approval of Site Plan and Tree Removal Permit / Pacific Drive Development

Mr. Cohen explained the request to construct a 50,000 square foot light industrial building located at the northeast corner of Pacific Rd and Taylor Rd. The project is estimated at \$3.25 million. He stated that construction will not begin until the owner secures a tenant.

Ms. Hammond questioned how long approved site plans are held. Mr. Cohen confirmed they are held for one year. Jim Butler, PEA, stated that it is very likely that they will secure a tenant within the year.

Moved by Mitchell; Seconded by Burmeister.

RESOLVED: To accept the Planning Commission's recommendation and approve the Site Plan and Tree Removal Permit for Pacific Drive Development, subject to the administrative review team's conditions.

VOTE: Yes: Burmeister, Hammond, Kittle, Knight, McDaniel, Mitchell, Verbeke

No: None

Resolution No. 17.02.032

Motion Carried (7 - 0)



Excerpt CITY OF AUBURN HILLS PLANNING COMMISSION MINUTES

February 15, 2017

Location: City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

- 1. CALL TO ORDER: Planning Commission Chairperson Ouellette called the meeting to order
- ROLL CALL: Present: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Shearer Absent: Hitchcock, Mendieta, Pederson Also Present: Director of Community of Development Cohen, Assistant City Planner Keenan, Senior Services Director Adcock Guests: 3
- 5b. Pacific Drive Development (7:07 p.m.)

Public Hearing / Motion - Recommendation to City Council for Site Plan approval and Tree Removal Permit approval to construct an industrial building

Mr. Keenan introduced that this is a request from Cunningham Limp Company to construct a 50,000 sq. ft. industrial building at the northeast corner of Pacific Drive and Taylor Road. The 3.7-acre parcel is within the Metro North Technology Park and zoned I-1, Light Industrial.

Approximately 20,000 sq. ft. of the building will be used as office space, 25,000 sq. ft. is designated as manufacturing space and the remaining 5,000 sq. ft. of the building will be utilized as warehouse.

Mr. Keenan noted the cost to construct the proposed building is estimated at \$3.25 million. Cunningham Limp Company's goal is to begin construction in 2017. Once construction begins, the project is expected to take six months to complete and at that time they will begin the leasing process for proper industrial use district.

Mr. James Butler of PEA 2430 Rochester Court, Suite 100, Troy, MI 48083 and Mr. Bob Peplinski of Cunningham Limp Company 28970 Cabot Drive, Suite 100, Novi, MI 48377 were present to take questions.

Mr. Butler stated that this site plan review process is to help move development forward with the property. Mr. Butler clarified that the project will not begin development until a lease is signed. The goal is to get the project approved through the City's approval process and then be able to market the project to interested parties. Cunningham-Limp wishes to be ready to build when a company shows interest in the site.

Mr. Pierce questioned who owned the property. Mr. Butler stated that the property is owned by the same owner as the Louca Mold property to the north. Cunningham-Limp has an agreement to purchase the property.

Mr. Ouellette asked if the 5,000 sq. ft. sufficient for the warehouse or could that be expanded. Mr. Butler commented that the current footprint is an unknown and would be determined by the future user. The design that is currently drawn up could be modified. The intention is not to be a warehouse but a 50/50 split of office and manufacturing.

Mr. Ouellette confirmed that the property owner was aware that the need to store materials outside would require a special land use permit. Mr. Butler agreed. Due to the small size of the site, the need for an outside storage permit would be unlikely.

Auburn Hills Planning Commission February 15, 2016 Page **2** of **2**

Mr. Beidoun questioned the reason for the placement of the driveway on Pacific Drive and not Taylor Road. Mr. Butler explained that buffering from the residents was one consideration, but topography was the primary driver. After looking at the property, the design was meant to push the driveway all the way to the north on Pacific Drive to help minimize a retaining wall on the north side of the site due to the fall in grade on the property.

Ms. Ochs questioned what the residents from Taylor Road would be viewing. Mr. Butler stated that with the grade elevation, the view should not be a problem for adjacent residents. The building will sit ten feet higher than Taylor Road and the green belt, parking lot, and building being setback of 132 feet from the right-of-way will help lessen any visual impact of the building. The light poles have been placed toward the center of the parking lot in an effort to ensure that the light stays on the property.

Mr. Ouellette opened the public hearing at 7:13 p.m. Hearing no comments, Mr. Ouellette closed the public hearing at 7:14 p.m.

Motion made by Mr. Pierce to recommend to City Council approval of the Site Plan and Tree Removal Permit for Pacific Drive Development, subject to the conditions of the administrative review team. Supported by Beidoun

VOTE: YES: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Shearer NO: None

Motion Carried 6-0

PRELIMINARY SITE PLANS

1456 PACIFIC DRIVE INDUSTRIAL

AUBURN HILLS, MICHIGAN

PERMIT / APPROVAL SUMMARY

DATE SUBMITTED DATE APPROVED PERMIT / APPROVAL

PROJECT DESCRIPTION:

THE EXISTING 3.701 ACRE SITE, ZONED LIGHT INDUSTRIAL, AT THE NORTHEAST CORNER OF PACIFIC DRIVE AND TAYLOR ROAD IS CURRENTLY VACANT AND IS PROPOSED TO BE DEVELOPED FOR A NEW 47,728 SQ.FT. SPECULATIVE INDUSTRIAL BUILDING. THE 47,728 SQ.FT. BUILDING IS INTENDED TO HOUSE A SINGLE TENANT AND MULL OFFER FEATURES TO MEET TODAY'S INDUSTRIAL USER MARKET INCLUDING: PARKING FOR A MIX OF WAREHOUSE AND OFFICE, 30' CLEAR CEILING HEIGHT IN THE WAREHOUSE AREA, A TRUCK DOCK, AT GRADE OVERHEAD DOORS, CONTEMPORARY STYLE, HIGH ENERGY EFFICIENCY AND DURABLE MATERIALS. TENANTS EXPECTED TO UTILIZE THE BUILDING WILL LIKELY BE FROM THE AUTOMOTIVE AND RELATED INDUSTRIES.

LEGAL DESCRIPTION

(PER CITY OF AUBURN HILLS ONLINE ACCESSMYGOV.COM DATED 11-14-16)

PARCEL NO. 02-14-03-351-009 T3N, R10E, SEC 3 PONTIAC ACRES PART OF LOTS 32, 33 & PART OF OUTLOT A, ALSO PART OF SW 1/4 ALL DESC AS BEG AT PT DIST N02°41'40'W 60 FT & N8°21'59'E 720.65 FT FROM SW SEC COR, TH N0°37'56'W 52.04 FT, TH ALG CURVE TO LEFT, RAD 273 FT, CHORD BEARS N14°3'33'W 104.94 FT, DIST OF 105.60 AD 180.28 FT, CHORD BEARS N15°08'43'W 78.10 FT, DIST OF 78.72 FT, TH N86°6'33''E 517.01 FT, TH S06°51''30'W 389.45 FT, TH S87°21''59'W 345.45 FT TO BEG 1-17-97 FR 376-022

DESIGN TEAM

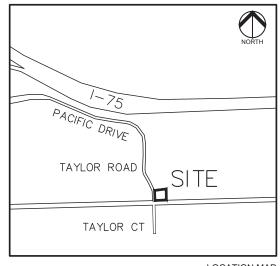
OWNER/APPLICANT/DEVELOPER CIVIL ENGINEER

PACIFIC DRIVE VENTURES, LLC 12955 23 MILE ROAD SHELBY TOWNSHIP, MICHIGAN 48315 CONTACT: CHRIS COUSINO PHONE: 586 254.4367 EMAIL: CCOUSINO@DEIPROPERTIES.COM PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM

ARCHITECT

FRANK SALAMONE ARCHITECT 48701 HAYES ROAD SHELBY TOWNSHIP, MICHIGAN 48315 PHONE: 586.532.0091 CONTACT: FRANK SALAMONE EMAIL: FSALAMONE@FSARCHITECT.COM LANDSCAPE ARCHITECT

PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: NOAH BIRMELIN, PLA, ASLA PHONE: 844.813.2949 EMAIL: NBIRMELIN@PEAGROUP.COM



LOCATION MAP

PEA GROUP
 NUMBER
 TITLE COVEL

 C-1.0
 TOPO

 C-2.0
 PRELI

 C-3.0
 ENGIN

 C-4.0
 PRELI

 C-6.0
 PRELI

 C-7.0
 TRUCH

 C-9.0
 NOTES

 C-9.1
 NOTES

 L-1.0
 LANDS

 L-2.0
 LANDS

 T-1.0
 TREE

 T-1.1
 TREE

 A-1
 ARCH

A-2

DESCRIPTION ORIGINAL ISSUE DATE REVISED PER COAH REVIEW REVISED PER COAH REVIEW COMMENTS

INDEX OF DRAWINGS

ITILE COVER SHEET TOPOGRAPHIC SURVEY PRELIMINARY SITE PLAN ENGINEERING SITE PLAN PRELIMINARY GRADING PLAN PRELIMINARY UTILITY PLAN TRUCK TURNING PLAN NOTES AND DETAILS NOTES AND DETAILS

LANDSCAPE PLAN LANDSCAPE DETAILS TREE PRESERVATION PLAN TREE PRESERVATION LIST

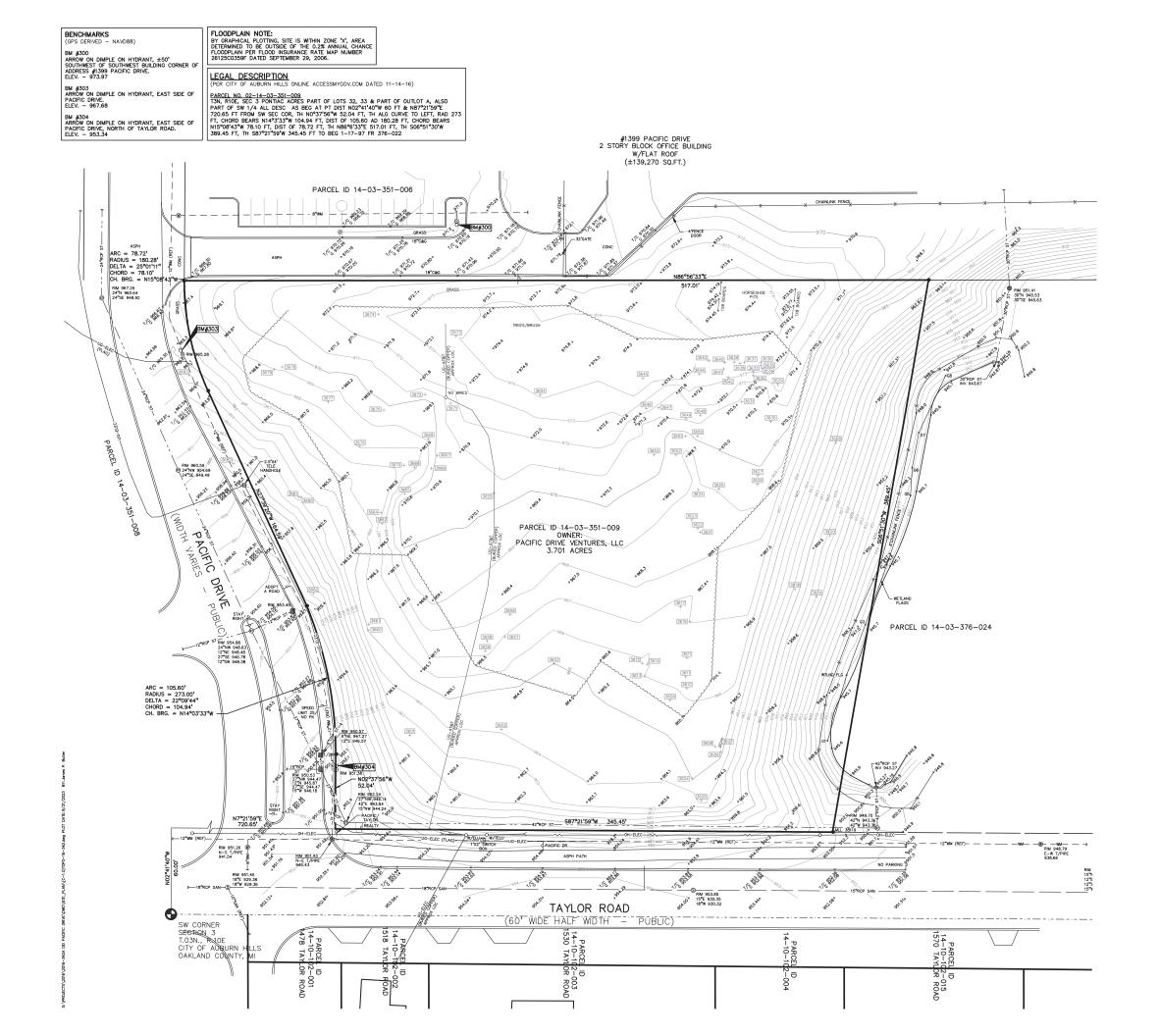
ARCHITECTURAL FLOOR PLANS ARCHITECTURAL ELEVATIONS

EVISIONS	5
EVISIONS	5

DATE 7/26/2023 8/18/2023 9/1/2023



NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009



LEGEND:		
	EX. OH. ELEC, POLE & GUY WIRE	· · · · · · · ·
	EX. U.G. CABLE TV & PEDESTAL	
_	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE	
	EX. U.G. ELEC, MANHOLE, METER & HANDHOLE	
•	EX. GAS LINE	GROUP
(i) (initial (i)	EX. GAS VALVE & GAS LINE MARKER	
m m	EX. TRANSFORMER & IRRIGATION VALVE	t: 844.813.2949
	EX. WATER MAIN	www.peagroup.com
୪ ୦ ଜ	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE	
ତ ଞ	EX. WATER VALVE BOX & SHUTOFF	OF MICHIGA
	EX. SANITARY SEWER	SE OF MICHIGS
09 (S	EX. SANITARY CLEANOUT & MANHOLE	SS EMIL THE
©	EX. COMBINED SEWER MANHOLE	S * SIMON *
	EX. STORM SEWER	
0 0	EX. CLEANOUT & MANHOLE	Licentia No.
	EX. SQUARE, ROUND & BEEHIVE CATCH BASIN	80. 6201036443
0 ^{Y.D.} 🐵	EX. YARD DRAIN & ROOF DRAIN	POFESSION MOOD
0	EX. UNIDENTIFIED STRUCTURE	
⊠ *	EX. MAILBOX, SIGN & LIGHTPOLE	
×	EX. FENCE	
• • • • •	EX. GUARD RAIL	
* 000	EX. DEC. TREE, CONIFEROUS TREE & SHRUB	
+724	EX. TREE TAG, & TREE LINE	
+(724) x6 ³⁶ , ³¹	EX. SPOT ELEVATION	
670	EX. CONTOUR	NORTH
* * * *	EX. WETLAND	
		0 15 30 60
●×	IRON FOUND / SET	
\$ \$	NAIL FOUND / NAIL & CAP SET	
*	BRASS PLUG SET	SCALE: 1" = 30'
ه ۲	MONUMENT FOUND / SET	
•	SECTION CORNER FOUND	
RMC	RECORDED / MEASURED / CALCULATED	CLU Call Internation
REFERENCE D	RAWINGS:	
WATER MAIN SANITARY SEWER	HILLS, OHM, DATED 11-22-16	CAUTONI II TE LOCITORS AND ELEVITORIO OF EXISTING INVERSION THE LOCITORS AND ELEVITORIO OF EXISTING INVERSION APPROXIMATE: NO QUARANTER IS STITHER OPPRESED OF MINEDA AT TO ECONFERENCES ON ACCURACY THEOROGINE FOR THE CONTINUETOR SHALL BE DOLLIDING' THEOROGINE FOR PERSON TO THE STITLE OCCURRENCES ON ALL DEVICES ON PERSON TO THE STITLE OCCURRENCES ON ALL DEVICES ON THEORO TO THE STITLE OCCURRENCES ON ALL DEVICES ON THEOROGINE THE STITLE OCCURRENCES ON ALL DEVICES ON ALL DEVICES ON THEOROGINE THE STITLE OCCURRENCES ON ALL DEVICES ON ALL DEVICES ON THEOROGINE THE STITLE OCCURRENCES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON ALL DEVICES ON THE DEVICES ON ALL DEVICES O
STORM SEWER	SITE ENGINEERING PLANS FOR HADEN, INC., POWELL & ASSOC. ENGINEERING LAST REVISED 4-27-94 GIS MAP PACIFIC DRIVE, CITY OF AUBURN	
ELECTRIC TELEPHONE GAS CATV FLOOD PLAIN	HILLS, OHM, DATED 11-22-16 NO INFORMATION RECEIVED AS OF 12-5-16 ATT BURED/AERIAL CABLE, DATED 12-2-16 NO INFORMATION RECEIVED AS OF 12-5-16 NO INFORMATION RECEIVED AS OF 12-5-16 FEMA F.I.R.M. MAP 26125C0359F, DATED 9-29-06	HARMON ROAD
OTHER	ALTAIACSM LAND TITLE SURVEY ANIXTER INC., PEA, JOB NO 2014-188, LAST REVISED 10-14-14. TOPOGRAPHIC SURVEY LOUCA MOLD, PEA, JOB NO 2015-278, DATED 11-11-14	PACIFIC DRIVE SITE
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DEI PROPERTIES

PROJECT TITLE



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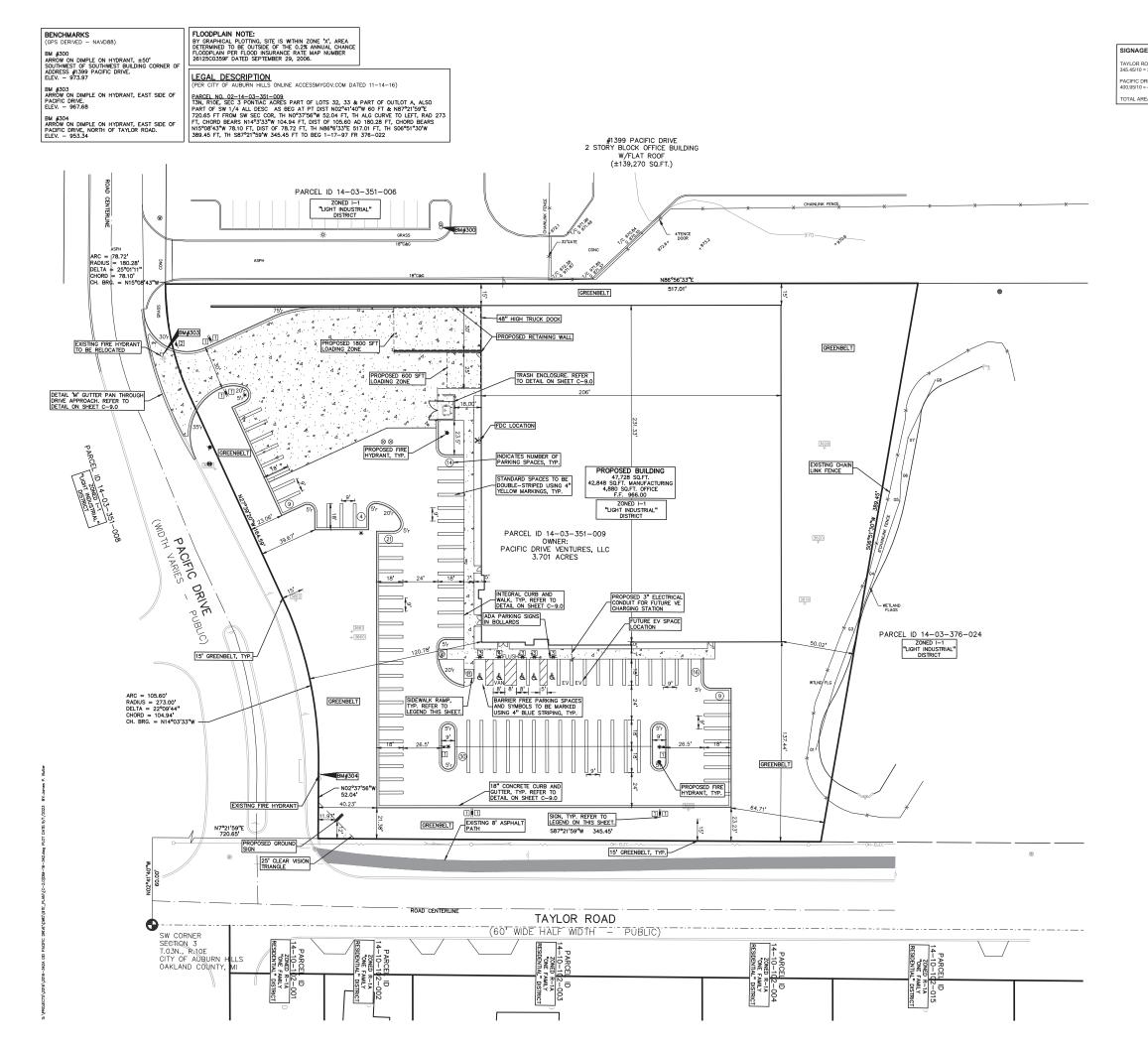
ORIGINAL ISSUE DATE: JULY 26, 2023

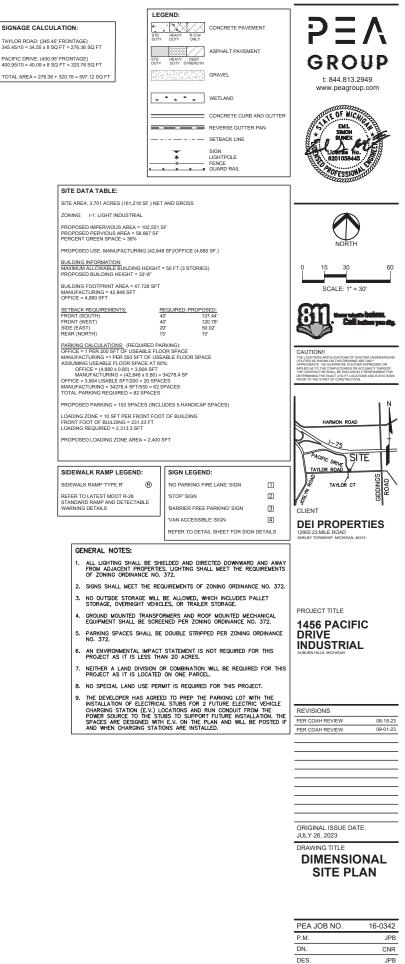


PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009

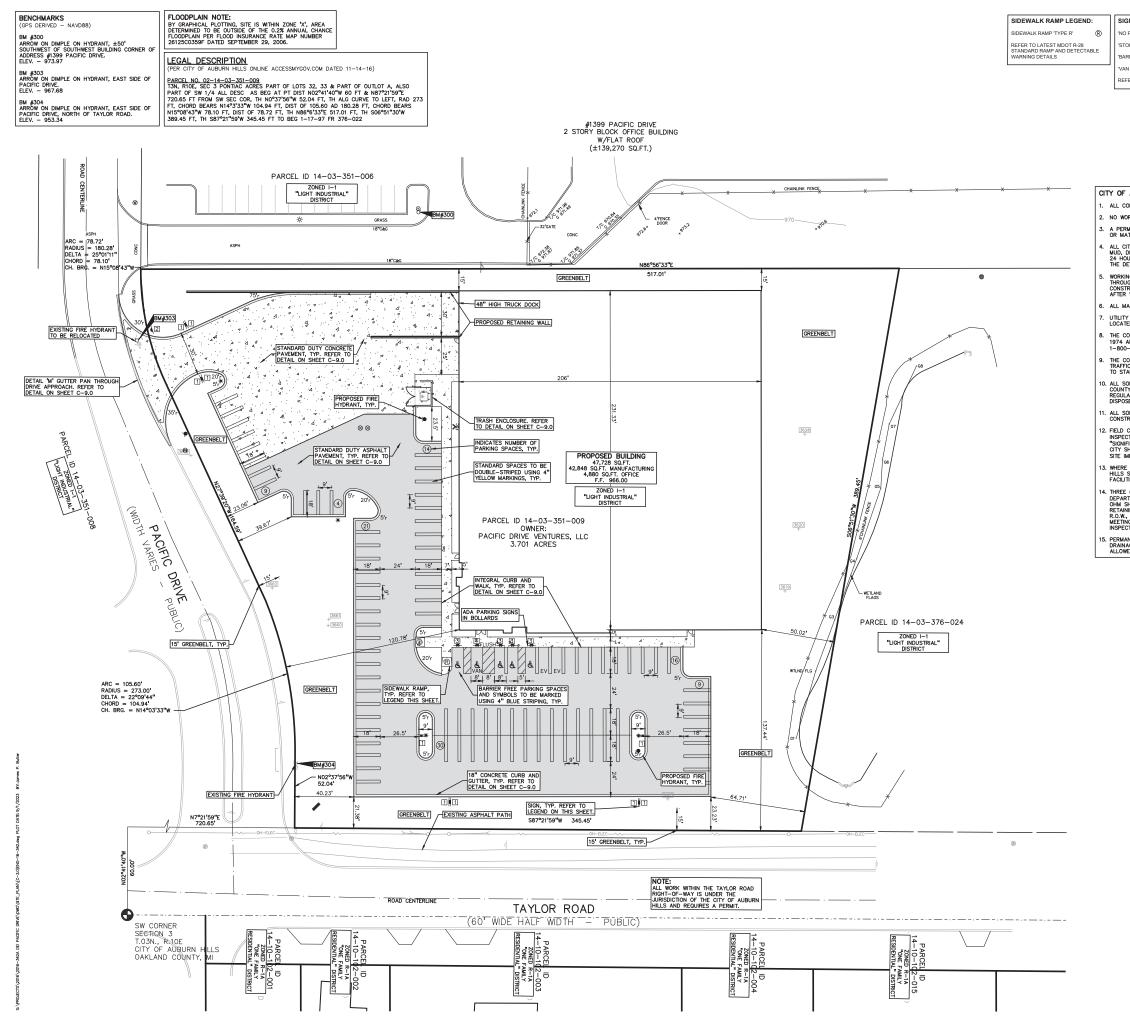
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C-2.0

DRAWING NUMBER



SIGN LEGEND:

- O PARKING FIRE LANE' SIGN
- RRIER FREE PARKING' SIGN
- AN ACCESSIBLE' SIGN
- REFER TO DETAIL SHEET FOR SIGN DETAILS

LEGEND:

1

2

3

4

STD HEAVY R.O.W. DUTY DUTY ONLY	CONCRETE PAVEMENT
STD HEAVY DEEP	ASPHALT PAVEMENT
DUTY DUTY STRENGTH	GRAVEL
· · · · ·	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN

----- SETBACK LINE
 SIGN



CITY OF AUBURN HILLS STANDARD NOTES:

ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS STANDARDS.

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY R.O.W. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE R.O.W.

ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD. DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNUP TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEVOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.

UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTRACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1=600-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER, SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REQUILTIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

. ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.

I. FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANCES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

3. WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

. THREE (3) WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ, & MCCLIMENT AT (734) 468-4539 TO SCHEDULE INSPECTION, OHM SHALL INSPECT ALL STE IMPROVEMENTS INCLUDING UNDERGROUND UTILTY INSTALLATION, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL BE NOT ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

ADDITIONAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 2. REFER TO SHEET C-5.1 FOR ON-SITE PAVING DETAILS.
- 3. REFER TO SHEET CONSTRUCTION PLANS FOR ON-SITE SIDEWALK RAMP DETAILS.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF AUBURN HILLS CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS, ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAD FOR SEPARATELY.

FIRE DEPARTMENT NOTES:

1. THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:

WHITE ON 4" MAINS RED ON 6" MAINS ORANGE ON 8" MAINS GREEN ON 12" MAINS BLUE ON 16" MAINS OR LARGER

- NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED MITHIN FIFTERN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WDE PAVED DRIVEWAY OR STREET.
- 4. GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
 A WAITE LICH VISIONITY STEPIC SUALL BE PAINTED ON THE LIDER FLANCE OF ALL
- . A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

t: 844.813.2949 www.peagroup.com

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GROUP





CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAVING ARE CALLY APPROXIMATE: NO GURANTEE IS ETHIER EXPRESSED OR MILED AS TO THE COMPLETENSES OR ACULARCY THEREOF. THE CONTINUETOR SHULL BE EXCLUSIVELY RESPONSIBLE FOR DETENSING THE EXACT UTILITY LOCATIONS AND ELEVATIONS



DEI PROPERTIES 12955 23 MILE ROAD SHELBY TOWNSHIP. MICHIGAN, 48315

PROJECT TITLE

1456 PACIFIC DRIVE INDUSTRIAL

REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

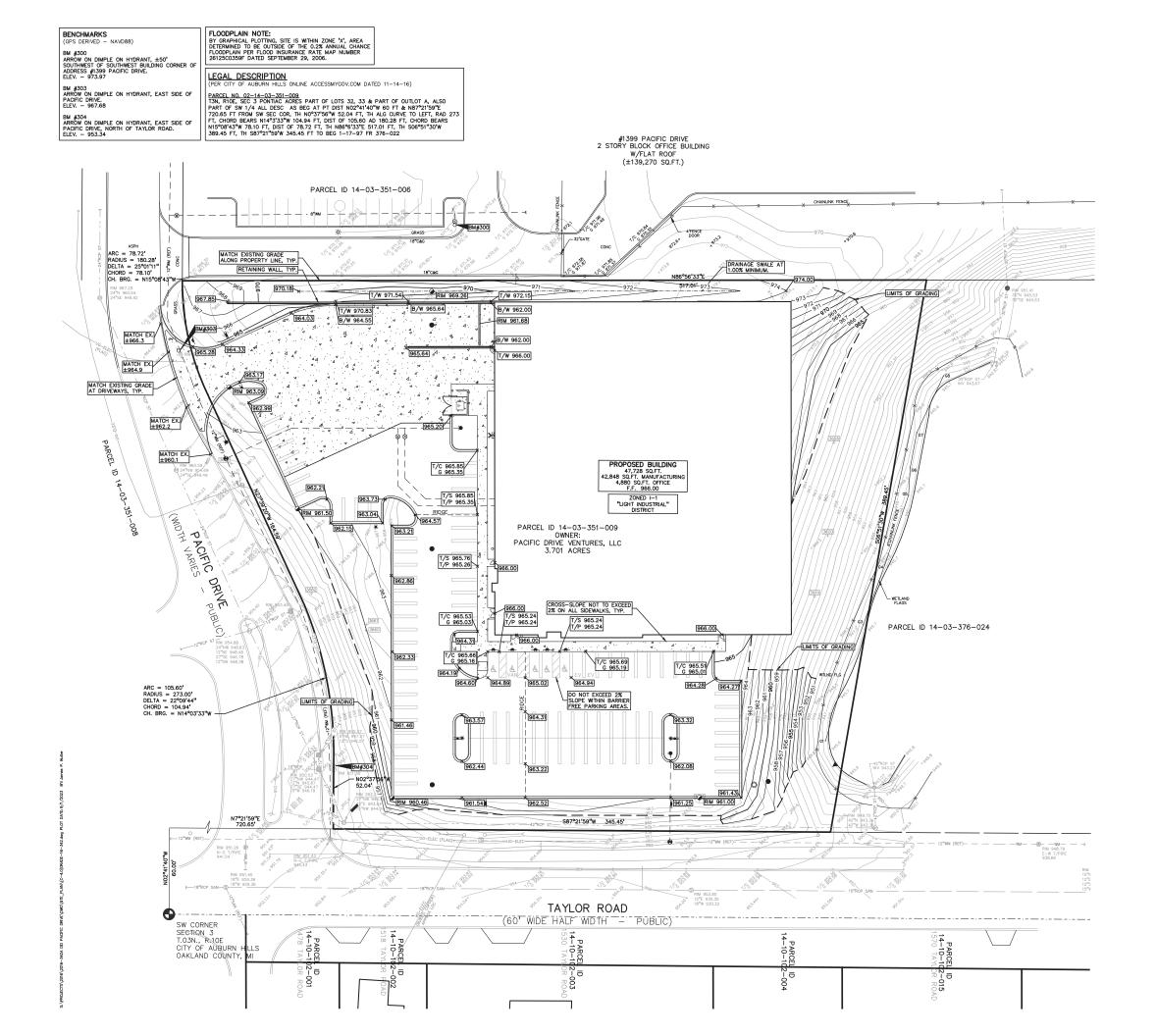
ORIGINAL ISSUE DATE JULY 26, 2023

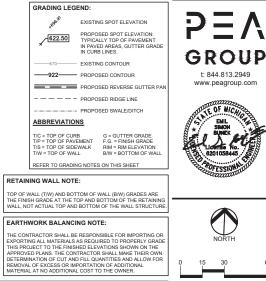
DRAWING TITLE ENGINEERING SITE PLAN

PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB
DRAWING NUMBER:	

C-3.0

NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009





GENERAL GRADING AND EARTHWORK NOTES: THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
- 2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF OAKLAND COUNTY: AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE COUNTY PROR TO CONSTRUCTION.
- 5. ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
- 6. REFER TO FINAL CONSTRUCTION PLANS FOR ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
- ALL SLOPES EXCEEDING 1:6 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHER MISE NOTED.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UUTDERGROUND UTILITIES WITHIN AND EXAMINED ORTICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OF PACIFICIAL SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.



DEI PROPERTIES 12955 23 MILE ROAD SHELBY TOWNSHIP. MICHIGAN, 48315

PROJECT TITLE



REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

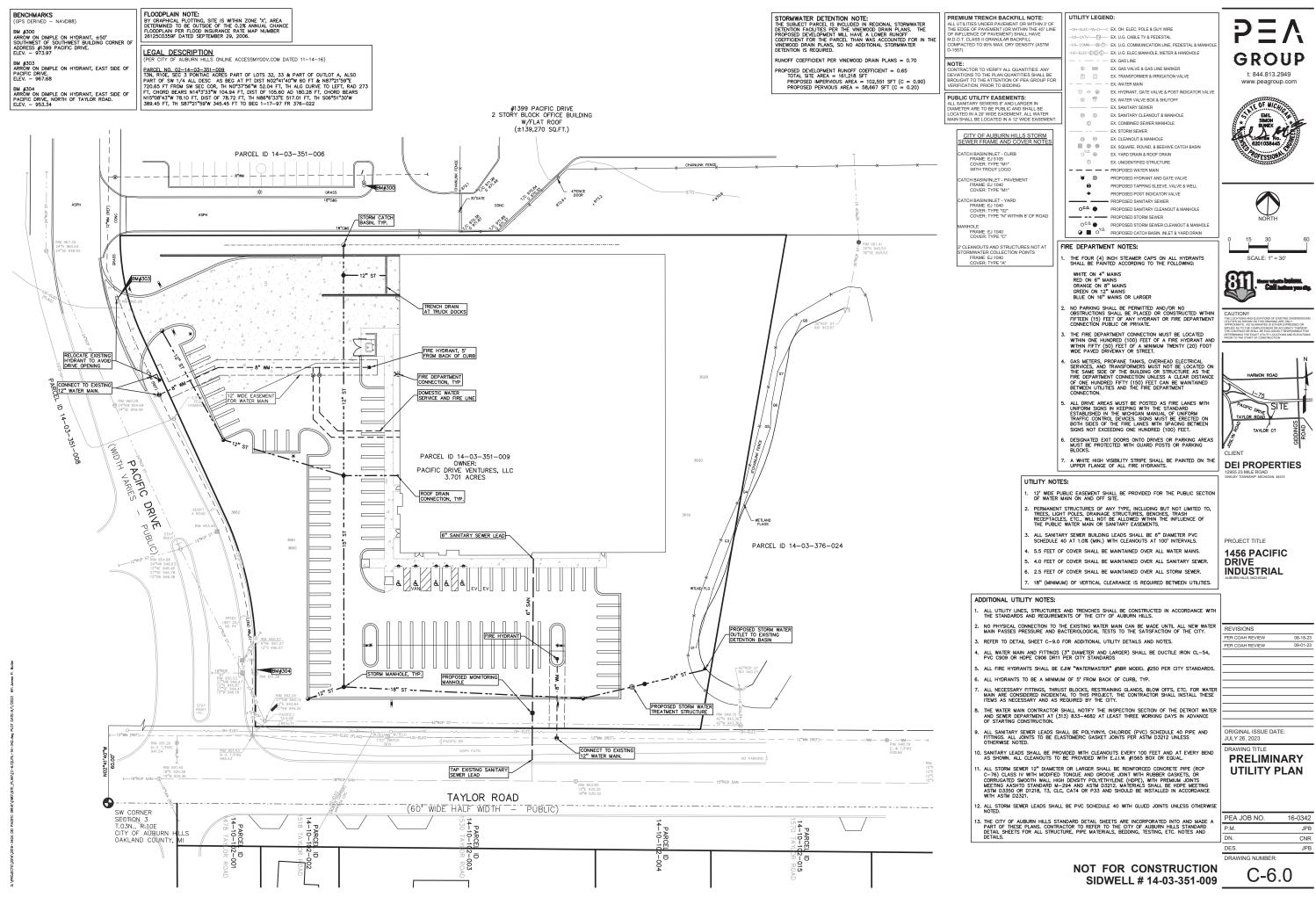
ORIGINAL ISSUE DATE: JULY 26, 2023

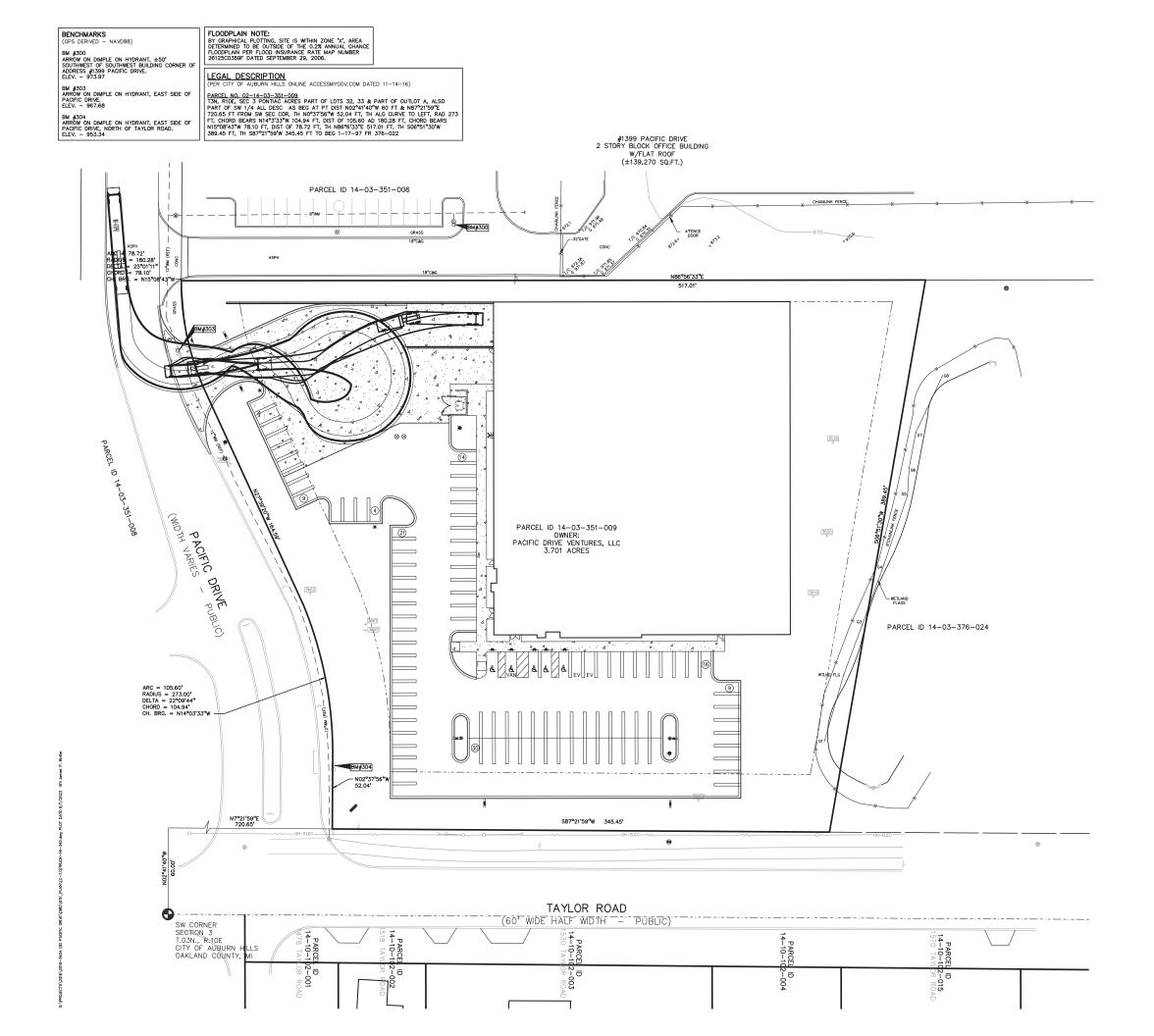
DRAWING TITLE PRELIMINARY GRADING PLAN

PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB
DRAWING NUMBER:	

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NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009





PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB
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PLAN

DRAWING TITLE **TRUCK TURNING**

ORIGINAL ISSUE DATE: JULY 26, 2023

REVISIONS PER COAH REVIE 08-18-23 PER COAH R 09-01-2

1456 PACIFIC DRIVE INDUSTRIAL

PROJECT TITLE



CAUTION!! MPLIED AS TO THE COMPLETENESS HE CONTRACTOR SHALL BE EXCLUSION







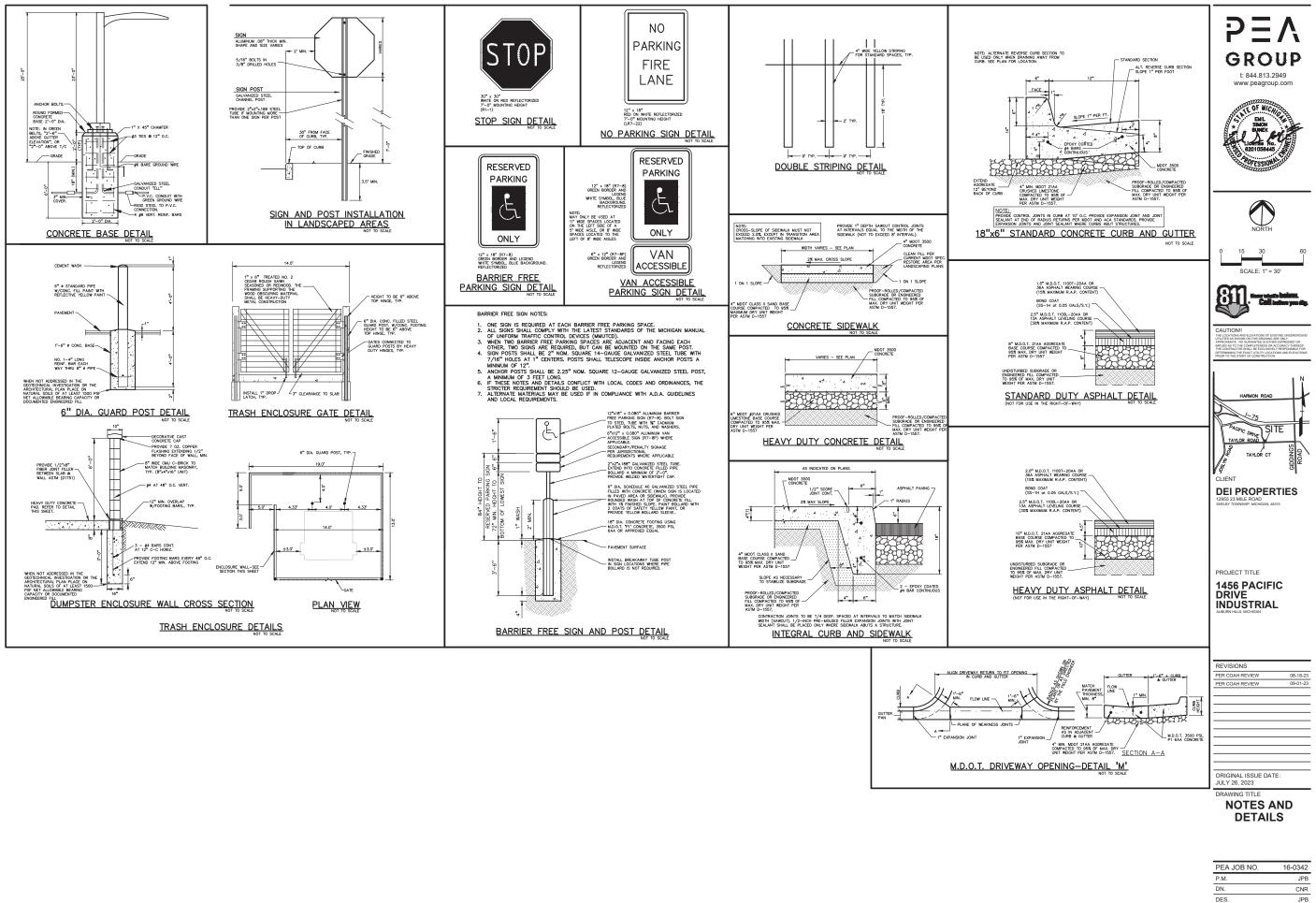


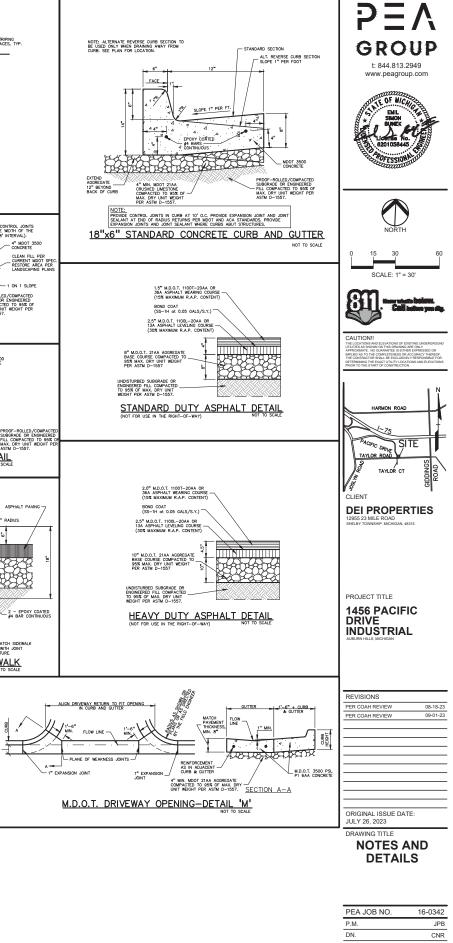




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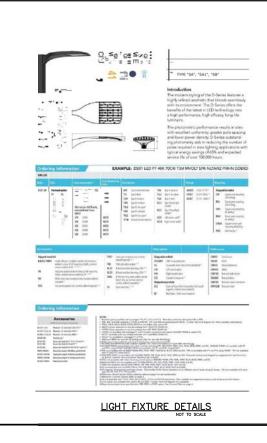
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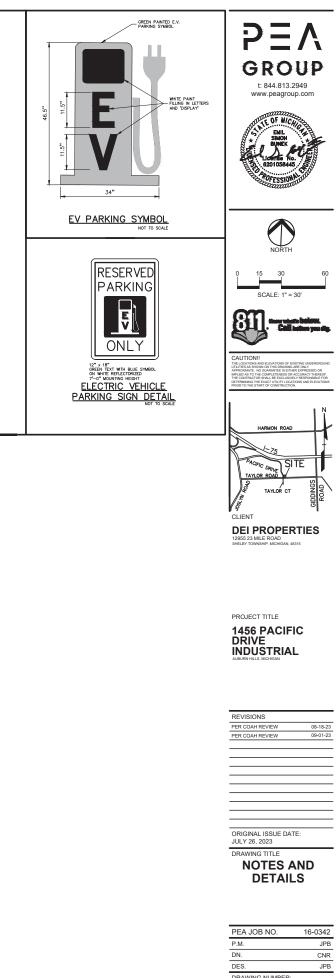


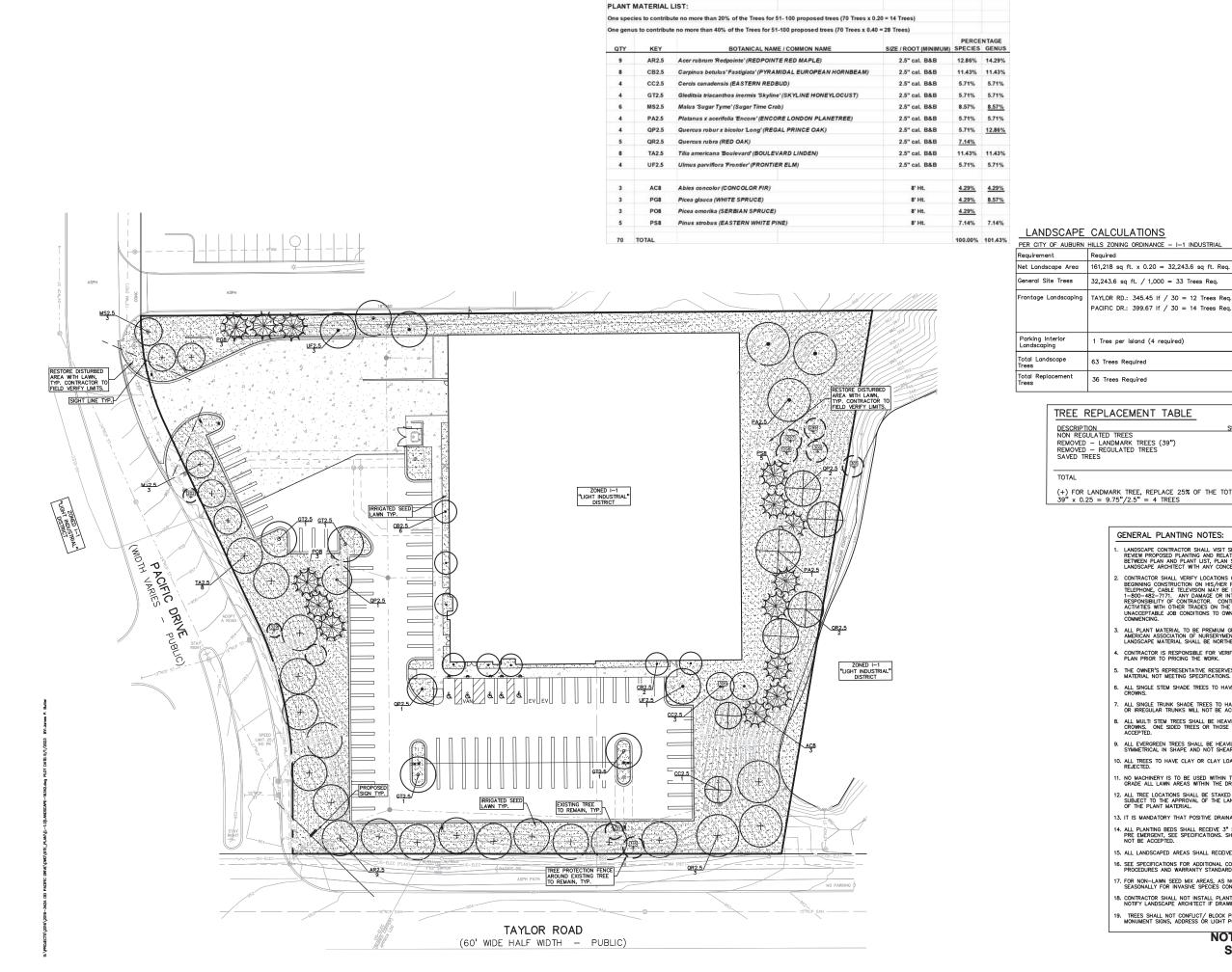


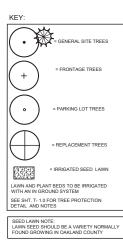
DRAWING NUMBER











71,258.3 sq ft. Provided (44.2%)











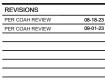
CAUTION!! IMPLIED AS TO THE COMPLETENESS OR ACCURAC THE CONTRACTOR SHALL BE EXCLUSIVELY RESPO



DEI PROPERTIES



INDUSTRIAL



LANDSCAPE

PLAN

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16-0342

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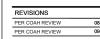


































DRAWING TITLE

PEA JOB NO.

DRAWING NUMBER

P.M.

DN. DES.







ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.

ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.

- . NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- 13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS. 14. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- 15. ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL 16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- 7. FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- 18. CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE. MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009

32,243.6 sq ft. / 1,000 = 33 Trees Req. TAYLOR RD.: 345.45 If / 30 = 12 Trees Req. PACIFIC DR.: 399.67 If / 30 = 14 Trees Req.

4 Provided 1 Tree per island (4 required) 63 New Trees Provided 63 Trees Required 36 Trees Required 30 General site trees and 6 replacement trees provided. 70 TOTAL NEW TREES PROVIDED

Provided

33 Trees Provided

12 Trees Provided

14 Trees Provided

TREE REPLACEMENT TABLE

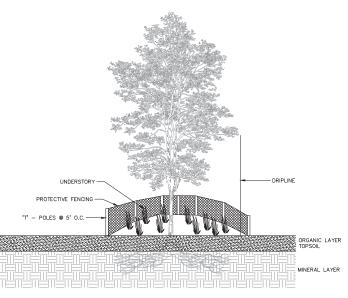
ACEMENT TABLE		
) TREES IDMARK TREES (39") GULATED TREES	<u>SURVEYED TREES</u> 92 1 32 4	REPLACEMENT TREES 0 4(+) 32 0
	129	36

(+) FOR LANDMARK TREE, REPLACE 25% OF THE TOTAL DBH OF TREES REMOVED: 39" x 0.25 = 9.75"/2.5" = 4 TREES

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWERN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK, ELECTING, GAS, TELEPHONE, GALE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, FOR NURSERY STOCK. ALL
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.

TREE PROTECTION DETAIL



THE PROTECTION NOTES

 IDENTIFY ON SITE ALL TREES OR AREAS OF TREES WHICH ARE BEING PROPOSED TO BE PRESERVED WITH FULDRESCENT ORANGE SPRAY PAINT (CHAIK BASE) OR BY RED FLAGGING TAFE. ERECT BARRIERS OF FOUR (4) FOOT HIGH FENCING STAKED WITH METAL "T-POSTS" FIVE (5) FEET ON CENTRE OF ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN. THE SITE, AND BARRIERS ARE TO BE ERECTED PRIOR TO ANY CLEARING OR ROUBEING ON THE SITE. AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WITH A CERTIFICATE OF COUCHARCY IS SUSUED. KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER. DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMITANY WITHIN THE FERCE LINE OF ANY PROTECTION THERE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, BOULDERS, DIRT, AND ECXAVATED MATERIAL, GRAN PROTECTION OR WASTE WARKEN, OR AND THEM ANTENAL, OR ON THER ANTENNAL THERE ARE TO HAVE A STRAIGHT TRUNK. ALL INSTALLED TREES ARE TO HAVE A STRAIGHT TRUNK. ALL INSTALLED TREES ARE TO HAVE A STRAIGHT TRUNK. ALL INSTALLED TREES ARE TO ANY TREE PROTECTED REGARDLESS OF SIZE. ALL INSTALLED TREES ARE TO DE STATE OFPARTMENT OF AGRICULTURE NURSERY ORADINO. 1 OR BETTER. ALL READSCHARE BUGUARANTEED FOR A MINIMUM OF TWO YEARS. ALL INDSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYST ALL READSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYST ALL READSCAPED AREAS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPHICS SHALL BE KEEN MARKEN AND ALL ASSURE PROPER MATURATION OF PLANTS TO AGHE. THE APPROVED TO REPLACE THE TO THE OR ASTRONG CONDITION, FREE FROM DEBINS AND REF		<u>TREE PROTECTION NOTES</u>
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NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE. SECTION 138—12.109 MAINTENANCE: ALL INSTALLED TREES ARE TO HAVE A STRAIGHT TRUNK. ALL INSTALLED TREES ARE TO BE NORTHERN GROWN. ALL INSTALLED TREES ARE TO BE STATE DEPARTMENT OF AGRICULTURE NURSERY GRAD NO. 10 RB BETTER. ALL REPLACEMENT TREES ARE CONSIDERED PROTECTED REGARDLESS OF SIZE. ALL TREES SHALL BE GUARANTEED FOR A MINIMUM OF TWO YEARS. ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYST AUBURN HILLS MAINTENANCE NOTES SCALE: 1" = 1'-0" PER CITY OF AUBURN HILLS: THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBMS AND REFUSE. B PRUNKS AS FOLLOWS: A LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBMS AND REFUSE. B PRUNKS AS POLLOWS: A LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBMS AND REFUSE. C ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED DEAD OF PLANTS TO ACHIEVE THEIR APPROVED PUPPOSE. C ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED DEAD OF DESASED BRANCHES. SUBSEQUENT FRUNKS SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PUPPOSE. C ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED DEAD OF DESASED BRANCHES. SUBSEQUENT FRUNKS SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PUPPOSE. C ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED DEAD OF DESASED BRANCHES. SUBSEQUENT TRUNKS SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THER APPROVEL UNDERS OF INS SECTION. THE APPROVE DATES AND REFUSES ON THE PLANTING SEASON FOR SECTION FOR PECTOURS PLANTS ATTER TO THE TO THE SECTION. THE APPROVE DATES AND HERE AT THE DATE OF A SECTION. THE APPROVE DATES AND HERE APPROVED IN AND APPROVEL UNDESS OTHER MARCH THEORY PLANTING SEASON FOR P		PROTECTIVE BARRIER.
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 LANDSCAPING AS FOLLOWS: A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBMS AND REFUSE. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD OF DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SSHALL BE REMOVED IMMEDIATELY AND REFLACED WITHIN SXI (6) MONTHAS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON, FOR DECIDUOS PLANTS SHALL BE BERWEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATHAL BE BERWEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATHAL BE BERWEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATHAL BE BERWEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATHAL BE BERWEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATHAL BE BERWEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATH SHALL BE BERVEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATH SHALL BE BERVEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATH SHALL BE BERVEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATH SHALL BE BERVEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE FREATH SHALL BE DISCOMES FROZEN. THE PLANTING SEASON FOR INSTALLE TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS INFORMATION OF THE SECTION THE SECTION THE SECTION THE SECTION OF THE MATERIAL TI SI INTENDED TO REPLACE. THE CIT' MAY NOTE'Y PROPERTY OWNERS OF THE MATERIAL TI SI INTENDED TO REPLACE. THE CIT' MAY INTO THE PROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APROVAL UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFORMEMENTONED PROCEDURES. ANY REWISIONS TO GR REMOVAL OF FLUM MATERIALS, OR NON-CONTONING WITH THE AFORMEMENTORED PROCEDURES ANY REWISIONS TO GR REMOVAL OF FLUM MATERIALS, OR NON-CONTON WITH THE AFORMEMENT OF THIS SECTION 1354-12105 WILL PLACE WA PRO		PER CITY OF AUBURN HILLS:
 A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REPUSE. B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE. C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, MUCHEVER OCCURS FIRST. FOR PURPOSE OF THIS SECTION, THE FLANTING OCCURS THEST. FOR PURPOSE OF THIS SECTION, THE FLANTING SEASED, MUCHEVER SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON FOR THE SEASED, MUCHEVER SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT NOT THE NEXT THE PREPARED SOL BECOMES FROZEN. THE PLANTING SEASON FOR EVERRERE PLANTS SHALL BE BETTER INTERNAL TO REPLACE. THE ANTING MONTHS AFTERIAL THE INTERNED TO REPLACE. THE CIT MAY NOTHY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL. D. THE APPROVEL LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL UNLESS OTTERMISE APPROVED IN ACCORDANCE WITH THE SITE PLAN BERONGLAD FORCEDURES, ANY REVISIONS TO OR REMOVIAL OF FLAN ANTERIAL, SIG OR MON CONFORMITY WITH THE APPROVE LANDSCAPE PLAN SHALL BE A VOLATION CONTORMITY WITH THE APPROVE LANDSCAPE PLAN ATTERIALS. 		THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE
 B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD OF DISEASED BRANCHES. SUBSCUENT PRUNING SHALL ASSUME PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE. C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL. SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SXI (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON, FOR DECIDIOUS PLANTS SHALL BE BETWEEM MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE PREPARED SOLI BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE DETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE PREPARED SOLI BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE DETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE PREPARED SOLIE BECOMS FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE DETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNIT. THE PREPARED OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MEENT AT INSTRUCE DO REPLACE. THE CIT MAY MATERIAL D. THE APPROVED LANDSCARE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN PAPROVAL. UNESS OTHERWAER REQUREMENTS OF THIS SECTION AMATERIALS, ON NON-CONFORMITY WITH THE APPROVED LANDSCARE PLAN ANALL PLACE THE PARCEL IN NON CONFORMITY WITH THE APPROVED LANDSCARE PLAN ANALL PLACE THE PARCEL IN MON CONFORMITY WITH THE APPROVED LANDSCARE PLAN AND E A VOLATION OF THIS ORDINANCE. 		A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION.
C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SKI (6) MONTHS AFTER TI DIES OK IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST, FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTL THE PREPARED SOL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND JENE 1 AND FROM OCTOBER 1 UNTL THE PREPARED SOL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OTIFY PROPERTY OWNERS OF THE MEERD TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE WEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.D. THE APPROVED LANDSCAFE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN SHALL BE AND CONFORMITY WITH THE APPROVED LANDSCAFE PLAN AND E THE PARCEL IN MON CONFORMITY WITH THE APPROVED LANDSCAFE PLAN AND E A VOLATION OF THIS ORDINANCE.		B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD OF DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHEVE THEIR APPROVED PUPPOSE.
INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WIT THE AFOREMENTIONED PROCEDURES, MAY REVISIONS TO OR REMOVAL OF PLAN MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.109 WILL PLACE THE PARCEL IN NON CONFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.		C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBET UNTIL THE PREPARED SOLI BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE GIT MAY NOTIFY POPERTY OMNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED
E. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.		D. THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WITT THE AFOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL OF PLAN MATERIALS, OR NON-COMPLIANCE WITT THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-012100 WILL PLACE THE PARCEL IN ONG CONFORMITY WITT THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
\LANDSCAPE / TREE REPLACEMENT NOTES		

SCALE: 1" = 1'-0"



120° 120° 120°

STAKING/GUYING LOCATION

MXMXMXMX

20° 120°

MXMXMX/MX/

N.

12" MIN. TYP.

211 3"

STAKING LOCATIO









CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING LIND UTLITTES AS SHOWN ON THIS DRAINING ARE ONLY APPROXIMATE. NO OLIVARITE IS ETHER EXPRESS IMPLED AS TO THE COMPLETENESS OR ACCURACY THE CONTRACTOR SHALL BE EXCLUSIVELY RESPON-THE CONTRACTOR SHALL BE EXCLUSIVELY RESPON-



DEI PROPERTIES

PROJECT TITLE

REVISIONS PER COAH REVIEW

PER COAH REVIEW

ORIGINAL ISSUE DATE: JULY 26, 2023

DRAWING TITLE

1456 PACIFIC DRIVE

INDUSTRIAL

08-18-23

09-01-23

THREE 2"X2" HARDWOOD STAKES OR STEEL T-POSTS DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING SHREDDED HARDWOOD BARK MULCH TO DRIPUNE, 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOL AROUND THEE TRUNK. DO NOT PLACE MULCH NI CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT -FROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

- FINISH GRADE

SPECIFIED PLANTING MIX, WATER & TAMP TO -REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS

EXPOSE TALER EVOLUTION OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM — TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP & OF ROOTBALL DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE

___PLACE_ROOTBALL_ON_UNEXCAVATED_OR TAMPED_SOIL

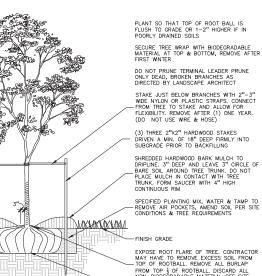
PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS SECURE TREE WRAP WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM, REMOVE AFTER FIRST WINTER

DO NOT PRUNE TERMINAL LEADER PRUNE ONLY DEAD, BROKEN BRANCHES AS DIRECTED BY LANDSCAPE ARCHITECT

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT - ROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

(3) THREE 2"X2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

2 EVERGREEN TREE PLANTING DETAIL SCALE: 1'' = 3'-0''



EXPOSE ROOT FLARE OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM - TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP 1 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL

PEA JOB NO.	16-0342
P.M.	JPB
DN.	BGG
DES.	KAD
DRAWING NUMBER:	

L-2.0

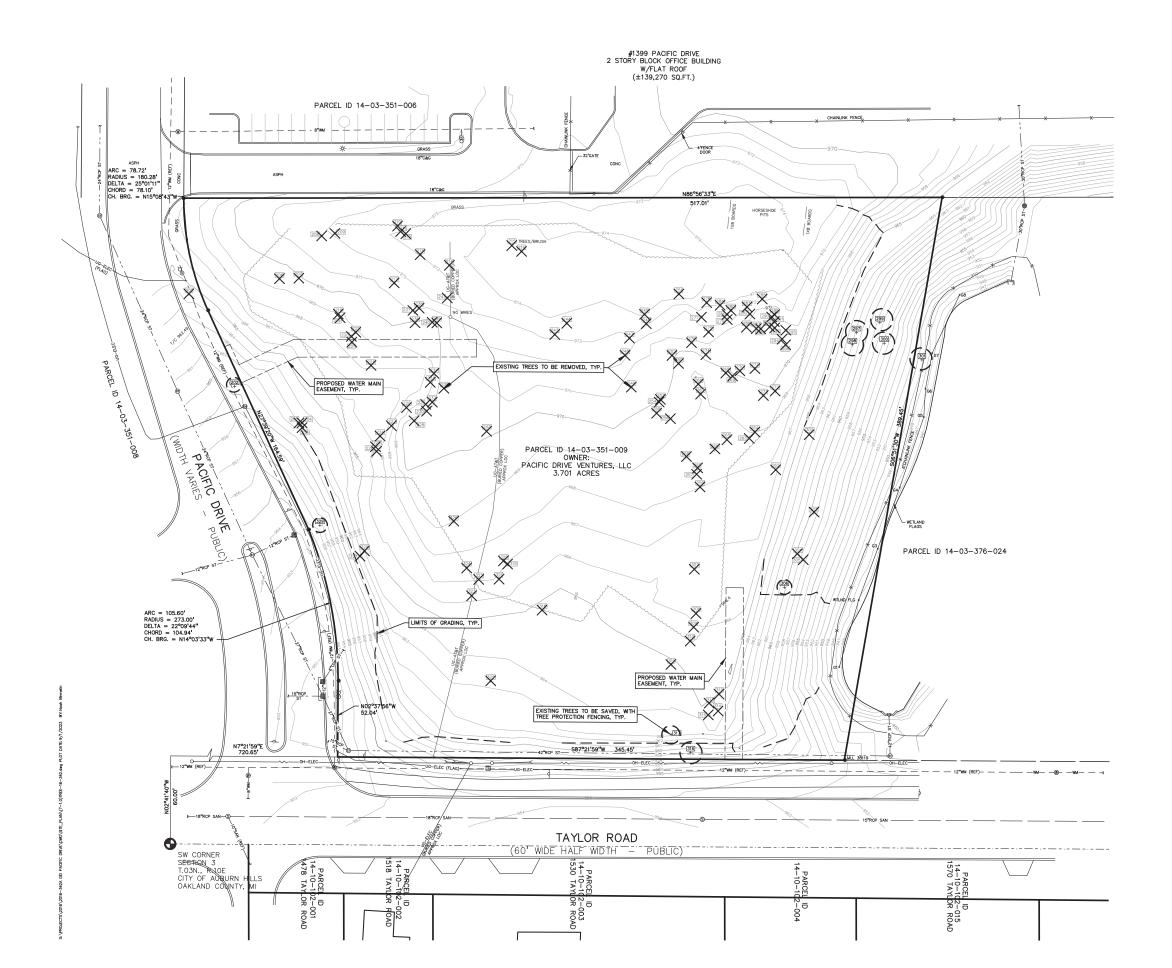
LANDSCAPE

DETAILS

NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009



SPECIFIED PLANTING MIX, WATER & TAMP TO - REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS - FINISH GRADE



PEA JOB NO.	16-0342
P.M.	JPB
DN.	BGG
DES.	KAD
DRAWING NUMBER:	
T-1.()



DRAWING TITLE

ORIGINAL ISSUE DATE: JULY 26, 2023

PER COAH REVIEW



REVISIONS

PROJECT TITLE

CLIENT DEI PROPERTIES



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	CODE		LATIN NAME	COMMON NAME	COND	COMMENT	(REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)	TAG NO.	CODE	рвн	LATIN NAME	COMMON NAME	COND	COMMENT	(REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) REMOVE (
201	L	Z	Littleleaf Linden	Tilia Cordata	Fair	CONNENT	REG./REPLACE	(L)	X	266	BW	14	Black Walnut	Juglans nigra	Good	COMMENT	REG./REPLACE	-	X
202	HL	8	Honeylocust	Gleditsia triacanthos	Good		REG	-	s	267	BX	7	Box elder	Acer negundo	Poor		N (SPECIES)	-	x
203	CT	10	Cottonwood	Populus deltoides	Good		N (SPECIES)	-	x	268	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	x
204	GŦ	7	Cottonwood	Populus deltoides	Good		N (SPECIES)	-	х	269	BX	6	Box elder	Acer negundo	Good		N (SPECIES)	-	х
205	CT	8	Cottonwood	Populus deltoides	Good		N (SPECIES)	-	х	270	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	х
206	EE	12	Siberian Elm	Ulmus pumila	Fair	9, 8	N (SPECIES)	-	х	271	BX	7	Box-elder	Acer negundo	Good	6	N (SPECIES)	-	Х
207	EE	46	Siberian Elm	Ulmus pumila	Fair	14,10	N (SPECIES)	-	х	272	BX	8	Box elder	Acer negundo	Good		N (SPECIES)	-	х
208	EE	6	Siberian Elm	Ulmus pumila	Fair		N (SPECIES)	-	x	273 274	BX BX	6 7	Box elder Box elder	Acer negundo	Fair Fair		N (SPECIES) N (SPECIES)	-	X X
209 210	EE EE	6 8	Siberian Elm Siberian Elm	Ulmus pumila Ulmus pumila	Good Fair		N (SPECIES) N (SPECIES)	-	x	275	BX	+ 6	Box elder	Acer negundo Acer negundo	Good		N (SPECIES)		x
210	EE	e A	Siberian Elm	Ulmus pumila	Fair	5	N (SPECIES)	-	x	276	BX	7	Box-elder	Acer negundo	Fair		N (SPECIES)	-	x
212	EE	7	Siberian Elm	Ulmus pumila	Fair	9	N (SPECIES)	-	Â	277	BX	Ŧ	Box elder	Acer negundo	Poor		N (SPECIES)	-	x
212	66	÷ 6	Siberian Elm	Ulmus pumila	Fair	6	N (SPECIES)		x	278	BX	12	Box elder	Acer negundo	Good		N (SPECIES)	-	x
214	EE	ş	Siberian Elm	Ulmus pumila	Fair	0	N (SPECIES)	-	x	279	BX	9	Box-elder	Acer negundo	Fair		N (SPECIES)	-	х
215	88	7	Siberian Elm	Ulmus pumila	Good		N (SPECIES)	-	х	280	BX	9	Box elder	Acer negundo	Fair		N (SPECIES)	-	х
216	EE	7	Siberian Elm	Ulmus pumila	Fair		N (SPECIES)	-	х	281	BX	9	Box elder	Acer negundo	Fair		N (SPECIES)	-	х
217	EE	6	Siberian Elm	Ulmus pumila	Good	4	N (SPECIES)	-	х	282	BX	40	Box elder	Acer negundo	Fair	7	N (SPECIES)	-	Х
218	BX	9	Box elder	Acer negundo	Good		N (SPECIES)	-	х	283	BX	40	Box elder	Acer negundo	Fair		N (SPECIES)	-	Х
219	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	х	284 285	BX BX	11 7	Box elder Box elder	Acer negundo Acer negundo	Good Fair		N (SPECIES) N (SPECIES)	-	x
220	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	х	286	BX	+ 10	Box-elder	Acer negundo	Good		N (SPECIES)		x
221 222	BX BX	7 7	Box elder Box elder	Acer negundo	Good		N (SPECIES)	-	х	287	BX	7	Box elder	Acer negundo	Fair		N (SPECIES)	_	x
223	BX	+ 11	Box elder	Acer negundo Acer negundo	Good Good	5	N (SPECIES) N (SPECIES)	-	x	288	BX	9	Box elder	Acer negundo	Good		N (SPECIES)	-	x
224	BW	40	Black Walnut	Juglans nigra	Good	9	REG./REPLACE	-	x	289	BX	7	Box elder	Acer negundo	Fair	5	N (SPECIES)	-	х
225	BW	45	Black Walnut	Juglans nigra	Good		REG./REPLACE	_	x	290	BX	8	Box elder	Acer negundo	Fair		N (SPECIES)	-	х
226	BW	12	Black Walnut	Juglans nigra	Good	11	REG./REPLACE	-	x	291	BX	9	Box elder	Acer negundo	Good		N (SPECIES)	-	х
227	₿₩	34	Black Walnut	Juglans nigra	Fair		REG./REPLACE	-	x	292	BX	-14	Box-elder	Acer negundo	Fair	9	N (SPECIES)	-	Х
228	₽₩	12	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	х	293	BX	8	Box elder	Acer negundo	Fair		N (SPECIES)	-	Х
229	₿₩	40	Black Walnut	Juglans nigra	Fair		REG./REPLACE	-	х	294 295	BX BX	6 12	Box elder Box elder	Acer negundo	Fair Fair		N (SPECIES) N (SPECIES)	-	×
230	₿₩	6	Black Walnut	Juglans nigra	Poor		REG./REPLACE	-	х	295	BX	+ 2 9	Box elder	Acer negundo Acer negundo	⊢air Eair	6	N (SPECIES)	-	X
231	B₩	6	Black Walnut	Juglans nigra	Fair		REG./REPLACE	-	X	297	BX	6	Box elder	Acer negundo	Good	5	N (SPECIES)		s
232 233	B₩ B₩	7	Black Walnut Black Walnut	Juglans nigra	Fair		REG./REPLACE	-	×	298	BX	7	Box elder	Acer negundo	Good	5	N (SPECIES)	-	s
233 234	BW BW	ө 12	Black Walnut Black Walnut	Juglans nigra Juglans nigra	Good Good		REG./REPLACE REG./REPLACE	-	×	299	BX	6	Box elder	Acer negundo	Good		N (SPECIES)	-	s
234	8W	+2	Black Walnut	Jugians nigra	Good		REG./REPLACE	-	x	300	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	s
236	BX	6	Box elder	Acer negundo	Fair		N (SPECIES)	-	x	301	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	S
237	BX	6	Box elder	Acer negundo	Fair		N (SPECIES)	-	x	302	88	Ŧ	Siberian Elm	Ulmus pumila	Good		N (SPECIES)	-	х
238	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	х	303	₽₩	6	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	х
239	₿₩	45	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	Х	304	BX	42	Box elder	Acer negundo	Good		N (SPECIES)	-	х
240	₽₩	46	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	х	305	BX BW	7 6	Box elder	Acer negundo	Fair		N (SPECIES)	-	x
241	BX	7	Box elder	Acer negundo	Good	3	N (SPECIES)	-	х	306 307	BW BW	-18	Black Walnut Black Walnut	Juglans nigra Juglans-nigra	Good Good	6	REG REG./REPLACE	-	x
242 243	BW	41	Black Walnut	Juglans nigra	Good		REG./REPLACE	Y	×	308	BX	+0	Box elder	Acer negundo	Very poor-	0	N (SPECIES)	-	x
243 244	BW BW	19 7	Black Walnut Black Walnut	Juglans nigra Juglans nigra	Good Fair		REG./REPLACE REG./REPLACE	-	x	309	BW	46	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	x
244	BW	≠ ∓	Black Walnut	Juglans nigra	Good	6	REG./REPLACE	-	â	310	BX	13	Box elder	Acer negundo	Good		N (SPECIES)	-	x
246	BW	+ 14	Black Walnut	Juglans nigra	Poor	12	REG./REPLACE	-	â	311	EE	8	Siberian Elm	Ulmus pumila	Fair	Ŧ	N (SPECIES)	-	Х
247	BX	7	Box elder	Acer negundo	Good		N (SPECIES)	-	x	312	BX	6	Box elder	Acer negundo	Poor	3,3	N (SPECIES)	-	Х
248	BX	6	Box elder	Acer negundo	Good		N (SPECIES)	-	x	313	₿₩	12	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	Х
249	BX	6	Box elder	Acer negundo	Good		N (SPECIES)	-	х	314	₿₩	8	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	X
250	EE	46	Siberian Elm	Ulmus pumila	Poor	40	N (SPECIES)	-	х	315	BW	11 12	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	X
251	BX	6	Box elder	Acer negundo	Good	5,4	N (SPECIES)	-	x	316 317	BW BX	13 10	Black Walnut Box elder	Juglans nigra Acer negundo	Good Poor		REG N (SPECIES)	-	S S
252	EE BW	8 8	Siberian Elm	Ulmus pumila	Poor		N (SPECIES)	-	x	317 318	BW BW	30	Black Walnut	Juglans nigra	Fair		REG./REPLACE	-	x
253 254	BW BX	8 7	Black Walnut Box elder	Juglans nigra Acer negundo	Good Poor		REG./REPLACE N (SPECIES)	-	X X	319	BX	6	Box elder	Acer negundo	Fair		N (SPECIES)	-	x
204 255	BX	+ 6	Box elder	Acer negundo	Good		N (SPECIES)	-	x	320	BX	7	Box elder	Acer negundo	Fair		N (SPECIES)	-	x
256	BX	6	Box elder	Acer negundo	Good		N (SPECIES)	-	x	321	BX	Ŧ	Box elder	Acer negundo	Fair		N (SPECIES)	-	X
257	EE	6	Siberian Elm	Ulmus pumila	Poor		N (SPECIES)	-	x	322	₿₩	44	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	Х
258	BX	47	Box elder	Acer negundo	Poor	13,12	N (SPECIES)	-	x	323	BX	9	Box elder	Acer negundo	Fair	4	N (SPECIES)	-	Х
259	PR	8	Pear	Pyrus communis	Fair	8	REG./REPLACE	-	x	324	BX	6	Box elder	Acer negundo	Fair		N (SPECIES)	-	х
260	₿₩	9	Black Walnut	Juglans nigra	Good		REG./REPLACE	-	х	325	EE	36	Siberian Elm	Ulmus pumila	Poor		N (SPECIES)	-	х
261	PR	7	Pear	Pyrus communis	Fair		REG./REPLACE	-	х	326	EE	6	Siberian Elm	Ulmus pumila	Fair		N (SPECIES)	-	X
262	BX	44	Box elder	Acer negundo	Good		N (SPECIES)	-	х	327	EE EE	13 10	Siberian Elm	Ulmus pumila	Good	40	N (SPECIES)	-	Х
263	BX	44	Box elder	Acer negundo	Good		N (SPECIES)	-	х	328 329	EE HL	-18 10	Siberian Elm Honeylocust	Ulmus pumila Gleditsia triacanthos	Fair Good	10	N (SPECIES) REG	-	x
264	BX	9	Box elder	Acer-negundo	Fair		N (SPECIES) N (SPECIES)	-	Х	329	ΠL	10	noneylocust	Gieditsia triacanthos	Good		REG	-	0

STANDARD TREES STANDARD TREES REMOVED:

LANDMARK TREES		
LANDMARK TREES REMOVED:	1	
LANDMARK TREE DBH REMOVED:	41	(25% DBH REPLACEMENT
REPLACMENT DBH REQUIRED:	10.25	INCHES

32 (1:1 REPLACEMENT)

DESCRIPTION SU	JRVEYED TREES	REPLACEMENT TREES
Non-regulated trees	92	0
Removed - Landmark Tree	es (41") 1	4
Removed - Regulated Tre	es 32	32
Saved (Reg/LM)	4	
Totals	129	36

SEE SHEET L-1.0 FOR TREE REPLACEMENT







AUTION!



DEI PROPERTIES 12955 23 MILE ROAD SHELBY TOWNSHIP MICHICAN APPAR N, 48315

PROJECT TITLE



REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23
ORIGINAL ISSUE DATE: JULY 26, 2023	



PEA JOB NO.	16-0342
P.M.	JPB
DN.	BGG
DES.	KAD
DRAWING NUMBER:	

T-1.1

NOT FOR CONSTRUCTION SIDWELL # 14-03-351-009

	د	A	B 2004-0*
		Bi'-6"	708-0" 5i'-6" 5i'-6"
building data Local Agency, CLINTON TOUNGHIP DEPARTMENT OF	****		
LOOLE ALLEOTT DEPENDITION OF BILLDING AND GATERY ACTOO ROTEO FLAX ROAD CLINTON THE, TH 46044 REFERENCE CODE: UNIT 61714 ATTENTION CODE UNIT 61714 ATTENTION 2006 MICHIGAN PERFORMANCE CODE UNIT 61714 ATTENTION 2006 MICHIGAN PERFORMANCE 2005 MICHIGAN PERFORMANCE 2005 MICHIGAN PERFORMANCE 2005 MICHIGAN PERFORMANCE 2005 MICHIGAN PERFORMANCE 2005 MICHIGAN PERFORMANCE 2005 MICHIGAN PERFORMANCE	ة in in in in in in in in in in		
BUILDING AREA: OFFICE: 4,860 SQ. FT. SHOP: 42,848 SQ. FT. TOTAL: 41,128 SQ. FT.		······································	
USE GROUP: (F-1) FACTORY AND INDUSTRIAL CONSTRUCTION TYPE: VB (COMBUSTIBLE, UNPROTECTED) PROPOSED USE: INDUSTRIAL FACILITY OCCUPANT LOAD: OFFICE 'SHOP AREA: I PER IOD SF. GROGE • 41,728 / IOD • 411 OCCUPANTS (TABLE DOSL?)		(<u>F-</u>	1) Factory and Ind. Moderate
FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS FER TABLE 602: O HOURS FIRE RESISTANCE RATING OF EXTERIOR NON-LOADDEARENS WALLS FER TABLE 602 AND TABLE TOSA: O HOURS	4	- TENAL FINAL LANDL 9P4CE	TIOT SPACE NOTE: OFFICE LATOUT IS FOR PRELIMINARY DESIGN FURPOSES ONLY. ENANT CONFIGURATIONS SHALL BE PETERTINED BY THE OF AND FURPE THANKE. CONFILCTION POCLYENTS OF THESE S SHALL BE SUBMITTED TO CITY OF AUBURN HILLS FOR PERMIT WAL AS REGUIRED.
FIRE RESISTANCE RATING OF EXTERIOR LOAD BELARING PARTITION WALLS FER TABLE 602 AND TABLE (502). FIRE RESISTANCE RATING OF NON- LOAD BEARING PARTITION WALLS FER TABLE 602: FIRE RESISTANCE RATING OF			Area: 4,880 sq. ft. Area: 42,848 sq. ft.
INTERIOR LOAD-BEARING WALLS, LOAD BEARING PARTING, COLUMS, GIRDERS, FER TABLE 602. O HOURS FIRE RESIGNACE RATING OF TENANT	14-1 10-1 10-1 14-1 14-1 14-1 14-1 14-1	Total	: 47,728 sq. ft.
SEPERATION WILLIS PER TABLE 602: I HOUR FIRE RESISTANCE RATING OF ROOF CONSTRUCTION INCLUDING BEAMS CONSTRUCTION INCLUDING BEAMS TROSEDUCTO FRANKLA ROOF BEAMS TROSEDUCTO FRANKLA ROOF BEAMS O HOURS SECTION INLA DO AND SECTION INLA O HOURS	2335		posed shop area ¹⁸ sq. ft.
FIRE REGUIRED VERTICAL EXITS 4 PA66AGEUAT9 * CLA66 I INTERIOR FINISH FER TABLE 8034. CORRIDORS PROVIDING EXIT ACCES6 * CLA66 II FIRE REGUIRED VERTICAL EXITS 4 PA66AGEUAT9 * CLA66 II FIRE REGUIRED VERTICAL EXITS 4 PA66AGEUAT9 * CLA66 II INTERIOR FLOORE FROME FROME REGUIRED VERTICAL EXITS 4 PA66AGEUAT9 * CLA66 II INTERIOR FLOORE FROME FROME FROME CORRIDORS FROMUNDAGE EXIT ACCES6 CLA66 II SECTION 305.0 FROME FROME FROME FROME FROME CLA66 II	3		
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD MER TABLE IO/O2: (2) TWO EXITS (3 PROVIDED) MINIMUM LEWITH OF EXIT ACCESS TRAVEL PER TABLE IO/065 (WITHOUT FIRE SUPP. SYSTEM) 250 FEET	-6 - 9		
allowable area: Type IIB Construction: ALIONALE AREA PER MEC. TABLE 503, 91 62,000 95.			
(F-1) Factory Industrial & (B) Business - Non Seperated Mixed Use ALLOWAPLE AREA CALCULATIONS TOTAL AREA: 47128 BOLARE FEET			
NOTE: TOTAL AREA 16 UNDER ALLOUIABLE AREA.		proposed office area	
fire suppression system note: ENTIRE BUILDNG TO BE LOOR FIRE SUPPRESSED. FIRE FROTECTION CONTRACTOR TO FROVIDE SHOP DRAWINGS FOR APPROVAL. PRIOR TO THE INSTALLATION OF AN AUTOMATIC SPRINKLER SYSTEM FLANS SHALL BE DIRPITTED AND	8. - 0.	4,880 sq. ft.	
PRICK TO THE INSTALL ATCH OF AN AUTOMATIC SPRINCLER SYSTEM; ANA BAALL BE UNDITTED AND APPROVED BY THE FIRE MARKALL, A VINIHUM OF THREE (5) SETS OF COPILIETS BY RANKALLER PLANS BY THE FIRE DEPARTMENT, AND ALL OTHERS UILL BE RETURNED TO THE SPRINCLER CONTRACTOR. THE SPRINCLER SYSTEM SHALL BE INSTALLED AND MAINTAMED IN ACCORDANCE WITH NIFPA IS AND ALL LOCAL ORDINANCES.	<u></u>	53'-6"	5)'-6"
		32'-0" [0'-0" [0'-0"]	56'-8" (03)-4"
	North floor plan	A	B

Project: Proposed Industrial Proposed Industrial			Frank Salamone architects engineers planners
Image: Second	51'-6"	L	
Image: Second			48701 hayes rd shelby, mi 48315
Automatical and a second a			Y
Image: Control of the sector of the secto			© 2008- FRANK SALAMONE ARCHITECT INC. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY
Image: Control of the sector of the secto			OF FRANK SALAMONE ARCHITECT INC. ANY REPRODUCTION, COPYING, REUSE OR DISTRIBUTION OF THESE PLANS AND DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF FRANK SALAMONE' ARCHITECT INC
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Image: Second system Project: Project: Proposed Industrial Development for: Image:			
Image: Proposed Industrial Development for: 1465 Pacific Dr. Auburn Hills, MI Image: Properties of the second s			S.P.A. 08/15/23
Image: Proposed Industrial Development for: 1465 Pacific Dr. Auburn Hills, MI Image: Properties of the second s			
Image: Constrained by the second s		- - -	
1465 Pacific Dr. Aubum Hills, MI Client: DEI Properties 12955 23 Mile Road Sheet Title: FLOOR PLAN Project Number: I23-122 Drawn By: JFN Checked By: F.S.		4	Proposed Industrial Development for:
Aubum Hills, MI Aubum Hills, MI Client: DEI Propertics 12955 23 Mile Road Sheby Twp, MI 48315 Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.G.			
Image: Sector of the sector			1465 Pacific Dr.
3 DEI Properties 12955 23 Mile Road Shelby Twp., MI 48315 4 Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S.			Auburn Hills, MI
3 DEI Properties 12955 23 Mile Road Shelby Twp., MI 48315 4 Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S.			
3 DEI Properties 12955 23 Mile Road Shelby Twp., MI 48315 4 Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S.			
3 DEI Properties 12955 23 Mile Road Shelby Twp., MI 48315 4 Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S.			
3 12955 23 Mile Road Shelby Twp., MI 48315 12955 23 Mile Road Shelby Twp., MI 48315 4 5 6 7 9		46 233	Client:
3 12955 23 Mile Road Shelby Twp., MI 48315 12955 23 Mile Road Shelby Twp., MI 48315 4 5 6 7 9			
4 Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.5.			
A Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S. F.S.		+ + +(3)	Shelby Twp., MI 48315
A Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S. F.S.			
A Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S. F.S.			
A Sheet Title: FLOOR PLAN Project Number: 123-122 Drawn By: JFN Checked By: F.S. F.S.			
4 FLOOR PLAN Project Number: 123-122 123-122 Drawn By: JFN Checked By: F.S.		4	
4 FLOOR PLAN Project Number: 123-122 123-122 Drawn By: JFN Checked By: F.S.			
4 FLOOR PLAN Project Number: 123-122 123-122 Drawn By: JFN Checked By: F.S.			Sheet Title:
I23-122 Drawn By: JFN Checked By: F.S.		+++(4)	
I23-122 Drawn By: JFN Checked By: F.S.			Desired Manufacture
Drawn By: JFN Checked By: F.S.			
JFN Checked By: F.S. F.S.		- -	
F.S.		4	
F.S.			
TRANCESCO X X FRANCESCO X X ARQUICE X ARQUICE		ō	
BI-6"			F.9.
51-6-			*/FRANCESCO'S
	51. Z*		* SALAMONE ARCHITECT + F No.
	م- اح ہ	<u>د</u>	to see forme
	•	<u>د</u>	1

1/16" = 1'-0"

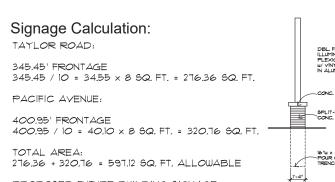
Sheet Number:

construction record

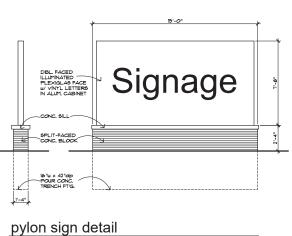
Issue: preliminary



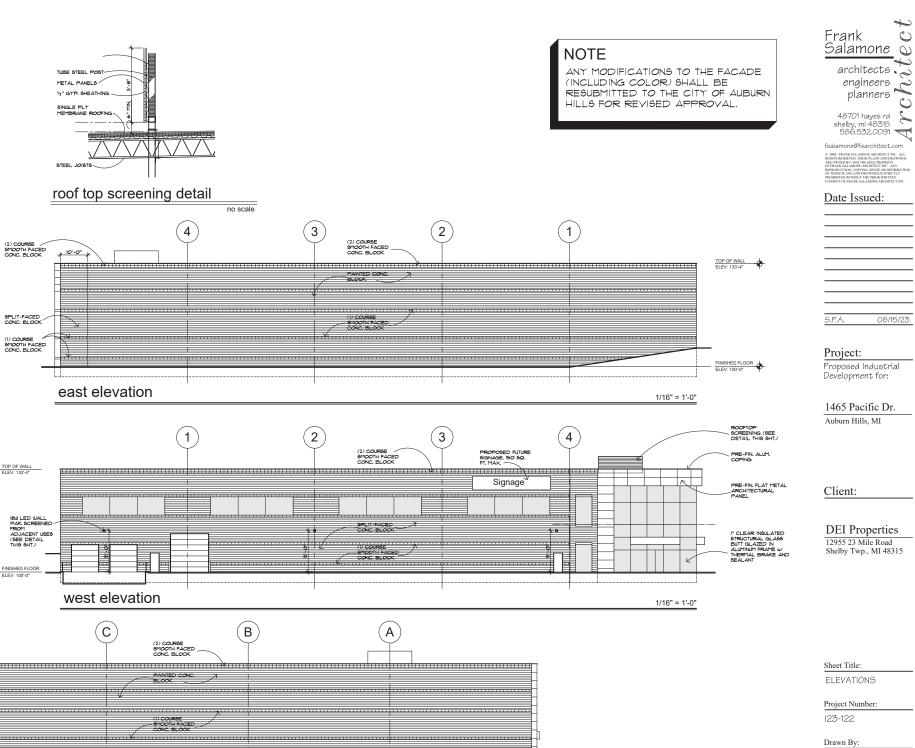
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PROPOSED FUTURE BUILDING SIGNAGE: 300 SQ. FT.



no scale

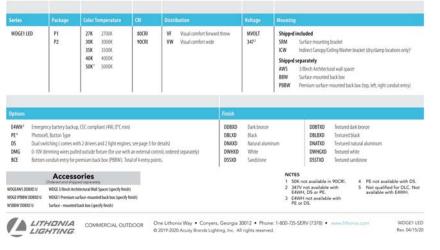


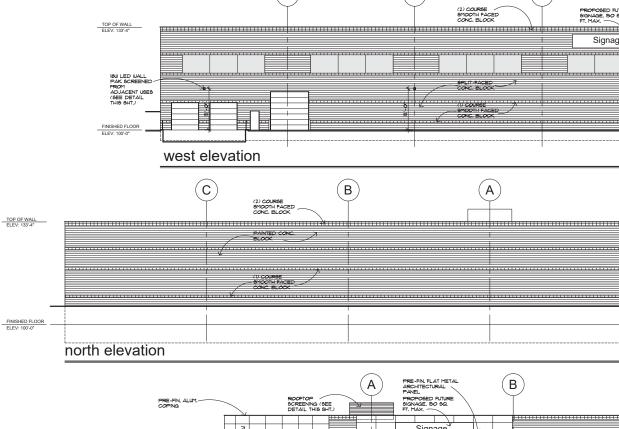


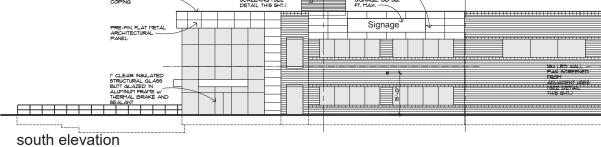
Luminaire				. PI	92	P3	P4	PS	PG
WDGE1 LED	4W	**	-	1,200	2,000		-	-	-
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	-	4
WDGE4 LED	-	+	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,00

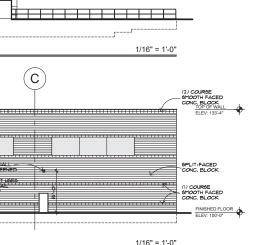


EXAMPLE: WDGE1 LED P240K 80CRI VF MVOLT SRM PE DDBXD









Checked By: F.S.

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D preliminary construction record

JFN

Sheet Number







1456 Pacific Drive Industrial

Auburn Hills, MI | August, 2023



We want to hear from you!

Come and help us *define* and *design* your age-friendly community!

How old will you and your neighbors be in 2040? A big change is coming. The City of Auburn Hills is preparing for a huge demographic shift and the increasing needs of our community.

Your input will help shape many of the City's future policy and financial decisions regarding housing, transportation and programs offered. Come tell us about your experiences and ideas for improving your community.

Open Meetings:

 Thurs., Sept. 28
 Community Center

 6:00 - 8:00 PM
 3350 E. Seyburn Drive

 Wed., Oct. 11
 Avondale High School

 6:00 - 8:00 PM
 2800 Waukegan Street

Refreshments will be provided.

AARP®

AGE FRIENDLY



RSVP appreciated! Bring a friend! *Please indicate which meeting(s) you plan to attend and if you are in need of special accommodations or transportation.*

Contact Gabriella Allen at **248.364.6943** to reserve your spot.



500 West Big Beaver Troy, MI 48084 troymi.gov



Planning Department 248.524.3364 planning@troymi.gov

August 29, 2023

Planning Commission Chairperson City of Auburn Hills City Administration Complex 1827 North Squirrel Road Auburn Hills, MI 48326

SUBJECT: Distribution of Draft Master Plan

In accordance with the Michigan Planning Enabling Act (PA 33 of 2008 as amended), the City of Troy has prepared an update to the existing Master Plan and requests your cooperation and comment on the Plan. The proposed amendments are related to the Neighborhood Node land classification as well as updates to land use and demographics.

A copy of the draft plan can be found here: <u>www.troymi.gov/draftmasterplan</u>. Hard (paper) copies may be provided upon request.

This letter represents a second notice, and initiation of the 63-day comment period, which will conclude with a public hearing at an upcoming Planning Commission meeting. Please direct all comments to the Secretary of the Planning Commission via the Planning Department, at the e-mail address below.

We thank you for your consideration in this matter. If you have any questions or comments on the City of Troy Draft Master Plan or process at this time, please contact:

R. Brent Savidant, AICP Planning Director City of Troy Planning Department 500 W. Big Beaver Troy, MI 48084

You can contact the City of Troy Planning Department at 248.524.3364 or by email to <u>planning@troymi.gov</u> with any questions you might have.

Sincerely,

R. Brent Savidant, AICP Community Development Director

cc: File/ City of Troy Master Plan