

AGENDA



Planning Commission Meeting
Wednesday, September 13, 2023 ❖ 7:00 p.m.

LOCATION: City Council Chambers
1827 N. Squirrel Road ❖ Auburn Hills MI

PHONE: 248-364-6900 ❖ www.auburnhills.org
Meeting minutes are on file in the City Clerk's office.

1. **MEETING CALLED TO ORDER**
2. **ROLL CALL OF PLANNING COMMISSION**
3. **PERSONS WISHING TO BE HEARD** (regarding items not on the agenda)
4. **APPROVAL OF MINUTES** –August 9, 2023
5. **PETITIONERS**
- 5a. **Five Points Community Church**
PART ONE – Public Hearing / Motion - Recommendation to City Council for approval of rezoning from R-4, One Family Residential and RM-1, Multiple Family Residential (Low Rise) to B-2, General Business District, or any other appropriate zoning district.

PART TWO - Public Hearing / Motion – Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approvals to construct a building addition.
- 5b. **Pacific and Taylor – Light Industrial Speculative Building (aka Pacific Drive Industrial)**
Public Hearing / Motion – Recommendation to City Council for Site Plan and Tree Removal Permit approvals to construct a light industrial building.
6. **OLD BUSINESS** - None
7. **NEW BUSINESS** – **Cancelation of the October 3, 2023 Planning Commission meeting.**
8. **COMMUNICATIONS**
- 8a. **Age-Friendly Community Conversation Meetings**

Meeting 1
Date: Thursday, September 28, 2023 - Time: 6:00 p.m. – 8:00 p.m - Location: Auburn Hills Community Center

Meeting 2
Date: Wednesday, October 11, 2023 - Time: 6:00 p.m. – 8:00 p.m. - Location: Avondale High School
- 8b. **Notice from the City of Troy Regarding Master Plan Update**
9. **NEXT SCHEDULED MEETING** – **Wednesday, November 8, 2023**, at 7:00 p.m. in the City Council Chamber
10. **ADJOURNMENT**

➤ **NOTE:** Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.

IMPORTANT NOTICE TO PETITIONERS

Items will be presented to the City Council on **Monday, September 25, 2023**. It will be necessary for you to have a representative present to answer any questions from the City Council. **CITY COUNCIL WILL NOT ACT ON YOUR ITEM IF YOU OR YOUR REPRESENTATIVE ARE NOT PRESENT.**



CITY OF AUBURN HILLS
PLANNING COMMISSION
MINUTES
NOT YET APPROVED

August 9, 2023

CALL TO ORDER: Chairperson Ouellette called the meeting to order at 6:30 p.m.

ROLL CALL: Present: **Carolyn Shearer, Dominick Tringali, Cynthia Pavlich, Brian Marzolf, Sam Beidoun, Laura Ochs, Chauncey Hitchcock, Greg Ouellette**
Absent: Ray Saelens
Also Present: City Planner Shawn Keenan, Director of Recreation and Senior Services, Karen Adcock
Guests: None

LOCATION: The Lodge at Hawk Woods Park & Campground, 3799 Bald Mountain Road, Auburn Hills, MI

3. PERSONS WISHING TO BE HEARD

4. APPROVAL OF MINUTES – June 7, 2023

Moved by Beidoun to approve the minutes of June 7, 2023.

Second by Shearer.

VOTE: Yes: Pavlich, Shearer, Beidoun, Tringali, Ochs, Hitchcock, Marzolf, Ouellette

No: None

Motion Carried (8-0)

5. PETITIONERS

6. UNFINISHED BUSINESS – None.

7. NEW BUSINESS

7a. Adopt Y2022-2023 Planning Commission Annual Report

Mr. Keenan highlighted the following from the Y2022-2023 Planning Commission Annual Report:

The Commission held nine meetings and recommendations were made to the City Council on 31 development-related items.

Notable projects included:

- The Parkways (Phase 3);
- TA Systems;
- 2111 North Squirrel Road;
- FANUC America;
- Clear View Car Wash;
- The Webster;
- TI Fluid Systems;
- UL Solutions;
- Atlantic Boulevard Light Industrial Speculative Building;
- Magna Seating;
- GM Electric Vehicle Parts Assembly, Distribution, and Office Facility.

Text Amendment to the Zoning Ordinance

- Article VIII, B-1, Limited Business Districts, and Article IX, B-2, General Business Districts.

Support Staff Training – Mr. Cohen and Mr. Keenan attended the APA's *National Planning Conference* held in Philadelphia in April 2023. Mr. Cohen also attended the *Michigan APA Conference* held on Mackinac Island in October 2022, and Mr. Keenan attended the conference virtually. They also participated in several other virtual planning webinars in 2022 and 2023.

Commission Training – Member Beidoun attended the *Michigan APA Conference* on Mackinac Island in October 2022. Many of the Commission members also attended the Robert's Rules training offered by the City.

Woodlands Preservation Ordinance – City's Tree Fund

- FANUC America Corporation, West Campus – The applicant made a payment of \$217,360 into the City's Tree Fund to account for the 572 replacement trees that could not be planted on-site or at alternate locations.

Moved by Tringali to adopt the Y2022-2023 Planning Commission Annual Report and submit it to City Council, respectfully recommending that the City Council ensure that the Y2023 City of Auburn Hills Budget allows for the following items:

1. Continued staff support from Mr. Cohen, Mr. Keenan, and the City's Administrative Development Review Team;
2. Funding planning activities (e.g., citizen participation, maps, printing, technical research, Master Plan and Zoning Ordinance updates, etc.);
3. Funding for educational materials and technical training for Commission members.

Second by Shearer.

VOTE: Yes: Pavlich, Shearer, Beidoun, Tringali, Ochs, Hitchcock, Marzolf, Ouellette

No: None

Motion Carried (8-0)

7b. Discussion about the Auburn Hills Master Land Use Plan

The Commission discussed the Master Land Use Plan. Mr. Keenan stated that the Downtown Neighborhood Master Plan will need to be updated in 2024, and suggested that any additional updates to the Master Land Use Plan be considered at that time.

The Commission discussed the importance of maintaining existing green space in the city. Mr. Marzolf mentioned a green space plan that had been done years ago. Mr. Keenan will locate a copy of that plan and include it in a future meeting packet. Mr. Keenan will also print a vacant land map and provide it to the Commission.

7c. Discussion on the Architectural Design Policy

The office has been working on the Architectural Design Policy, as it has not been updated in approximately twenty years. Mr. Tringali and Mr. Cohen have been working on it. All changes and items that have been updated are in red on the draft included for the Commission. Staff will continue to update and improve the policy.

7d. Updates on Developments

Mr. Keenan provided an update on the following developments:

- Kenwood Suites
- Ridgewood Villas
- Executive Hills North
- K9 Detection
- The Church of God in Christ
- Barrington Square
- Speedway
- Evolution Sports Plex
- Trailway Commons
- Morrell Group addition
- Brunswick
- Nino's Italian House
- Taylor Crossing Senior Apartments
- University Plaza
- TUV SUD
- Jiffy Lube
- Parkways Residence
- TA Systems
- FANUC America
- University Market
- The Webster
- UL Solutions
- The Avant
- Magna Seating
- GM Electric Vehicle Parts Assembly, Distribution and Office Facility
- Tommy's Boats

8. COMMUNICATIONS

The Michigan Association of Planners (MAP) annual conference will be held October 4-6, 2023, in Traverse City if Commissioners are interested in attending.

Mr. Keenan shared information regarding some upcoming developments that the Planning Commission will be asked to consider.

9. NEXT SCHEDULED MEETING

The July 12, 2023, meeting has been canceled due to the lack of applications. The next scheduled meeting is on Wednesday, August 9, 2023 at 7:00 p.m. in the City Council Chambers.

10. ADJOURNMENT

There being no further business, Chairperson Ouellette adjourned the meeting at 8:00 p.m.

Submitted by:

Susan McCullough, CMC, CMMC

Recording Secretary



CITY OF AUBURN HILLS PLANNING COMMISSION AGENDA

MEETING DATE: SEPTEMBER 13, 2023

**AGENDA ITEM NO. 5a.
COMMUNITY DEVELOPMENT**

To: Chairperson Greg Ouellette and the Planning Commission

From: Steven J. Cohen, AICP, Director of Community Development; and Shawn Keenan, AICP, City Planner

Submitted: September 8, 2023

Subject: Five Points Community Church
PART ONE - Public Hearing / Motion - Recommendation to City Council for approval of the rezoning of the portions of 3411 E. Walton Boulevard (14-12-376-010) from R-4, One Family Residential and RM-1, Multiple Family Residential (Low Rise) to B-2, General Business District.
PART TWO - Public Hearing / Motion – Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approvals to construct a building addition.

INTRODUCTION

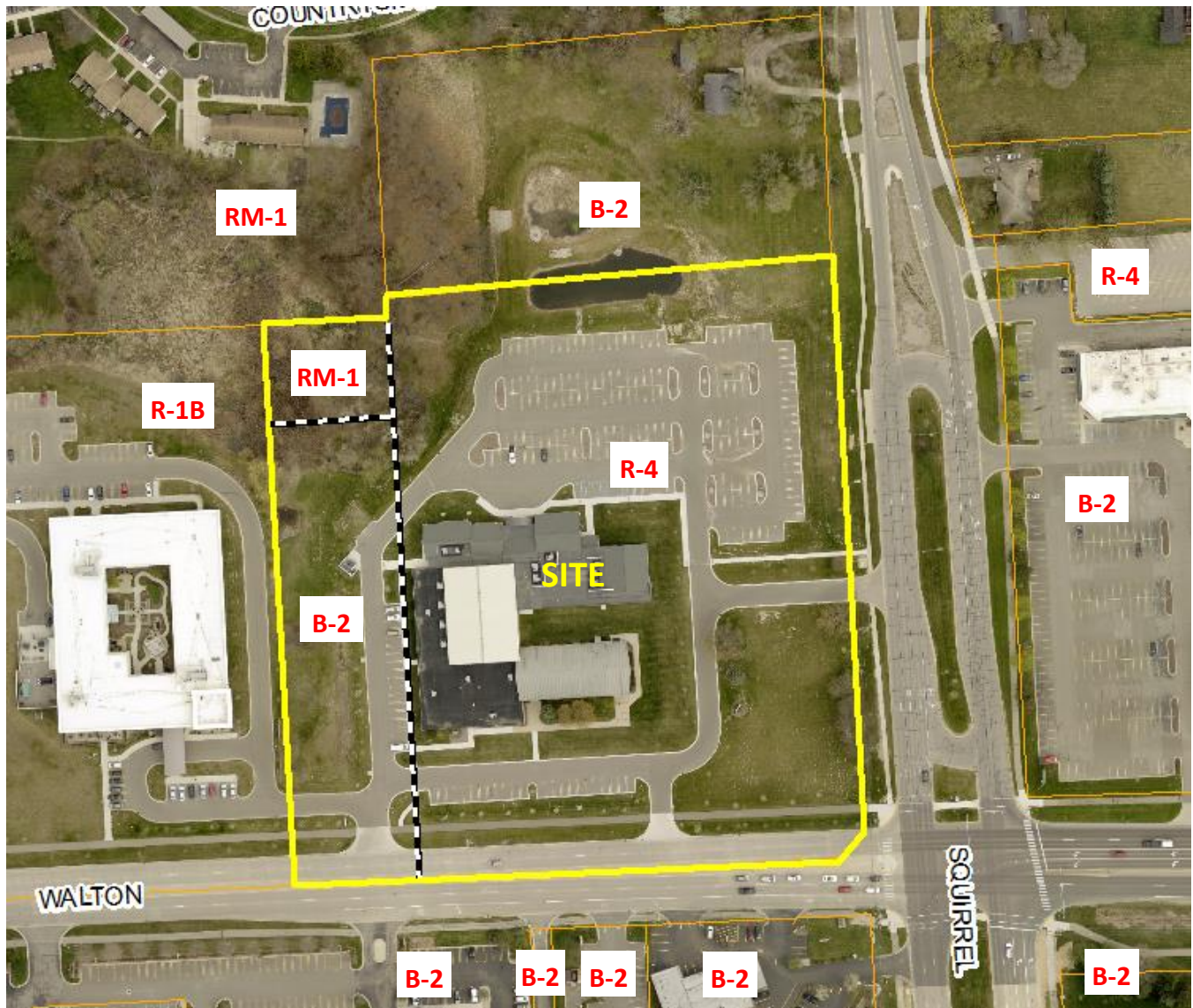
An application has been submitted by Cunningham-Limp Company on behalf of Five Points Community Church, located at 3411 E. Walton Boulevard, requesting the rezoning of the portions of their property and for the construction of a 10,220 sq. ft. building addition.

(PART ONE) REZONING REQUEST

Five Points Community Church requests approval to rezone the northwest corner of their parcel zoned RM-1, Multiple Family Residential (Low Rise) District, and the eastern portion of their parcel zoned R-4, One Family Residential District to B-2, General Business District. The rezoning would result in the entire parcel having the same zoning designation of B-2, General Business District, bringing the whole site in line with the City's Master Land Use Plan's Non-Residential Land Use Classification.

EXISTING CONDITIONS

Adjacent Properties	Existing Land Uses	Master Plan Designation	Existing Zoning
North	Vacant Parsonage/House	Non-Residential	B-2
East – across Squirrel	Auburn Square Shopping Plaza, St. John Fisher Chapel	Non-Residential	B-2 and R-4
Southeast – across intersection	Oakland University	Public	SP
South – across Walton	Quality Lube, McDonald's, Points Plaza, BluePearl Pet Hospital	Non-Residential	B-2
West	The Avalon of Auburn Hills Retirement Home	Non-Residential	PUD Overlay (B-2 and RM-1)
Northwest	Countryside Townhomes	Residential	RM-1

EXISTING CONDITIONS – cont.

Aerial Photo of the Site and Surrounding Conditions

STAFF RECOMMENDATION

The adopted City of Auburn Hills *Master Land Use Plan* depicts the subject parcel as "Non-Residential" land use, and the adopted *Northeast Corner Neighborhood Master Plan* identifies the parcel as "Non-Residential." Therefore, we recommend Approval of the rezoning from R-4, One Family Residential District, and RM-1, Multiple Family Residential (Low Rise) District to B-2, General Business District, based on the Master Land Use Plan.

(PART TWO) SITE PLAN APPROVAL

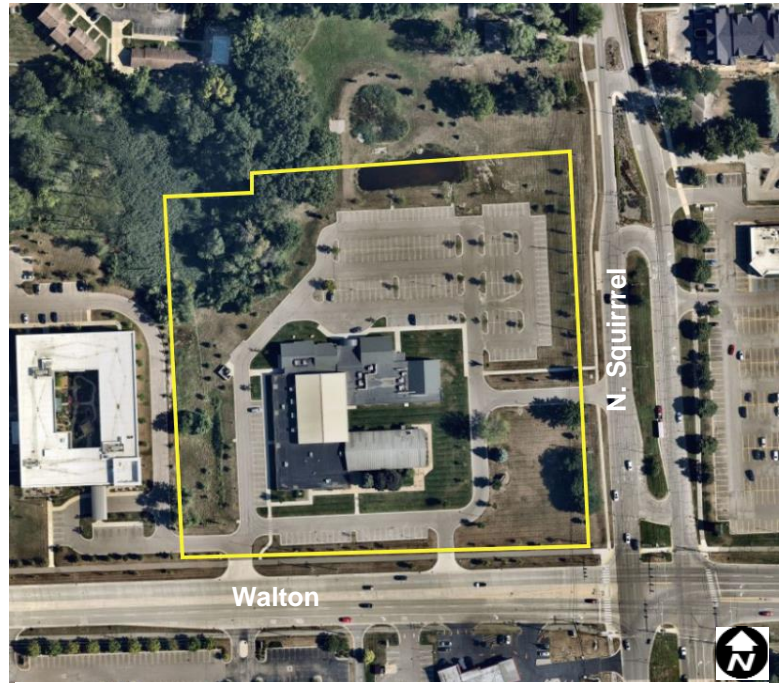
This is a request from Five Points Community Church to construct a 10,220 sq. ft. building expansion to their existing building located at 3411 E. Walton Boulevard. The site is 8.36 acres in size and zoned R-4, One-Family Residential, RM-1, Multiple-Family Residential, and B-2, General Business District.

(PART TWO) SITE PLAN APPROVAL cont.

The plans call for the demolition of the existing multi-purpose wing of the building to make room for the expansion that includes a new nave, sanctuary, commons area, green room, usher room, restroom, cry room, and hallway. Once the proposed project is complete, the overall building size will equal 45,780 sq. ft.

On March 19, 2018, Five Points Community Church completed its first expansion, which the City Council approved on March 27, 2017. That plan accommodated this proposed addition's anticipated parking and stormwater management needs.

Construction for this project is expected to begin in the Spring 2024, with completion taking place sometime in the Winter 2024. The overall investment is estimated at \$3 million.



Aerial Photo



Illustrated Site Plan

(PART TWO) SITE PLAN APPROVAL cont.

Color Rendering of the Proposed Building Looking West from the East Entrance Drive



Color Rendering of the Proposed Building Looking North from the South Parking Lot

STAFF RECOMMENDATION

This project has been reviewed by the City's Administrative Review Team and has received a recommendation for approval.

We recommend approval of the Special Land Use Permit request for the church addition and offer the following discretionary findings of fact:

1. The location of the use will not negatively impact adjacent areas, which are zoned non-residential (senior housing), multiple-family residential, and vacant parsonage.
2. The land will be used in accordance with its immediate character, which is planned and zoned for residential and non-residential development.
3. The requirements of Section 1818 in the City's Zoning Ordinance will be met.
4. The use will promote the purpose and intent of the City's Zoning Ordinance.
5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills, and the purpose and intent of the City's Zoning Ordinance.

We recommend Conditional Approval of the Site Plan and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
 - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
 - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to both Walton Boulevard and Squirrel Road.
 - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
 - d) A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
 - e) The proposed use will not have an unreasonable, detrimental, or injurious effect upon the natural characteristics of the subject parcel or the adjacent area.

STAFF RECOMMENDATION cont.

3. Based upon the number of seats within the main unit of worship or assembly, 121 parking spaces are required, and 212 parking spaces are depicted.
4. The parking layout meets minimum requirements, and barrier-free parking spaces are provided (seven are required and seven are provided). Two spaces are van accessible.
5. Building and parking setback requirements will be met.
6. Greenbelts are provided.
7. A 25-foot-wide natural buffer is provided along the edge of the existing wetland.
8. Landscape requirements will be met, and calculations have been submitted.
9. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. The existing light poles are 25 feet in height from the finished grade. No new light poles are proposed.
10. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
11. A note indicates that parking spaces shall be double-striped.
12. Ground-mounted and roof-mounted mechanical equipment will be screened.
13. A note indicates that no outside storage will be allowed, which includes pallet storage, overnight vehicles, or trailer storage.
14. The existing eight-foot wide pathway along Walton Boulevard and the five-foot wide concrete sidewalk along Squirrel Road will remain. Complete Streets considerations were made as part of the past site plan approval. The site includes a sidewalk from the building to the pathways along Walton Boulevard and Squirrel Road.
15. An Administrative Tree Removal Permit is required – three replacement trees are required, and three replacement trees are proposed.
17. The Church has agreed to prep the parking lot with four electric vehicle charging stations. They will install electrical stubs at planned station locations and will run conduit from the power source to the stubs at the time of construction to support the future installation of the charging stations, when needed.

Conditions:

1. The Church agrees to meet the requirements of Article XX Administration and Enforcement, Section 2007. Performance Guarantees.

(PART ONE) RECOMMENDED ACTION

"Move to recommend to City Council approval of the rezoning of the portions of parcel 14-12-376-010 from R-4, One Family Residential District and RM-1, Multiple Family Residential (Low Rise) District to B-2, General Business District."

(PART TWO) RECOMMENDED ACTION

"Move to recommend to City Council approval of the Special Land Use Permit and Site Plan for Five Points Community Church subject to the conditions of the City's Administrative Review Team."



AUBURN HILLS

JUL 26 2023

COMMUNITY DEVELOPMENT

Development Application

Project Name: Five Points Community Church - Phase II

General Project Location: _____

NW Corner of Walton and Squirrel Rd

Parcel Size: 8.61 Zoning: R-4Sidwell Number(s): 14-12-376-006, & -009Project Description: Building ExpansionBuilding Size (sq. ft.): 10,238 SF**City Use Only**Address: 3411 E WaltonDate Received: 7-26-23Fees Paid: \$4,450.00SP #: 230009SLU #(s): 230002

LD/LE/SUB #: _____

RZ #: 230001

PUD #: _____

ZBA #: _____

Check requested review(s)☒ Site Plan☒ Tree Removal Permit☒ Special Land Use Permit(s) Church andplaces of worship in B-2 district (also R-4)☐ Land Division☐ Land Exchange☐ Subdivision☐ Planned Unit Development - Step 1/Step 2/Combined☒ Rezoning R-4 RM-1 to B-2 1250.00☐ ZBA Variance or Interpretation

(see supplemental application)

☐ Other _____**Applicant**Name: Nicholas Devlin, C-L Signature: [Signature]Business Name and Address: Cunningham-Limp Company, 28970 Cabot Dr, Suite 100City: Novi State: MI Zip Code: 48377 Phone Number: 248-489-2300Fax Number: 248-489-2310 Alt. Phone Number(s): 248-318-7438**Property
Owner(s)**Name: Mike Martoia Signature: [Signature]Business Name and Address: Five Points Community Church, 3411 East Walton BlvdCity: Auburn Hills State: MI Zip Code: 48326 Phone Number: 248-373-1381

(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department,
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939
www.auburnhills.org

2-14-18 Version

67139

a cook@clc.build



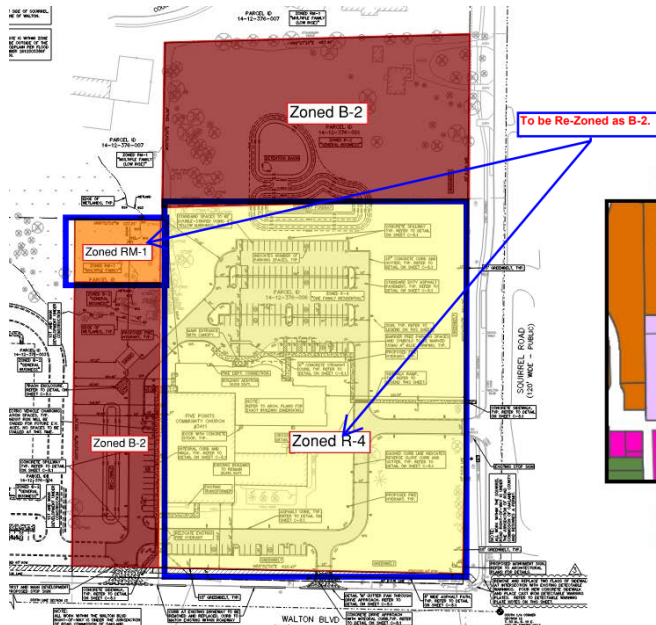
August 14, 2023

**RE: Re-Zoning of Adjacent Parcels
Five Points Community Church
3411 E Walton Blvd, Auburn Hills, 48326**

Dear Mr. Keenan:

In accordance with the City of Auburn Hills' master plan, we are notifying you on behalf of our client, Five Points Community Church, that the re-zoning of two existing (2) parcels from their existing designations to B-2 is to occur. See below:

- NW Parcel currently zoned RM-1: To be B-2.
- Church Parcel currently zoned R-4: To be B-2.



Sincerely,

Nick Devlin
Estimator
Cunningham-Limp





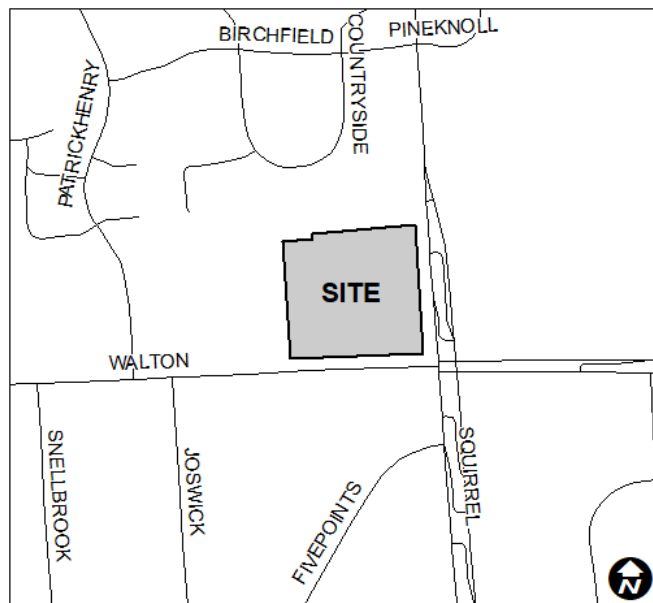
Planning Commission Public Notice

Meeting Date, Time, and Location:	Wednesday, September 13, 2023, at 7:00 p.m. City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Five Points Community Church
General Property Location:	3411 E. Walton Boulevard Sidwell No. 14-12-376-010
Applicant:	Nick Devlin, Cunningham-Limp Company – 248-318-7438
Nature of the Request:	Recommendation to City Council for approval of rezoning from R-4, One Family Residential and RM-1, Multiple Family Residential (Low Rise) to B-2, General Business District, or any other appropriate zoning district. Recommendation to City Council for Special Land Use and Site Plan approvals to construct a building addition.
City Staff Contact:	Shawn Keenan, AICP City Planner - 248-364-6926

Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application is available for inspection prior to the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.

Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Shawn Keenan, AICP, City Planner, at the above address.

Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 - 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.



LOCATION MAP

September 5, 2023

Mr. Shawn Keenan, AICP
City Planner
CITY OF AUBURN HILLS
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: Five Points Church Expansion
Site Plan 1st Review

Dear Mr. Keenan:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on August 10, 2023, was prepared by PEA Group. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.

GENERAL:

The site is located north of Walton Boulevard and west of Squirrel Road at 3411 Walton Boulevard in Section 12 of the City of Auburn Hills. The site currently consists of the existing Five Points Community Church building and associated parking lot. The applicant is proposing to remove the southeast wing of the existing building and construct a new 9,990 sq. ft. addition. The site is currently zoned One Family Residential (R-4); however, the applicant is proposing to rezone the site as General Business (B-2). The adjacent property to the west is zoned P.U.D. Overlay (P) and the adjacent properties to the north are zoned Multiple Family (Low Rise) (RM-1) and General Business (B-2). A complete legal description of the parcel is shown on the plan. The City of Auburn Hills Standard Notes and Fire Department notes are included on the plans. A landscape plan was included in the plan set and appears to be acceptable. A demolition plan has also been included in the plan set.

MUNICIPAL UTILITIES:

There is an existing 8-inch water main that extends from the 12-inch water main along Squirrel Road and loops around the existing building connecting to the existing 16-inch water main on Walton Blvd. The applicant is not proposing any changes to the existing water main as part of this project.

There is an existing 10-inch sanitary sewer that extends along Walton Blvd. Two existing sanitary sewer leads extend north from the main to the south and east side of the building. The applicant is not proposing any changes to the existing sanitary sewer as part of this project.



STORM SEWER AND DETENTION:

It appears that the site is located in the McPherson Drainage District, which has a maximum discharge rate of 0.20 cfs/acre. Storm water runoff for the site is currently collected via a series of catch basins and routed to a detention pond that ultimately outlets to the wetlands northwest of the site. The applicant is proposing to install a roof drain connection on the northeast side of the building addition which will connect to the existing 8-inch storm sewer on east side of the building. The applicant is also proposing to install a roof drain connection on the southwest side of the building addition which will connect to the existing 12-inch storm sewer on the south side of the building. No changes to the existing detention basin are proposed. The following storm water management narrative was included on the plans, "Since the storm water management system, designed and constructed in 2017, was built to accommodate future development conditions for the entire property, no additional storage has been provided for this addition." The existing detention basin was designed for a 'C' factor of 0.548 while the proposed 'C' factor is 0.546. No calculations or additional details, including storm sewer calculations, were included in the plan set.

TRAFFIC/PAVING:

Access to the site consists of one (1) existing approach off Squirrel Road and two (2) existing approaches off Walton Boulevard. Parking is located to the north, south, and west of the building. The applicant is not proposing any changes to the existing approaches or the number or location of parking spaces. A small portion of asphalt pavement south of the proposed addition is to be repaired after the storm sewer installation. A 5-foot-wide concrete sidewalk and 7-foot-wide concrete sidewalk is proposed on the east side of the proposed addition to provide access to the northern parking lot. Pavement cross-sections for the site have been provided on the plans and appear to meet City standards.

GRADING:

Existing and proposed grades are shown with spot elevations. The site is sloped towards the northern end of the parcel. The proposed improvements do not appear to substantially alter the existing drainage pattern. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalks shall comply with ADA standards. There are no retaining walls proposed as part of this project.

RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements and has been stamped "Approved" by our office. We ask that the site plan approval acknowledge the following:

1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
2. The developer must post a performance guarantee, in accordance with the City's requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities, pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.

If you have any questions or are in need of any further information, please feel free to contact our office.



Sincerely,
OHM Advisors

A handwritten signature in black ink that reads "MaryKate Kirksey". The signature is fluid and cursive, with the first name "MaryKate" and the last name "Kirksey" clearly visible.

MaryKate Kirksey for Hannah Driesenga, P.E.

Transmitted via e-mail to Shawn Keenan: September 5, 2023
cc: File

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EXPANSION_SITE REV#1_APP.DOCX



POLICE DEPARTMENT
1899 North Squirrel Road
Auburn Hills, MI 48326

MEMORANDUM

TO: Shawn Keenan, City Planner
FROM: Jeremy Stubbs, Lieutenant
DATE: August 7, 2023
SUBJECT: **Five Points Community Church Building Addition**

I have reviewed the site plans for the building addition. We have no objections to the project as presented in the site plans.



AUBURN HILLS FIRE DEPARTMENT



Official Memorandum

To: Shawn Keenan, City Planner
From: Fred Solomon, Fire Inspector
Date: July 31, 2023
Re: Site Plan Review PSP230009

PROJECT: Five Points Church Addition, 3411 Walton

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No Comments

Fred Solomon
Fire Inspector
Auburn Hills Fire Department



August 14, 2023

**RE: Citizens Participation Letter
Five Points Community Church
3411 E Walton Blvd, Auburn Hills, 48326**

Dear Neighbor:

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we are notifying you on behalf of our client, Five Points Community Church, that a development application will be submitted to the City of Auburn Hills to develop and expand their current building and site located at 3411 Walton Road. We intend to construct a new 10,300 square-foot one-story addition consisting of a new sanctuary, commons area & corridor, and supporting rooms. This is Phase II, a continuation of a project started in 2017. Phase I anticipated this future expansion by incorporating parking and stormwater requirements.

We feel that this project has been designed in such a manner to be aesthetically pleasing and will be in keeping with the character of the existing church and the rest of the local area. The new facility will also provide quality landscaping for the new construction to improve site aesthetics as visible from adjacent developments and from North Squirrel and Walton Roads. See the attached colored site plan and elevations.

The application also includes a request to rezone the eastern portion of the property (approximately 7.29 acres) from R-4, One Family Residential to B-2, General Business District, and the portion of the northwest corner of the property (approximately 0.30 acres) from RM-1, Multiple Family (Low Rise) to B-2, General Business District, to bring the entire parcel inline with the City Master Land Use Plan's non-residential land use classification.

The City of Auburn Hills Planning Commission is scheduled to review the development application on September 13, 2023. If you have any questions, concerns, or comments, please do not hesitate to contact me at 248-489-2300. If you wish to speak to a City representative, please contact Shawn Keenan, City Planner, at 248-364-6926.

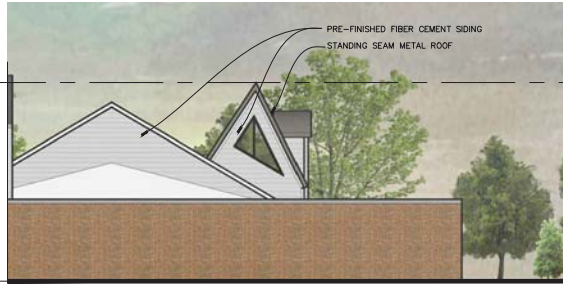
Sincerely,

Nick Devlin
Estimator
Cunningham-Limp





Site Plan



4 West Elevation
A.201 SCALE: 3/32" = 1'-0"



3 North Elevation
A.201 SCALE: 3/32" = 1'-0"



2 East Elevation
A.201 SCALE: 3/32" = 1'-0"



1 South Elevation
A.201 SCALE: 3/32" = 1'-0"



**AUGER KLEIN ALLER
ARCHITECTS INC.**

303 E. THIRD STREET SUITE 100
ROCHESTER, MI 48307
248.814.9160
WWW.AKA-ARCHITECTS.NET

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property of AKA Architects whether the
project is completed or not. They are not to be used by the
Owner on other projects or extensions to
this project except by agreement in writing
and with appropriate compensation to AKA
Architects. All original drawings shall
remain property of AKA Architects.

PROJECT
5 Points
Commun. Churc
Master Plan
3411 E. Walton
Auburn Hills, MI

DATE ISSUED 07.26.23
ISSUED FOR Site Plan Approval
08.10.23 Site Plan Approval

DRAWN
CHECKED
APPROVED

SHEET
Building
Elevations
scale as shown

FILE NUMBER
2302

SHEET NUMBER
A.201



Cunningham-Limp
Building Better Communities

Headquarters

28970 Cabot Drive • Suite 100
Novi • MI • 48377

NW Michigan

818 Red Drive • Suite 30
Traverse City • MI • 49684

www.cunninghamlimp.com

August 30, 2023

**RE: Citizens Participation Letter
Five Points Community Church
3411 E Walton Blvd, Auburn Hills, 48326**

Dear Mr. Keenan,

On August 16, 2023, letters were sent out to neighboring residents regarding the Five Points Church Phase II project based off the list provided by your office. As of this date, no responses or calls have been received regarding this CP letter.

Sincerely,

**Nicholas
Devlin**

Digitally signed by Nicholas Devlin
DN: cn=Nicholas Devlin, o=C-L,
ou=PM, Estimator,
email=ndevlin@clcbuild.com, c=US
Date: 2023.08.30 11:05:50 -0400

Nick Devlin
Estimator
Cunningham-Limp



Cunningham-Limp
Building Better Communities



The City of Auburn Hills

City Council Meeting Minutes - Excerpt

March 27, 2017

CALL TO ORDER: Mayor McDaniel at 7:00 p.m.

LOCATION: City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

Present: Mayor McDaniel, Council Members Burmeister, Hammond, Kittle, Knight, Mitchell and Verbeke

Absent: None

Also Present: City Manager Tanghe, Assistant City Manager Grice, City Attorney Beckerleg, Police Chief Olko, Fire Chief Manning, Community Development Director Cohen, Assessor Bill Griffin, City Clerk Kowal, DPW Director Melchert, Finance Director/Treasurer Schulz, Director of Authorities Mariuz, Mgr. of Public Utilities Michling, and Golf Manager/Pro Marmion.

15 Guests

9. NEW BUSINESS

9a. Motion - Approve a Special Land Use Permit, Site Plan and Tree Removal Permit / Five Points Community Church

Mr. Cohen explained the request to construction a 16,000 square foot addition on the north side of the existing building. The addition will include new offices, a commons room, youth group rooms, nursery rooms and a large gathering area. The plans call for the demolition of the southern wing, which was the original church, as well as the removal of a garage and existing one story concrete block building. The total investment in the project is \$3.2 million. Construction is anticipated to begin in May and be complete by December. The Planning Commission and staff both recommend approval of the project.

Mr. Cohen confirmed for Mr. Knight that only Phase One was being considered tonight and Phase Two would be considered at another time.

Ms. Hammond pointed out that the parking lot will be near the new senior development and will be nicely buffered. Chris Allard, AKA Architects representing Five Points Community Church, confirmed that it is appropriately landscaped with the landscape buffers.

Moved by Verbeke, Seconded by Knight.

RESOLVED: To accept the Planning Commission's recommendation and approve the Special Land Use Permit, Site Plan and Tree Removal Permit for Five Points Community Church subject to the conditions of the administrative review team."

VOTE: Yes: Burmeister, Hammond, Kittle, Knight, McDaniel, Mitchell, Verbeke

No: None

Resolution No. 17.03.047

Motion Carried (7 - 0)



CITY OF AUBURN HILLS
PLANNING COMMISSION
MINUTES - EXCERPT

March 15, 2017

1. **CALL TO ORDER:** Planning Commission Chairperson Ouellette called the meeting to order at 7:00 p.m.

2. **ROLL CALL:** Present: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Hitchcock, Mendieta (7:02 p.m.),
Pederson

Absent: Shearer

Also Present: Assistant City Planner Keenan

Guests: 10

Location: City Council Chamber, 1827 N. Squirrel Roads, Auburn Hills, MI 48326

5. **PETITIONERS**

5c. **Five Points Community Church (7:49 p.m.)**

Recommendation to City Council for approval of Special Land Use Permit, Site Plan and Tree Removal Permit

Mr. Keenan introduced the request from Five Points Community Church to construct a 16,019 sq. ft. building addition onto their existing building located at 3411 Walton Boulevard. The site is 11.3 acres in size and zoned R-4, One-Family Residential, RM-1, Multiple-Family Residential and B-2, General Business District.

Mr. Keenan explained the proposed building addition is located on the north side of the existing building and that the addition includes offices, a commons room, youth group rooms, nursery rooms, and a large gathering area.

Mr. Keenan noted the plans also call for the demolition of the southern wing of the existing church as well as the garage and existing one-story concrete block building located on the southwest portion of the property. Once the proposed project is complete, the overall building size will equal 41,601 sq. ft.

Mr. Keenan indicated that construction will begin May 2017 with completion taking place in December 2017. The overall investment is estimated at \$3.2 million.

Mr. Steve Auger 214 S. Broadway Suite 220, Lake Orion, MI 48362 explained that since this church is a permanent site in the community and serves the community with its sledding hill, food pantry, sports activities and mentoring program, the goal is to clean up the property and take down the older sections that are falling apart and add new ones to continue the activities for the community.

Ms. Ochs stated that she noticed there are a number of trees that will need to be replaced due to others being taken down.

Mr. Keenan clarified that dead trees are not counted as replacement trees unless they were part of the original landscape plan for the property. He stated that all regulated trees being removed are being replaced in accordance to the City's Woodland Preservation Ordinance.

Mr. Burmeister asked if the food pantry operations will be continued.

Mr. Mike Houston, Five Points Community Church member of the church building committee member indicated that the food pantry operations will continue.

Mr. Ouellette opened the meeting for Public Hearing at 8:05 p.m.

Hearing not comments Mr. Ouellette closed the Public Hearing at 8:05 p.m.

Motion made by Mr. Hitchcock to Move to recommend to City Council approval of the Special Land Use Permit, Site Plan and Tree Removal Permit for Five Points Community Church, subject to the conditions of the administrative review team.

Second by Mr. Beidoun

VOTE: YES: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Hitchcock, Mendieta, Pederson

NO: None

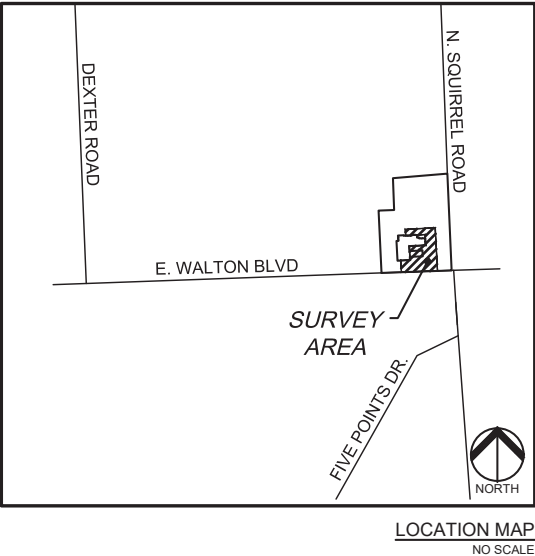
Motion Carried (8-0)

PRELIMINARY SITE PLANS

FIVE POINT CHURCH EXPANSION

3411 WALTON BLVD

AUBURN HILLS, OAKLAND CO., MICHIGAN



INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	DEMOLITION PLAN
C-3.0	DIMENSIONAL SITE PLAN
C-4.0	ENGINEERING PLAN - GRADING
C-4.1	ENGINEERING PLAN - STORM
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN AND TREE LIST
	SITE PLAN - COLOR RENDERING
A000	CODE COMPLIANCE PLAN
D.101	1ST FLOOR DEMOLITION PLAN
A.101	PHASE II FLOOR PLAN
A.201	BUILDING ELEVATIONS
PROJECT DESCRIPTION:	
PROJECT CONSISTS OF REMOVAL OF THE SOUTHEASTERN WING AND PROVIDE A NEW 9,990 SF. ADDITION TO THE EXISTING CHURCH FACILITY, THE INTERIOR OF THE EXISTING BUILDING WILL BE RENOVATED TO ACCOMMODATE THE PROPOSED ADDITION. THE PARKING AREA WILL REMAIN THE SAME AND PROVIDE 212 PARKING SPACES WITH NEW LANDSCAPING.	

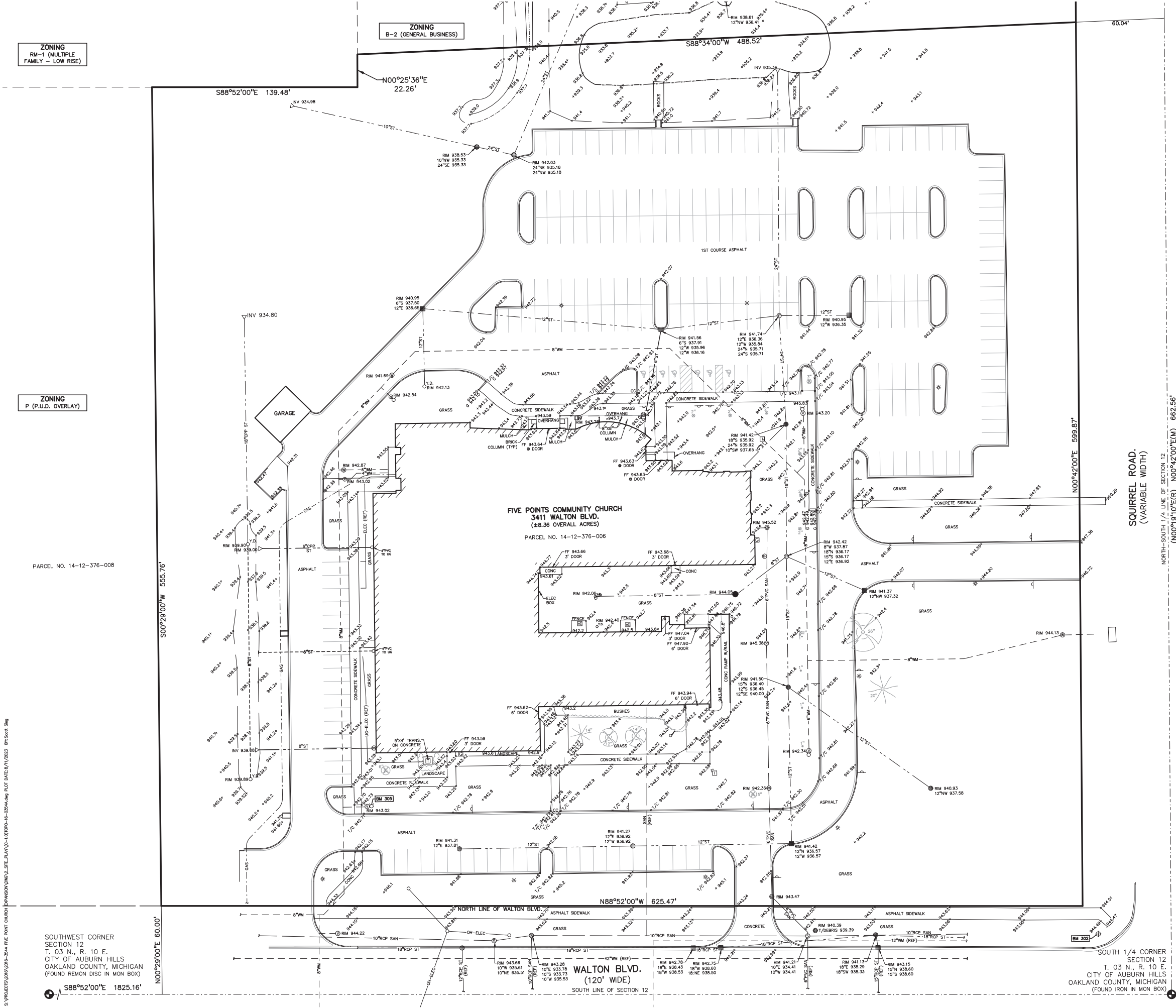
DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
CUNNINGHAM - LIMP 28970 CABOT DRIVE, STE 100 NOVI, MI 48377 CONTACT: NICK DEVLIN PHONE: 248-318-7438 EMAIL: NDEVLIN@CLC.BUILD	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
AUGER KLEIN ALLER 303 E. THIRD STREET, STE 100 ROCHESTER, MI 48307 CONTACT: MICAH WIERSMA PHONE: 248-287-7268 EMAIL: M.WIERSMA@AKA-ARCHITECTS.NET	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	7/26/2023
CITY COMMENTS	8/10/2023
CITY COMMENTS	9/6/2023





- LEGEND:**
- OH-ELEC-W-O- EX. OH, ELEC. POLE & GUY WIRE
 - UG-CATV- EX. U.G. CABLE TV & PEDESTAL
 - UG-COM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
 - UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
 - EX. GAS LINE
 - EX. GAS VALVE & GAS LINE MARKER
 - EX. TRANSFORMER & IRRIGATION VALVE
 - EX. WATER MAIN
 - EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
 - EX. WATER VALVE BOX & SHUTOFF
 - EX. SANITARY SEWER
 - EX. SANITARY CLEANOUT & MANHOLE
 - EX. COMBINED SEWER MANHOLE
 - EX. STORM SEWER
 - EX. CLEANOUT & MANHOLE
 - EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
 - EX. YARD DRAIN & ROOF DRAIN
 - EX. UNIDENTIFIED STRUCTURE
 - EX. MAILBOX, SIGN & LIGHTPOLE
 - EX. FENCE
 - EX. GUARD RAIL
 - EX. DEC. TREE, CONIFEROUS TREE & SHRUB
 - EX. TREE TAG, & TREE LINE
 - EX. SPOT ELEVATION
 - EX. CONTOUR
 - IRON FOUND / SET
 - NAIL FOUND / NAIL & CAP SET
 - BRASS PLUG SET
 - MONUMENT FOUND / SET
 - SECTION CORNER FOUND
 - RECORDED / MEASURED / CALCULATED

REFERENCE DRAWINGS:

TOPOGRAPHIC SURVEY, PEA JOB NO. 2016-354, DATED 01/09/2017

AS-BUILT STORM & SANITARY SEWER PLAN, PEA JOB NO. 2016-354, SHEET C-6.1, DATED 10/31/2017, REVISED 11/10/2018

AS-BUILT WATERMAIN PLAN, PEA JOB NO. 2016-354, SHEET C-6.2, DATED 10/31/2017, REVISED 11/10/2018

AS-BUILT GRADING PLAN - SOUTH, PEA JOB NO. 2016-354, SHEET C-4.1, DATED 10/31/2017, REVISED 11/10/2018

LEGAL DESCRIPTION:

LAND IN A PART OF THE SOUTHWEST 1/4 OF SECTION 12, TOWN 03 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 12, THENCE ALONG THE SOUTH LINE OF SECTION 12, SOUTH 88 DEGREES 52 MINUTES 00 SECONDS EAST 1825.16 FEET; THENCE NORTH 00 DEGREES 29 MINUTES 00 SECONDS EAST 60.00 FEET TO THE NORTH 60-FOOT RIGHT-OF-WAY LINE OF WALTON BLVD. AND THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 29 MINUTES 00 SECONDS EAST 555.76 FEET; THENCE SOUTH 88 DEGREES 52 MINUTES 00 SECONDS EAST 139.48 FEET; THENCE NORTH 00 DEGREES 29 MINUTES 00 SECONDS EAST 488.52 FEET TO THE WEST RIGHT-OF-WAY LINE OF SQUIRREL ROAD; THENCE ALONG SAID WEST LINE SOUTH 00 DEGREES 42 MINUTES 00 SECONDS WEST 599.87 FEET TO THE NORTH 60-FOOT RIGHT-OF-WAY LINE OF WALTON BLVD.; THENCE ALONG SAID NORTH LINE NORTH 88 DEGREES 52 MINUTES 00 SECONDS WEST 625.47 FEET TO THE POINT OF BEGINNING, CONTAINING 364,371 SQUARE FEET OR 8.36+ ACRES.

BENCHMARKS:

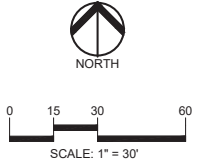
(GPS DERIVED - NAVD88)

BM #305
ARROW ON A HYDRANT LOCATED APPROX. 36' SOUTH FROM THE SOUTHWEST BUILDING CORNER OF 3411 WALTON BLVD.
ELEV. - 944.94

BM #302
TOP OF NORTHWEST BOLT OF A TRAFFIC SIGNAL POLE LOCATED AT THE NORTHWEST CORNER OF WALTON BLVD & SQUIRREL ROAD.
(TAKEN FROM PEA JOB NO. 2016-0554, NOT SHOWN IN SURVEY AREA)
ELEV. - 945.98

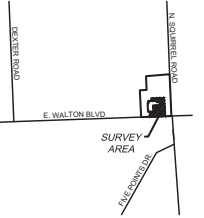
PEA GROUP

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www.peagroup.com



CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

CUNNINGHAM LIMP COMPANY

28970 CABOT DRIVE, SUITE 100
NORV, MICHIGAN 48377

PROJECT TITLE

FIVE POINT CHURCH EXPANSION

3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS	
CITY COMMENTS	8-10-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

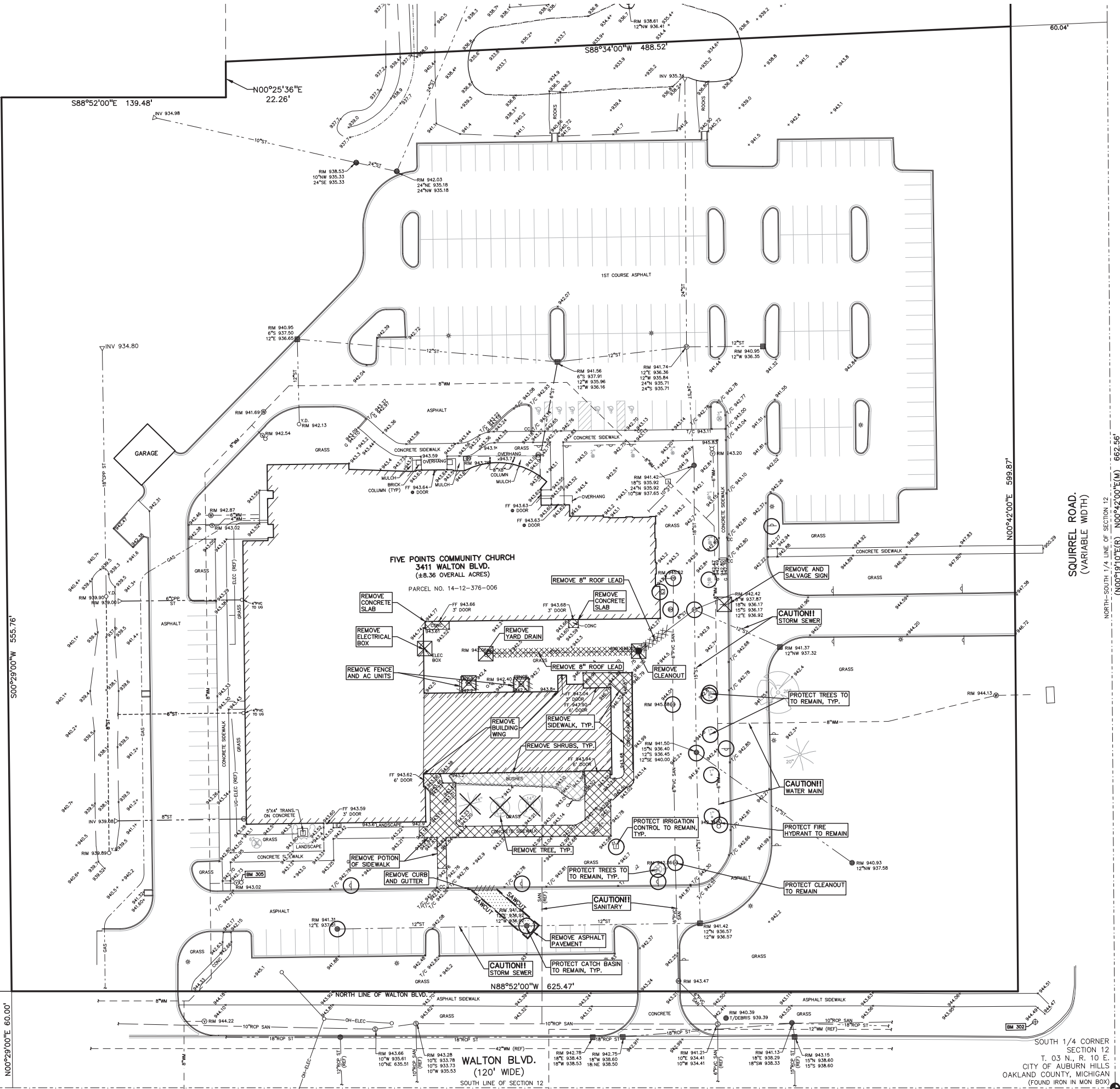
NOT FOR CONSTRUCTION

C-1.0

\\pea\proj\proj\PROJECTS\2016\16-0354A-16-0354A.dwg PLOT DATE: 8/10/2023 8/10/2023 8/10/2023

PARCEL NO. 14-12-376-008

SOUTHWEST CORNER
SECTION 12
T. 03 N., R. 10 E.
CITY OF AUBURN HILLS
OAKLAND COUNTY, MICHIGAN
(FOUND REMON DISC IN MON BOX)



DEMOLITION LEGEND:

- ITEM TO BE PROTECTED
- ITEM TO BE REMOVED
- CURB/FENCE REMOVAL
- CONCRETE PAVEMENT AND SIDEWALK REMOVAL
- AREA OR ITEMS TO BE REMOVED
- UTILITY REMOVAL
- ABANDON UTILITY
- ASPHALT REMOVAL
- TREE REMOVAL
- SAWCUT LINE

GENERAL DEMOLITION NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - REFER TO SHEET L-1.1 FOR TREE PROTECTION DETAILS.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

PEA
GROUP

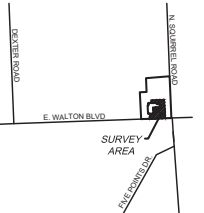
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0 15 30 60
SCALE: 1" = 30'



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CLIENT

CUNNINGHAM LIMP
COMPANY
28970 CABOT DRIVE, SUITE 100
NORV, MICHIGAN 48377

PROJECT TITLE

FIVE POINT
CHURCH
EXPANSION

3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS

CITY COMMENTS 8-10-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
DEMOLITION
PLAN

PEA JOB NO. 16-0354A

P.M. JAH

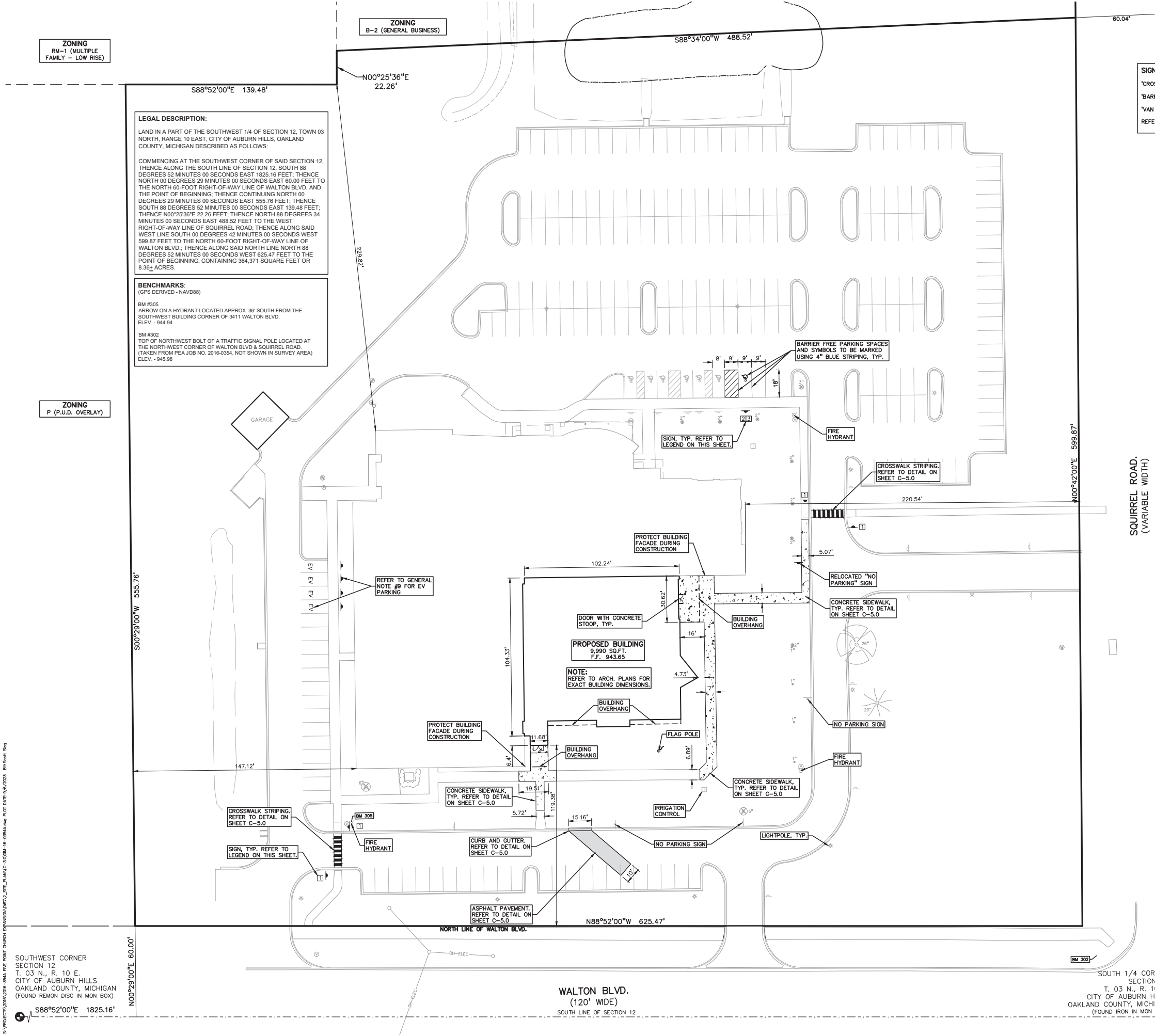
DN. SWS

DES. SWS

DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-2.0



ZONING
RM-1 (MULTIPLE
FAMILY - LOW RISE)

ZONING
B-2 (GENERAL BUSINESS)

ZONING
P (P.U.D. OVERLAY)

LEGAL DESCRIPTION:
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BENCHMARKS:
(GPS DERIVED - NAVD88)

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ARROW ON A HYDRANT LOCATED APPROX. 36' SOUTH FROM THE SOUTHWEST BUILDING CORNER OF 3411 WALTON BLVD.
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(TAKEN FROM PEA JOB NO. 2016-0354, NOT SHOWN IN SURVEY AREA)
ELEV. - 945.98

SIGN LEGEND:
'CROSSWALK' SIGN 1
'BARRIER FREE PARKING' SIGN 2
'VAN ACCESSIBLE' SIGN 3
REFER TO DETAIL SHEET FOR SIGN DETAILS

LEGEND:

CONCRETE PAVEMENT
ASPHALT PAVEMENT
CONCRETE CURB AND GUTTER
REVERSE GUTTER PAN
SETBACK LINE
SIGN LIGHTPOLE
FENCE
GUARD RAIL

SITE DATA TABLE:

SITE AREA: 8.36 ACRES (364,162 SF.) NET AND GROSS
ZONING: CURRENT (R-4) - PROPOSED (B-2)
PROPOSED USE: CHURCH

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 25 FT (2 STORIES)
PROPOSED BUILDING HEIGHT = 1 STORY
EXISTING BUILDING = 47,490 SF
EXISTING BUILDING TO BE DEMOLISHED = 11,700
EXISTING BUILDING AFTER DEMOLITION = 35,790
PROPOSED ADDITION = 9,990 SF
TOTAL BUILDING AREA = 45,780 SF
BUILDING LOT COVERAGE = 12.57%

SETBACK REQUIREMENTS:

	REQUIRED	PROPOSED
FRONT (SOUTH)	25'	119.4'
FRONT (EAST)	25'	220.5'
SIDE (WEST)	10'	147.1'
REAR (NORTH)	35'	229.8'

PARKING CALCULATIONS:
CHURCH = 1 SPACES FOR 3 SEATS INDOOR OR 6 FT OF PEWS,
TOTAL PARKING REQUIRED = 362 SEATS / 3 = 121 SPACES
TOTAL PROPOSED PARKING SPACES = 222 SPACES INC. TH/C SPACES

OPEN SPACE:
MINIMUM OPEN SPACE REQUIRED = 20%
PROVIDED OPEN SPACE = 44.33%

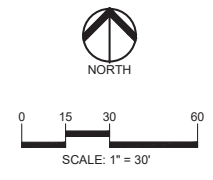
- GENERAL NOTES (CITY OF AUBURN HILLS):**
- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
 - SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
 - NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, OR TRAILER STORAGE.
 - GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO. 372.
 - PARKING SPACES SHALL BE DOUBLE STRIPED PER ZONING ORDINANCE NO. 372.
 - ENVIRONMENTAL IMPACT STATEMENT IS NOT REQUIRED AS PROPOSED DISTURBANCE FOR THIS WORK IS LESS THAN 20 ACRES.
 - LAND DIVISION OR COMBINATION IS NOT REQUIRED.
 - SPECIAL LAND USE PERMIT IS REQUIRED.
 - IN 2019 THE DEVELOPER PREPPED THE PARKING LOT WITH THE INSTALLATION OF ELECTRIC STUBS FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS. THE SPACES ARE DESIGNATED WITH 'EV' ON THE PLAN AND WILL BE ACTIVATED IF AND WHEN CHARGING STATIONS ARE INSTALLED.

- ADDITIONAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF AUBURN HILLS CURRENT STANDARDS AND REGULATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

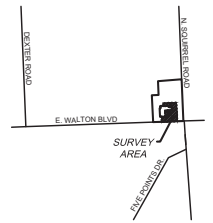
- FIRE DEPARTMENT NOTES:**
- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:

WHITE ON 4" MAINS
RED ON 6" MAINS
ORANGE ON 8" MAINS
GREEN ON 12" MAINS
BLUE ON 16" MAINS OR LARGER
 - NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.
 - THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WIDE PAVED DRIVEWAY OR STREET.
 - GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
 - ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
 - DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
 - A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
CUNNINGHAM LIMP COMPANY
28970 CABOT DRIVE, SUITE 100
NORV, MICHIGAN 48377

PROJECT TITLE
FIVE POINT CHURCH EXPANSION
3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS

CITY COMMENTS	8-10-23
CITY COMMENTS	9-6-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
DIMENSIONAL SITE PLAN

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS

DRAWING NUMBER:

S:\PROJECTS\2023\16-0354A\16-0354A.dwg PLOT DATE: 9/6/2023 8/1/2023 8/1/2023 8/1/2023

SOUTHWEST CORNER
SECTION 12
T. 03 N., R. 10 E.
CITY OF AUBURN HILLS
OAKLAND COUNTY, MICHIGAN
(FOUND REMON DISC IN MON BOX)

WALTON BLVD.
(120' WIDE)
SOUTH LINE OF SECTION 12

SOUTH 1/4 COR
SECTION
T. 03 N., R. 11
CITY OF AUBURN H
OAKLAND COUNTY, MICH
(FOUND IRON N MON

NOT FOR CONSTRUCTION

C-3.0

S:\PROJECTS\2016\16-0354\16-0354.dwg PLOT DATE: 9/6/2022 8:11 Scott Day

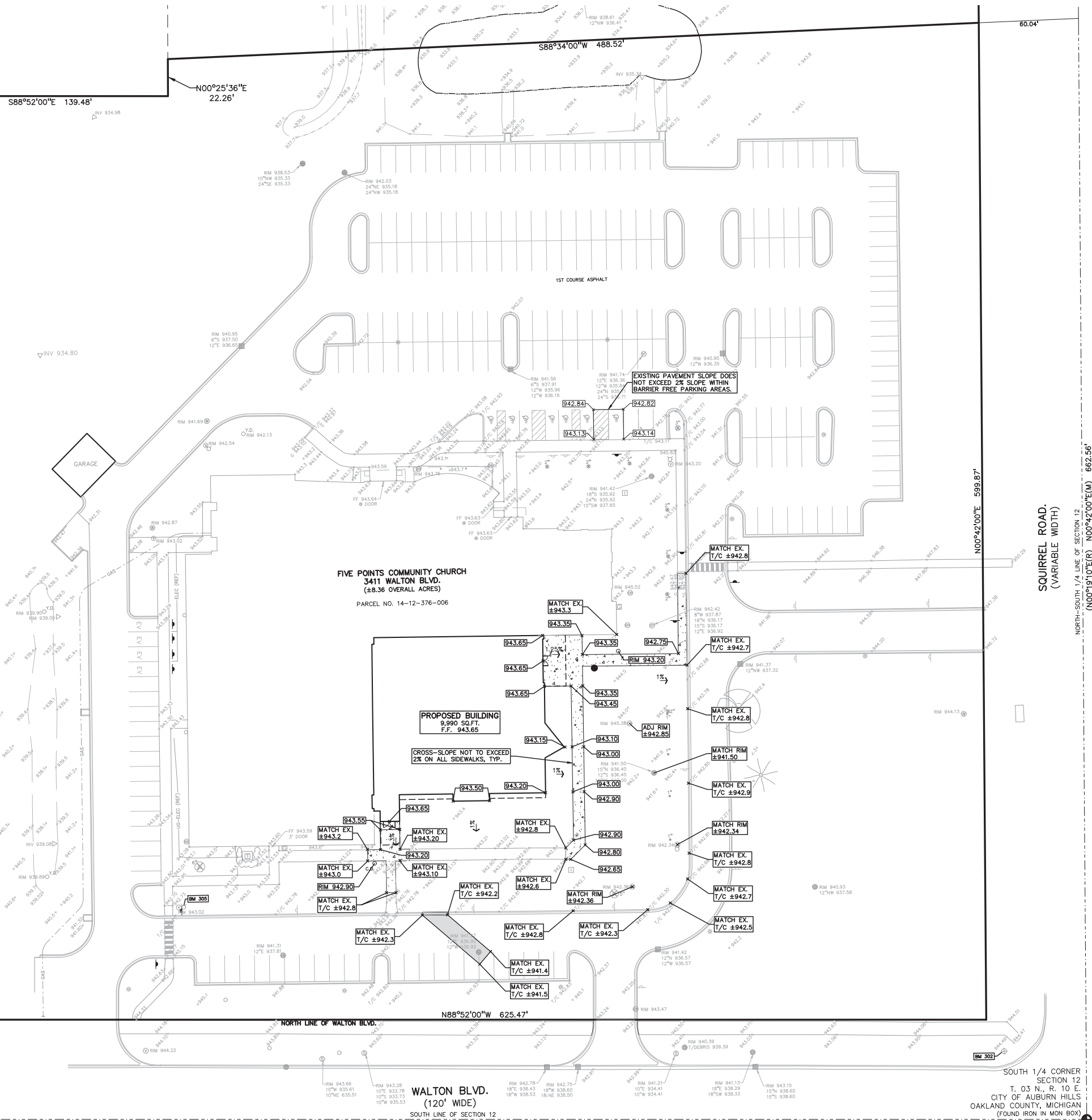
SOUTHWEST CORNER
SECTION 12
T. 03 N., R. 10 E.
CITY OF AUBURN HILLS
OAKLAND COUNTY, MICHIGAN
(FOUND REMON DISC IN MON BOX)

S88°52'00"E 1825.16'

N00°29'00"E 60.00'

S00°29'00"W 555.76'

*ARCEL NO. 14-12-376-008



GRADING LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

ABBREVIATIONS

T/C = TOP OF CURB	G = GUTTER GRADE
T/P = TOP OF PAVEMENT	FG = FINISH GRADE
T/S = TOP OF SIDEWALK	RM = RIM ELEVATION
T/W = TOP OF WALL	B/W = BOTTOM OF WALL

REFER TO GRADING NOTES ON SHEET C-9.0

CITY OF AUBURN HILLS STANDARD NOTES:

- CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS.
- NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.
- A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW.
- ALL CITY STREET MUST BE MAINTAINED DURING CONSTRUCTION. STREET SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
- WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM. SUNUP TO SUNDOWN, WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.
- ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.
- UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 55 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OFF OF THE PROJECT SITE.
- ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
- FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OFF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
- WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
- 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & McCLEMENT, INC. AT (734) 468-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

REFER TO GRADING NOTES ON SHEET C-5.0.

BENCHMARKS:
(GPS DERIVED - NAVD88)

BM #305
ARROW ON A HYDRANT LOCATED APPROX. 36' SOUTH FROM THE SOUTHWEST BUILDING CORNER OF 3411 WALTON BLVD.
ELEV. - 944.94

BM #302
TOP OF NORTHWEST BOLT OF A TRAFFIC SIGNAL POLE LOCATED AT THE NORTHWEST CORNER OF WALTON BLVD & SQUIRREL ROAD.
(TAKEN FROM PEA JOB NO. 2016-0354, NOT SHOWN IN SURVEY AREA)
ELEV. - 945.98

PEA GROUP

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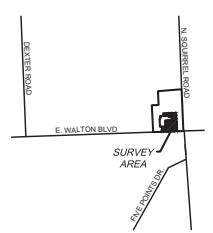
STATE OF MICHIGAN
JAMES T. PEA
Professional Engineer
No. 033860

NORTH

0 15 30 60
SCALE: 1" = 30'

811 *Before you dig, call 811*

CAUTION!!
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CLIENT
CUNNINGHAM LIMP COMPANY
28970 CABOT DRIVE, SUITE 100
NOVI, MICHIGAN 48377

PROJECT TITLE
FIVE POINT CHURCH EXPANSION
3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS	
CITY COMMENTS	8-10-23
CITY COMMENTS	9-6-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

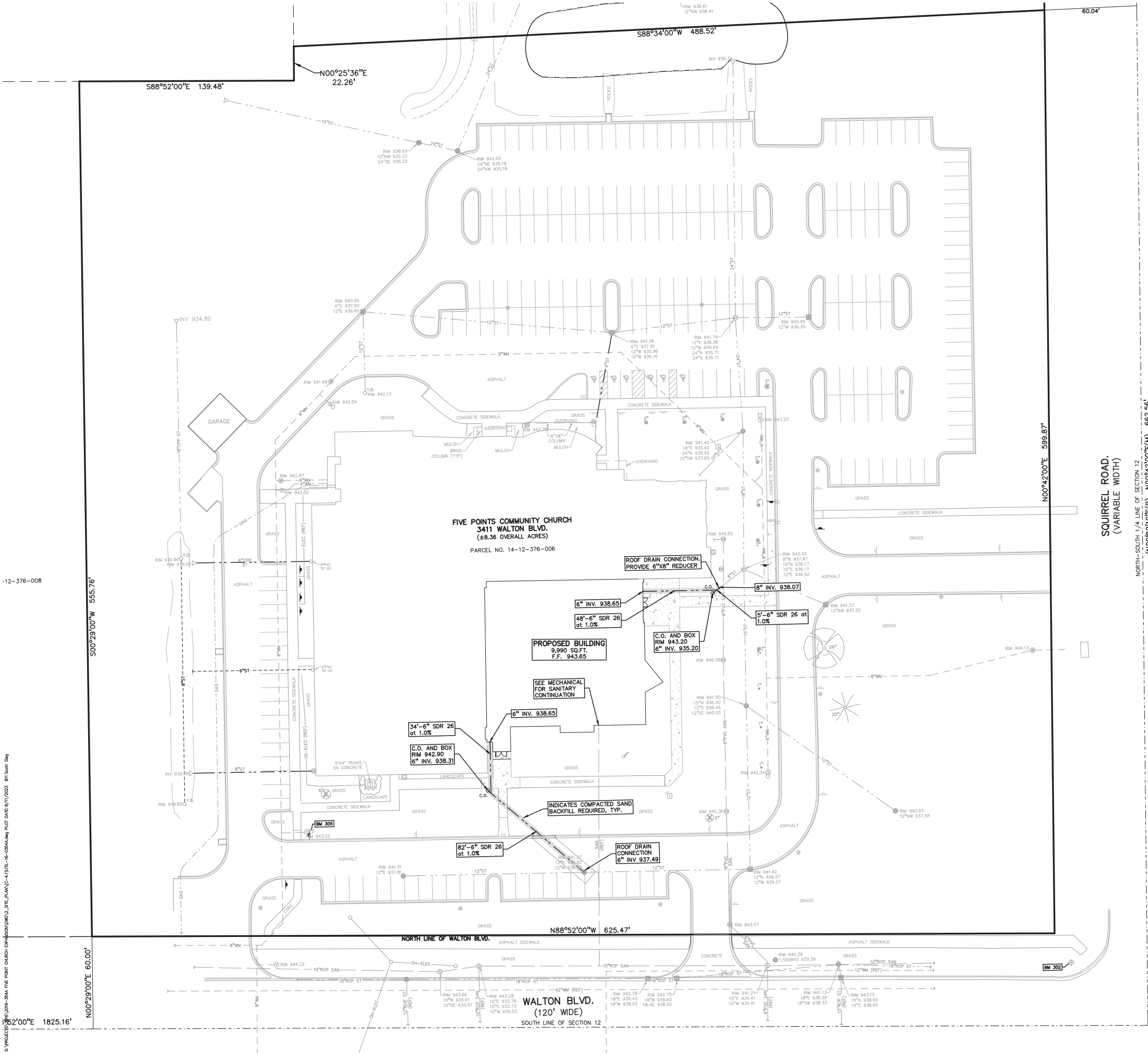
DRAWING TITLE
ENGINEERING PLAN - GRADING

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS

DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-4.0



UTILITY LEGEND:

- OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV EX. U.G. CABLE TV & PEDESTAL
- UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT AND GATE VALVE
- PROPOSED TAPPING SLEEVE, VALVE & WELL
- PROPOSED POST INDICATOR VALVE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY CLEANOUT & MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER CLEANOUT & MANHOLE
- PROPOSED CATCH BASIN, INLET & YARD DRAIN

STORM SEWER QUANTITIES:

6" SDR 26	169 LF
6" X 8" REDUCER	1 EA.
6" CLEAN OUT AND BOX	2 EA.

PREMIUM TRENCH BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 48" LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).

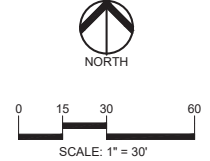
STORM WATER MANAGEMENT NARRATIVE:
SINCE THE STORM WATER MANAGEMENT SYSTEM, DESIGNED AND CONSTRUCTED IN 2017, WAS BUILT TO ACCOMMODATE FUTURE DEVELOPMENT CONDITIONS FOR THE ENTIRE PROPERTY, NO ADDITIONAL STORAGE HAS BEEN PROVIDED FOR THIS ADDITION. THE EXISTING SITE DETENTION BASIN "C" VALUE WAS DESIGNED AT 0.548 AND THE PROPOSED DETENTION BASIN "C" VALUE IS DESIGNED AT 0.546. REFER TO PREVIOUSLY APPROVED DESIGN DRAWINGS, REFERENCE PEA GROUP JOB NUMBER 2016-354 AND CHM JOB NUMBER 0120-15-1110

- NOTE:**
- CONTRACTOR SHALL VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.
 - 2.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL STORM SEWERS.
 - ROOF DRAIN SHALL BE CONNECTED AT A STRUCTURE. NO DIRECT TAP CONNECTIONS ARE ALLOWED.
 - REFER TO UTILITY NOTES ON SHEET C-5.0

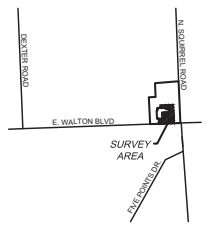
NOTE:
CONTRACTOR SHALL VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.

PEA GROUP
t: 844.813.2949
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STATE OF MICHIGAN
JAMES W. PEA
Professional Engineer
License No. 0336605



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CLIENT
CUNNINGHAM LIMP COMPANY
28970 CABOT DRIVE, SUITE 100
NOVI, MICHIGAN 48247

PROJECT TITLE
FIVE POINT CHURCH EXPANSION
3411 WALTON BLVD
AUBURN HILLS, MICHIGAN

REVISIONS

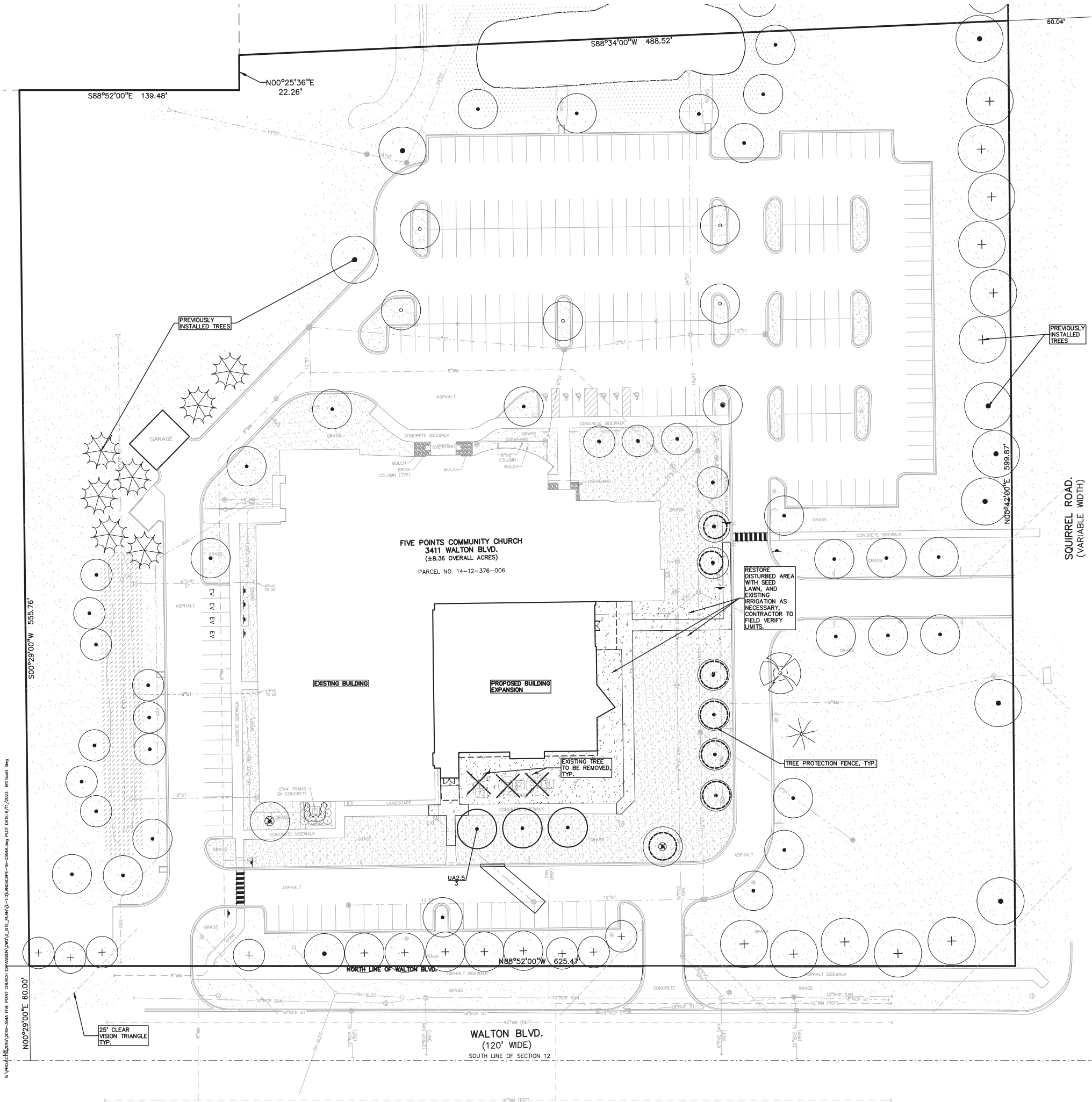
CITY COMMENTS	8-10-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
ENGINEERING PLAN-STORM

PEA JOB NO.	16-0354A
P.M.	JAH
DN.	SWS
DES.	SWS

DRAWING NUMBER:



KEY:

- PREVIOUSLY INSTALLED TREES
- TREE PROTECTION FENCE
- EXISTING TREE TO BE REMOVED
- RESTORE LAWN AND EXISTING IRRIGATION AS NECESSARY
- REPLACEMENT TREE
- SEE L-1.1 FOR TREE PROTECTION FENCE AND LANDSCAPE DETAILS

2023 REQUIREMENT	NET LANDSCAPE AREA	492,473 SQ FT. X 0.20 = 98,494.6 SF	PROVIDED (341,670 SF PROVIDED PREVIOUSLY 2017(69.4%)) 341,670 SF PROVIDED PREVIOUSLY 2017 - 9,990 SF NEW BLDG EXP. - 2338 SF NEW WALKS = 329,342 SF PROVIDED 2023 (66.9%)
REPLACEMENT TREE	3 TREES REQUIRED		3

2017, PREVIOUSLY APPROVED LANDSCAPE CALCULATION TABLE BELOW		
ALL LANDSCAPE HAS BEEN INSTALLED		
LANDSCAPE CALCULATIONS PER CITY OF AUBURN HILLS: ZONED R-4, B-1, RM-1		
REQUIREMENT	REQUIRED	PROVIDED
NET LANDSCAPE AREA	492,473 SQ FT. X 0.20 = 98,494.6 SF REQ.	341,670 SF PROVIDED (69.4%)
SITE AREA LANDSCAPE	98,497.9 SQ FT. / 1,000 = 99 TREES REQ.	31 EX. REGULATED TREES TO REMAIN (West Wooded area to remain-not included) 68 PROVIDED TREES
FRONTAGE LANDSCAPE	WALTON BLVD: 487.32 LF / 30 = 17 TREES SQUIRREL RD.: 616.87 LF / 30 = 21 TREES	17 TREES PROVIDED 9 EX. REGULATED TREES TO REMAIN (NO CREDITS PER CITY COMMENT 3.317.) 12 PROVIDED TREES
PARKING INTERIOR LANDSCAPE	1 TREE PER ISLAND (5 REQUIRED)	5 PROVIDED
TOTAL LANDSCAPE TREES	142 TREES REQUIRED (31 Ex. Trees to Remain)	102 TREES PROVIDED + 40 EXISTING TREES TO REMAIN (31 EX. REGULATED SITE AREA TREES + 9 EX. REGULATED FRONTAGE TREES, SEE ABOVE)
TOTAL REPLACEMENT TREES	20 TREES REQUIRED (REPLACEMENT TREES REQUIRED MAY BE USED AS LANDSCAPE TREES)	20
102 TOTAL TREES PREVIOUSLY PROVIDED, 2017		

ADDITIONAL NOTES PER CITY OF AUBURN HILLS

- TREES PROPOSED TO BE SAVED WILL BE IDENTIFIED WITH CHALK BASE FLUORESCENT ORANGE PAINT, OR RED FLAGGING TAPE.
- TREES TO BE PRESERVED WILL BE PROTECTED WITH 4' HIGH SNOW FENCE WITH METAL "T"-POSTS EVERY 5'
- PROTECTIVE BARRIERS ARE TO BE ERRECTED PRIOR TO CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED.
- NO FILL OR DEBRIS IS ALLOWED WITHIN THE PROTECTED AREA.
- DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, BOULDERS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
- NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.
- ALL INSTALLED TREES ARE TO BE NORTHERN GROWN.
- ALL INSTALLED TREES ARE TO HAVE A STRAIGHT TRUNK.
- ALL INSTALLED TREES ARE TO BE STATE DEPARTMENT OF AGRICULTURE NURSERY GRADE NO. 1 OR BETTER.
- ALL REPLACEMENT TREES ARE CONSIDERED PROTECTED REGARDLESS OF SIZE.
- ALL TREES SHALL BE GUARANTEED FOR A MINIMUM OF TWO YEARS.
- IF EVERGREEN TREES ARE IN MULCHED BEDS, PROVIDE SEPARATE ZONE FROM LAWN, AVOID OVERHEAD SPRAY.

SEED LAWN NOTE:
LAWN SEED SHOULD BE A VARIETY NORMALLY FOUND GROWING IN OAKLAND COUNTY.

IRRIGATION NOTE:
ALL LANDSCAPED AREAS NOTED SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM.

TAG NO.	DBH	LATIN NAME	COMMON NAME	COND	COMMENT	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)
11	12	Acer platanoides	Norway Maple	good		REG./REPLACE	-	X
12	11	Acer platanoides	Norway Maple	good		REG./REPLACE	-	X
13	14	Acer platanoides	Norway Maple	good		REG./REPLACE	-	X

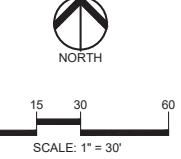
DESCRIPTION	SURVEYED TREES	REPLACEMENT TREE
Non-regulated trees	0	0
Removed - Landmark Trees (24")	0	0
Removed - Regulated Trees	3	3
Saved (Reg/LM)	0	
Totals	3	3

REPLACEMENT TREE PLANT LIST

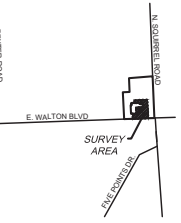
DECIDUOUS TREE

QTY.	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	UA2.5	Princeton elm	Ulmus americana 'Princeton'	2.5" Cal.	B&B
3		TOTAL DECIDUOUS TREES			

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CLIENT
CUNNINGHAM LIMP COMPANY
28970 CABOT DRIVE, SUITE 100
NORV, MICHIGAN 48377

PROJECT TITLE
FIVE POINT CHURCH EXPANSION
3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS
CITY COMMENTS 8-10-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

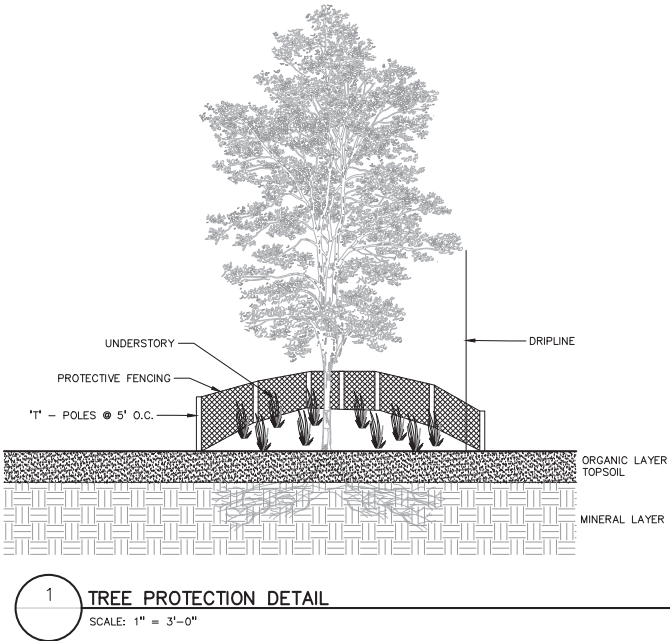
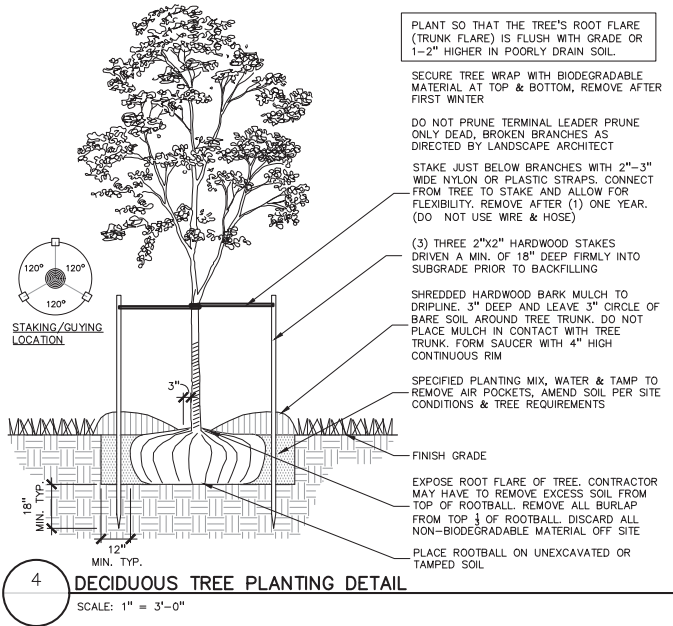
DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN

PEA JOB NO. 16-0354A
P.M. JAH
DN. BZ
DES. JLE
DRAWING NUMBER:

NOT FOR CONSTRUCTION

L-1.0

S:\PROJECTS\2016-2018\16-0354\16-0354A-11\LANDSCAPE DETAILS-16-0354A.dwg PLOT DATE: 6/17/2023 BY: SWH Day



GENERAL PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
9. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
10. ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
11. NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
14. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
15. ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
17. FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.

PER CITY OF AUBURN HILLS:

- IDENTIFY ON SITE ALL TREES OR AREAS OF TREES WHICH ARE BEING PROPOSED TO BE PRESERVED WITH FLUORESCENT ORANGE SPRAY PAINT (CHALK BASE) OR BY RED FLAGGING TAPE.
- ERECT BARRIERS OF FOUR (4) FOOT HIGH FENCING STAKED WITH METAL "T-POSTS" FIVE (5) FEET ON CENTER OF ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN.
- PROTECTIVE BARRIERS ARE TO BE ERECTED PRIOR TO ANY CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED.
- KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER.
- DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE FENCE LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, BOULDERS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
- NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.

AUBURN HILLS TREE PROTECTION NOTE

NOT TO SCALE

PER CITY OF AUBURN HILLS:

SECTION 138-12.109 MAINTENANCE:

- THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING AS FOLLOWS:
- A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
 - B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
 - C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
 - D. THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.109 WILL PLACE THE PARCEL IN NON CONFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
 - E. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

AUBURN HILLS MAINTENANCE NOTES

SCALE: 1" = 1'-0"

PEA GROUP

t: 844.813.2949
www.peagroup.com



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

CUNNINGHAM LIMP COMPANY
28970 CABOT DRIVE, SUITE 100
NOV, MICHIGAN 48377

PROJECT TITLE

FIVE POINT CHURCH EXPANSION

3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS

CITY COMMENTS	8-10-23
---------------	---------

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE

LANDSCAPE DETAILS

PEA JOB NO. 16-0354A

P.M. JAH

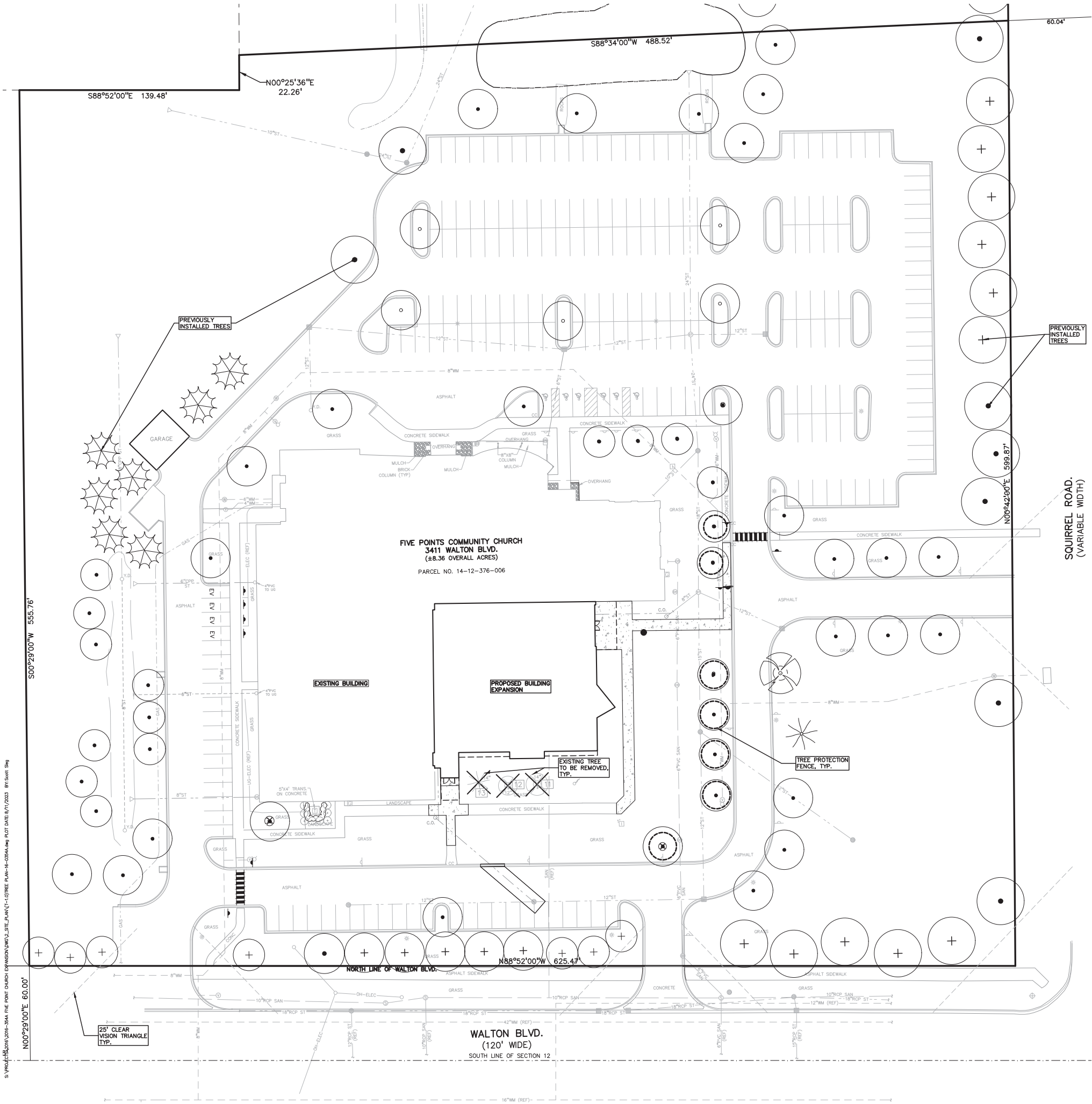
DN. BZ

DES. JLE

DRAWING NUMBER:

NOT FOR CONSTRUCTION

L-1.1



KEY:

= PREVIOUSLY INSTALLED TREES

= EXISTING TREE TO BE REMOVED

= TREE PROTECTION FENCE

TAG NO.	DBH	LATIN NAME	COMMON NAME	COND	COMMENT	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)
11	12	Acer platanoides	Norway Maple	good		REG./REPLACE	-	X
12	11	Acer platanoides	Norway Maple	good		REG./REPLACE	-	X
13	14	Acer platanoides	Norway Maple	good		REG./REPLACE	-	X

STANDARD TREES

STANDARD TREES REMOVED: 3 (1:1 REPLACEMENT REQUIRED)

LANDMARK TREES

LANDMARK TREES REMOVED: 0
LANDMARK TREE DBH REMOVED: 0 (25% DBH REPLACEMENT REQUIRED)
REPLACEMENT DBH REQUIRED: 0 INCHES

DESCRIPTION	SURVEYED TREES	REPLACEMENT TREES
Non-regulated trees	0	0
Removed - Landmark Trees (24")	0	0
Removed - Regulated Trees	3	3
Saved (Reg/LM)	0	0
Totals	3	3



t: 844.813.2949
www.peagroup.com



0 15 30 60
SCALE: 1" = 3'



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
CUNNINGHAM LIMP COMPANY
28970 CABOT DRIVE, SUITE 100
NOVI, MICHIGAN 48377

PROJECT TITLE
FIVE POINT CHURCH EXPANSION
3411 WALTON BLVD
AUBURN HILLS, OAKLAND CO., MICHIGAN

REVISIONS

CITY COMMENTS 8-10-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
TREE PRESERVATION PLAN & TREE LIST

PEA JOB NO. 16-0354A

P.M. JAH

DN. BZ

DES. JLE

DRAWING NUMBER:

T-1.0

ADDITIONAL NOTES PER CITY OF AUBURN HILLS

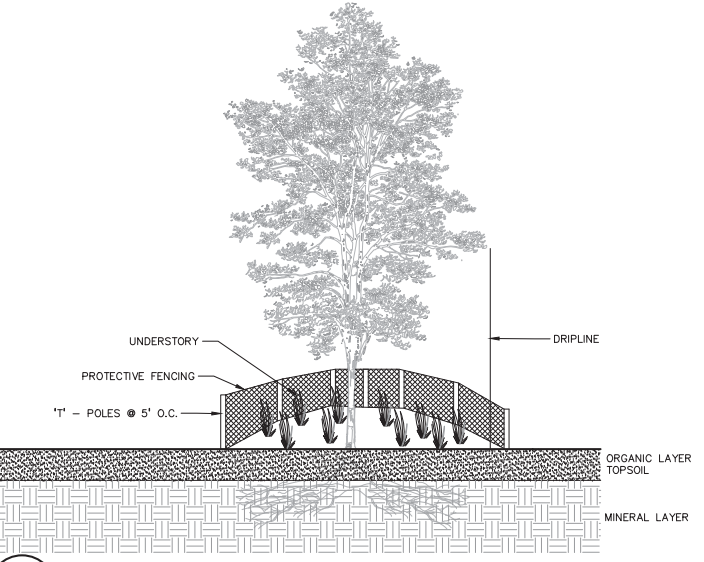
- TREES PROPOSED TO BE SAVED WILL BE IDENTIFIED WITH CHALK BASE FLUORESCENT ORANGE PAINT, OR RED FLAGGING TAPE.
- TREES TO BE PRESERVED WILL BE PROTECTED WITH 4" HIGH SNOW FENCE WITH METAL "T"-POSTS EVERY 5'
- PROTECTIVE BARRIERS ARE TO BE ERRECTED PRIOR TO CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED.
- NO FILL OR DEBRIS IS ALLOWED WITHIN THE PROTECTED AREA.
- DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, SOILS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
- NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.
- ALL INSTALLED TREES ARE TO BE NORTHERN GROWN.

SEED LAWN NOTE:
LAWN SEED SHOULD BE A VARIETY NORMALLY FOUND GROWING IN OAKLAND COUNTY.

IRRIGATION NOTE:
ALL LANDSCAPED AREAS NOTED SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM.

1 TREE PROTECTION DETAIL

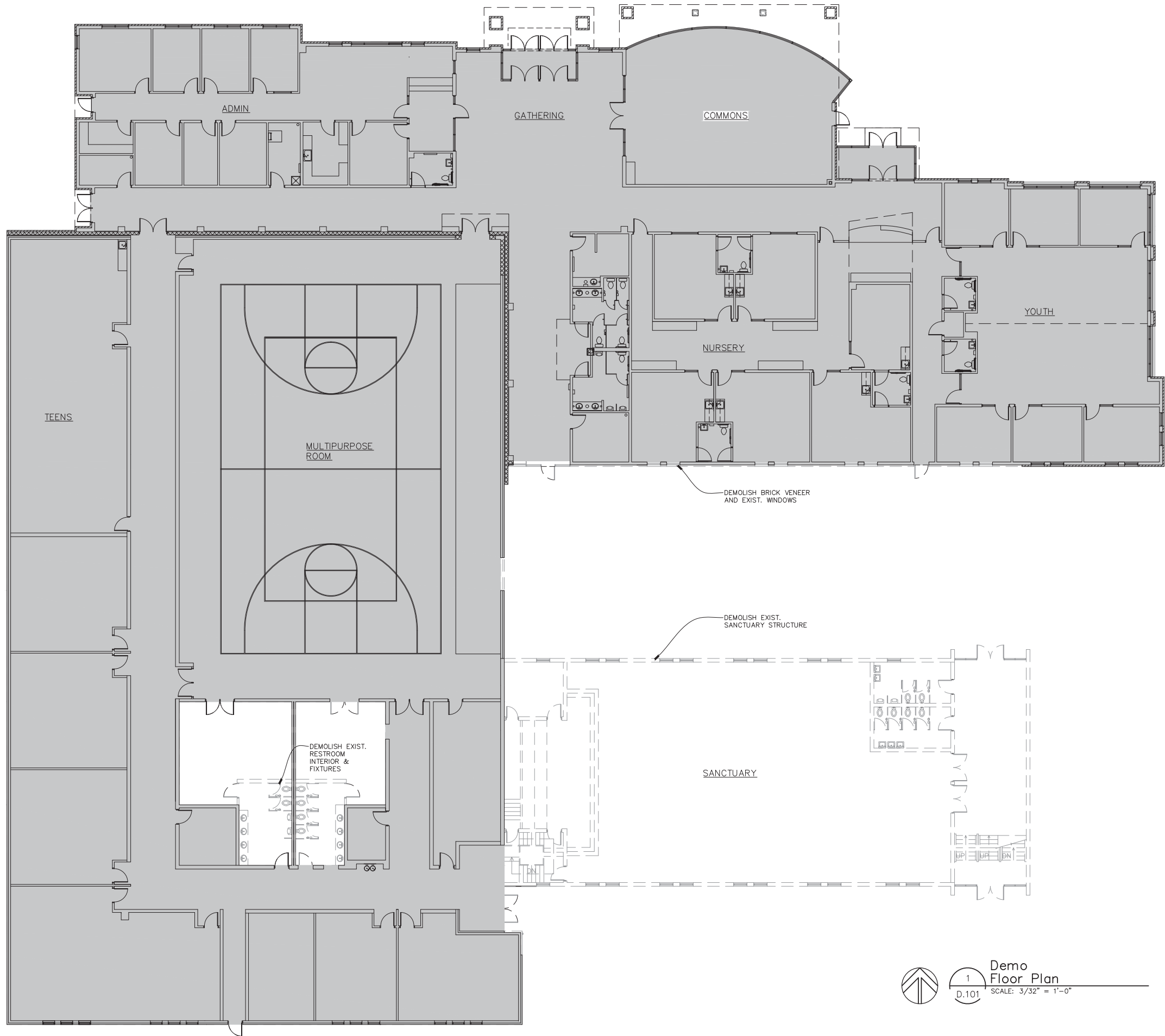
SCALE: 1" = 3'-0"



NOT FOR CONSTRUCTION



Site Plan



**AUGER KLEIN ALLER
ARCHITECTS INC.**

303 E. THIRD STREET SUITE 100
ROCHESTER, MI 48307
248.814.9160

WWW.AKA-ARCHITECTS.NET

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Use figured
dimensions only

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PROJECT

5 Points
Commun. Church
Master Plan
3411 E. Walton
Auburn Hills, MI

DATE ISSUED ISSUED FOR

08.10.23 Site Plan Approval

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. .
. .

DRAWN AKA

CHECKED CA

APPROVED CA

SHEET

1st Floor
Demolition Plan
scale as shown

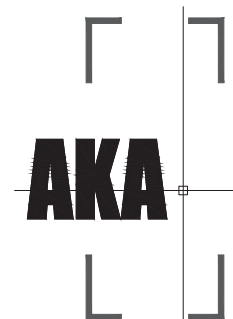
FILE NUMBER

2302

SHEET NUMBER

D.101

Demo
Floor Plan
1
D.101
SCALE: 3/32" = 1'-0"



WWW.AKA-ARCHITECTS.NET

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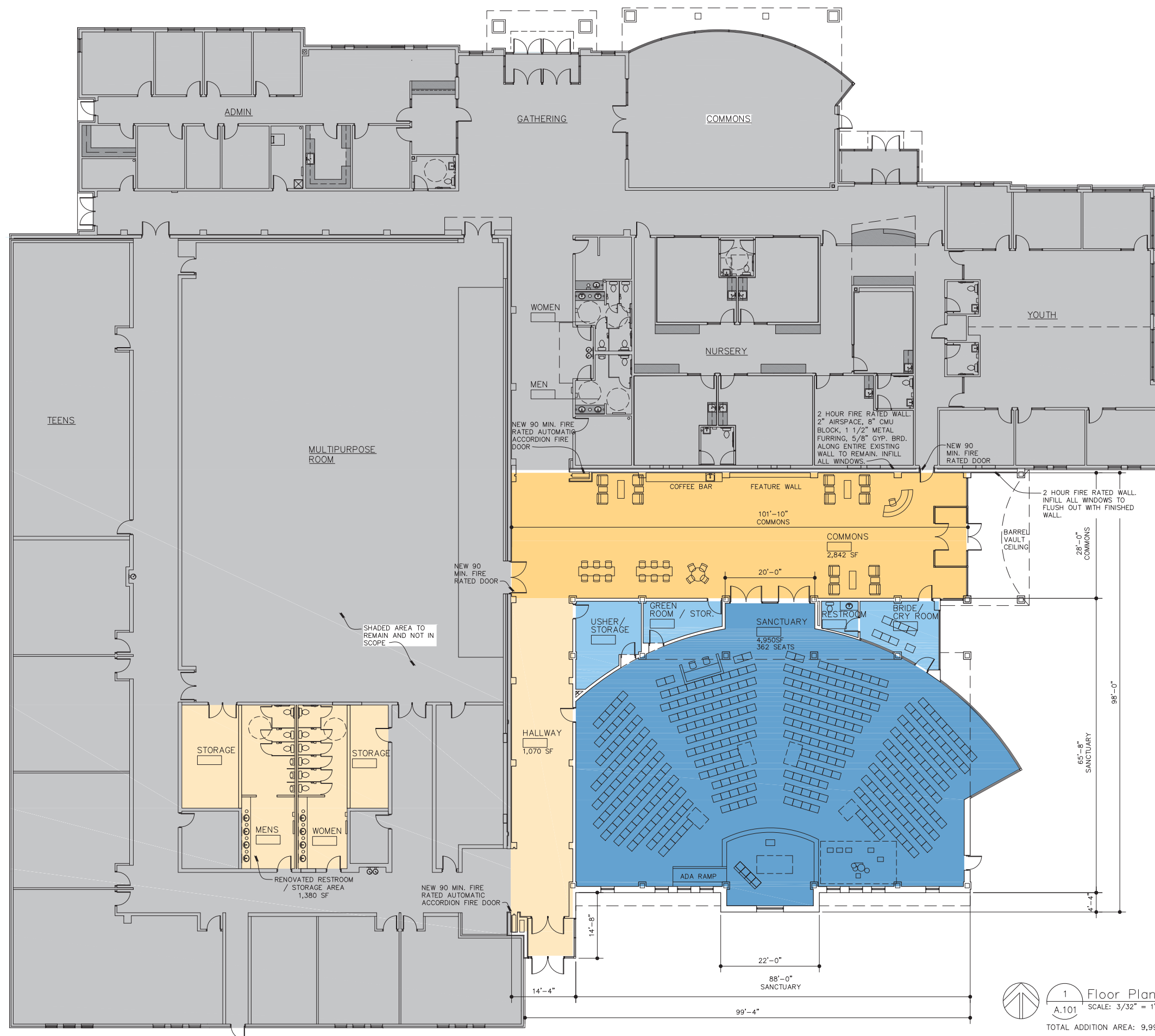
5 Points
Commun. Churc
Master Plan
3411 E. Walton
Auburn Hills, MI

SHEET

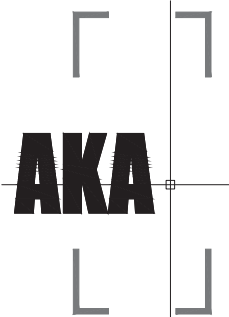
Phase II
Floor Plan

2302

A.101



1 Floor Plan
A.101 SCALE: 3/32" = 1'-0"
TOTAL ADDITION AREA: 9.990 GSF



303 E. THIRD STREET SUITE 100
ROCHESTER, MI 48307
248.814.9160

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5 Points
Commun. Churc
Master Plan
3411 E. Walton
Auburn Hills, MI

DATE ISSUED	ISSUED FOR
07.26.23	Site Plan Approval
08.10.23	Site Plan Approval

DRAWN

CHECKED

APPROVED

SHEET

Building
Elevations

scale as shown

FILE NUMBER

SHEET NUMBER

A.201









CITY OF AUBURN HILLS PLANNING COMMISSION AGENDA

MEETING DATE: SEPTEMBER 13, 2023

**AGENDA ITEM NO. 5b.
COMMUNITY DEVELOPMENT**

To: Chairperson Greg Ouellette and the Planning Commission
From: Steven J. Cohen, AICP, Director of Community Development; and Shawn Keenan, AICP, City Planner
Submitted: September 8, 2023
Subject: Pacific and Taylor - Light Industrial Speculative Building (aka Pacific Drive Industrial)
Public Hearing/Motion – Recommendation to City Council for Site Plan and Tree Removal Permit.

INTRODUCTION

This is a request from Pacific Drive Ventures, LLC, to construct a 47,728 sq. ft. Light Industrial building at the northeast corner of Pacific Drive and Taylor Road. The 3.7-acre parcel is within the Metro North Technology Park and zoned I-1, Light Industrial.

Approximately 4,880 sq. ft. of the building will be used as office space and 42,848 sq. ft. will be utilized as manufacturing space.

On February 27, 2017, the City Council approved plans for a 50,000 sq. ft. light industrial building; however, that project never moved forward because the previous land owner could not secure a tenant.

The applicant will be the developer of the project. Once completed, they intend to lease the building to an industrial business compatible with the uses specified in the City's Zoning Ordinance Light Industrial district.



Aerial View of the Site



Rendering of the proposed building looking north from Taylor Road

INTRODUCTION cont.

The cost to construct the proposed building is estimated at \$4 million. Pacific Drive Ventures, LLC goal is to begin construction in the Spring 2024, with completion expected to occur in the Summer 2025.



Illustrated Site Plan

STAFF RECOMMENDATION

Please be advised that this project has been reviewed by the City's Administrative Review Team and has received a recommendation for approval.

We recommend Conditional Approval of the Site Plan and Tree Removal Permit and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
 - a) All requirements and standards of the Zoning Ordinance, and other City Ordinances, can be met.
 - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to Pacific Drive.
 - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
 - d) A satisfactory and harmonious relationship will exist between the proposed development and surrounding area.
 - e) The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel, or the adjacent area.

STAFF RECOMMENDATION cont.

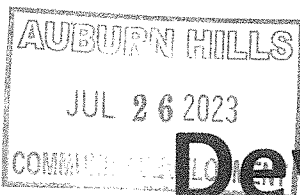
3. Based upon the project's total square footage, 82 parking spaces are required, and 103 parking spaces are depicted.
4. The parking layout meets minimum requirements, and barrier-free parking spaces are provided (five spaces are required and five spaces are provided). One space is van accessible.
5. Building and parking setback requirements will be met.
6. Greenbelts will be provided.
7. Landscape requirements will be met, and calculations have been submitted.
8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. Light poles are designed to be 25 feet in height from the finished grade.
9. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
10. A note indicates that parking spaces shall be double-striped.
11. Ground-mounted and roof-mounted mechanical equipment will be screened.
12. A note indicates that there will be no outside storage allowed, which includes pallet storage, overnight vehicles, or trailer storage.
13. An eight-foot-wide pathway currently exists along Taylor Road. A sidewalk connection between the building and the pathway was examined; however, the existing grades make a connection impractical.
14. A Tree Removal Permit is required – 36 replacement trees are required, and 36 replacement trees are proposed.
15. The developer has agreed to prep the parking lot for two electric vehicle charging stations. They will install electrical stubs at planned station locations and will run conduit from the power source to the stubs at the time of construction to support the future installation of the charging stations, when needed.

Conditions:

1. Pacific Drive Ventures, LLC agrees to meet the requirements of Article XX Administration and Enforcement, Section 2007. Performance Guarantees.

RECOMMENDED ACTION

"Move to recommend to City Council approval of the Site Plan and Tree Removal Permit for Pacific Drive Industrial Speculative Building subject to the conditions of the City's Administrative Review Team."



Development Application

Project Name: 1465 PACIFIC DRIVE INDUSTRIAL

General Project Location: NE CORNER

PACIFIC DR / TAYLOR RD.

Parcel Size: 3.7 AC Zoning: L-1

Sidwell Number(s): 14-03-351-009

Project Description: ROUGHLY 48,000 sq ft

INDUSTRIAL BUILDING / SINGLE TENANT

Building Size (sq. ft.): 47,600

City Use Only

Address: _____

Date Received: 7/26/23

Fees Paid: 4893.00

SP #: 230010

SLU #(s): _____

LD/LE/SUB #: _____

RZ #: _____

PUD #: _____

ZBA #: _____

Check requested review(s)

☒ Site Plan

☒ Tree Removal Permit

☐ Special Land Use Permit(s) _____

☐ Land Division

☐ Land Exchange

☐ Subdivision

☐ Planned Unit Development - Step 1/Step 2/Combined

☐ Rezoning _____ to _____

☐ ZBA Variance or Interpretation
(see supplemental application)

☐ Other _____

PTR 230012

Applicant

Name: CHRISTOPHER COUSINS

Signature: Chf Cms

Business Name and Address: 12955 23 MILE RD

City: SHERBY TWP

State: MI

Zip Code: 48315

Phone Number: 586.615.6036

Fax Number: _____

Alt. Phone Number(s): _____

Name: SAME

Signature: _____

Business Name and Address: _____

City: _____

State: _____

Zip Code: _____

Phone Number: _____

(Provide additional sheet if necessary for multiple property owners)

Property Owner(s)

Please contact the City of Auburn Hills Community Development Department,
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939
www.auburnhills.org



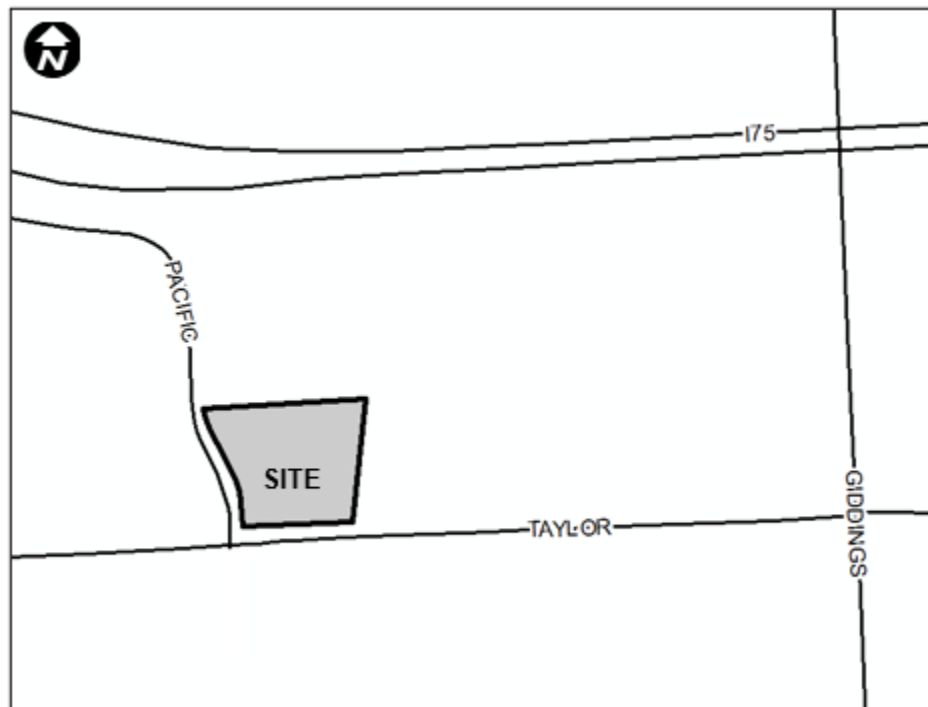
Planning Commission Public Notice

Meeting Date, Time, and Location:	Wednesday, September 13, 2023, at 7:00 p.m. City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Pacific Drive Development
General Property Location:	Generally located at the northeast corner of Taylor Road and Pacific Drive Sidwell No. 14-03-351-009
Applicant:	Chris Cousino, DEI Properties – 586-254-4367
Nature of the Request:	Recommendation to City Council for Site Plan approval and Tree Removal Permit approval to construct an industrial building.
City Staff Contact:	Shawn Keenan, AICP City Planner - 248-364-6926

Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application is available for inspection prior to the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.

Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Shawn Keenan, AICP, City Planner, at the above address.

Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 - 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.



LOCATION MAP

September 7, 2023

Mr. Shawn Keenan, AICP
City Planner
CITY OF AUBURN HILLS
1827 North Squirrel Road
Auburn Hills, Michigan 48326

RE: 1456 Pacific Drive Industrial
Site Plan 1st Review

Dear Mr. Keenan:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on September 5, 2023, was prepared by PEA Group. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.
- Water main extension permit from E.G.L.E.

GENERAL:

The site is located at the northeast corner of Pacific Drive and Taylor Road, at 1456 Pacific Drive in Section 3 of the City of Auburn Hills. The applicant is proposing to construct a 47,728 sq. ft. speculative building that will consist of 4,880 sq. ft. of office space and 42,848 sq. ft. of manufacturing space. The new facility is intended to house a single tenant in the industrial or automotive industry. The site along with the adjacent properties to the north and east are zoned Light Industrial (I-1). A complete legal description of the parcel is shown on the plan. The City of Auburn Hills Standard Notes and Fire Department Notes are included on the plans. A landscape plan was included in the plan set and appears to be acceptable. Furthermore, a soil erosion and sedimentation control plan is needed for engineering review.

MUNICIPAL UTILITIES:

There is an existing 12-inch water main that extends along Taylor Road and an existing 12-inch water main that extends along Pacific Drive. The applicant is proposing to connect to the existing water main along Taylor Road and extend 8-inch water main north onto the site, south of the proposed building. The applicant is also proposing to connect to the water main along Pacific Drive and extend 8-inch water main east onto the site, west of the proposed building. Two (2) fire hydrant assemblies are proposed to provide adequate coverage for the site along with one (1) existing fire hydrant relocation. Fire suppression and domestic service lines are proposed to extend from the new 8-inch water main located on the west side of the site to the west side of the proposed building. The material type of the proposed water main shall be labeled for engineering review.



There is an existing 18-inch sanitary sewer that extends along Taylor Road. The applicant is proposing to tap an existing sanitary sewer stub located just outside the influence of Taylor Road and extend a new sanitary sewer lead to the south side of the building. The slope and material type of the proposed sanitary sewer lead shall be labeled for engineering review.

STORM SEWER AND DETENTION:

It appears that the site is located in the Vinewood Drainage District, which has a maximum discharge rate of 0.0776 cfs/acre. Storm water runoff for the site will be collected via a series of catch basins and routed to an existing detention pond at the southeast side of the site. A stormwater detention note was included on the plans stating that the subject parcel was included in the regional stormwater detention facilities per the Vinewood Drain plans. The Vinewood Drain plans are based upon a 'C' value of 0.70 while the proposed site has a 'C' value of 0.65. Therefore, the existing detention basin has enough capacity for the proposed development. Additional details of the stormwater management system will be needed for the engineering review including storm sewer calculations, profiles, and hydraulic grade lines. A water quality unit has been provided on the plans prior to the storm water entering the detention basin. Additional details of the water quality unit will need to be provided for the engineering review.

TRAFFIC/PAVING:

Access to the site consists of one (1) new approach off Pacific Drive. Parking is located to the west and south of the proposed building. The plans indicate concrete curb and gutter throughout the site with standard duty asphalt pavement proposed for the parking and drive aisles and standard duty concrete pavement for the approach, loading area, and dumpster pad. 8-inch concrete on 6-inch aggregate base is proposed for the heavy duty concrete while 4-inch asphalt on 8-inch aggregate base is proposed for standard duty asphalt. All driveway cross-sections shall meet or exceed the cross-section of the roadway it enters onto, and drive aisles shall be a minimum 6-inch asphalt on 8-inch aggregate base. Additional cross-sections for the site appear to meet City standards.

The applicant is proposing 103 parking spaces including 5 barrier free accessible parking spaces and 2 future electric vehicle parking spaces. A loading area with a truck dock is located at the northwest corner of the building, and a trash enclosure is proposed adjacent to the loading area. A 7-foot-wide concrete sidewalk has been provided along the south and west side of the building providing access to the parking lot and truck dock. An auto-turn analysis for the WB-67 Interstate Semi-Trailer has been included in the plan set.

GRADING:

Existing and proposed grades are shown with contours and spot elevations. The site is sloped towards the east side of the parcel and drains towards the existing detention basin. Steep perimeter site slopes appear to match into existing contours. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalk slopes shall comply with ADA standards.

RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements, and has been stamped "Approved" by our office. We ask that the site plan approval acknowledge the following:

1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
2. The developer must post a performance guarantee, in accordance with the City's requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities,



pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.

If you have any questions or are in need of any further information, please feel free to contact our office.

Sincerely,
OHM Advisors

MaryKate Kirksey for Hannah Driesenga, P.E.

Transmitted via e-mail to Shawn Keenan: September 7, 2023
cc: File

P:\0101_0125\SITE_AUBURNHILLSCITY\2023\0120231190_NEC TAYLOR PACIFIC_SITE\1456 PACIFIC DRIVE
INDUSTRIAL_SITE REV#1_APP.DOCX



POLICE DEPARTMENT
1899 North Squirrel Road
Auburn Hills, MI 48326

MEMORANDUM

TO: Shawn Keenan, City Planner
FROM: Jeremy Stubbs, Lieutenant
DATE: August 17, 2023
SUBJECT: **Taylor-Pacific Spec Building**

I have reviewed the site plans for the Taylor-Pacific Spec Building. We have no objections to the project as presented in the site plans.



AUBURN HILLS FIRE DEPARTMENT



Official Memorandum

To: Shawn Keenan, City Planner
From: Fred Solomon, Fire Inspector
Date: September 5, 2023
Re: Site Plan Review

PROJECT: NEC, 1456 Pacific

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No Comments

Fred Solomon
Fire Inspector
Auburn Hills Fire Department

August 25, 2023

Shawn Keenan, AICP, City Planner; Steve Cohen, Director Com. Dev.
City of Auburn Hills, Community Development Department
1827 North Squirrel Road
Auburn Hills, MI 48326

Subject: Woodlands Ordinance Review for NEC Taylor/Pacific, Auburn Hills, MI

Dear Mr. Keenan and Mr. Cohen,

The submittals regarding the above-mentioned project were reviewed and a site visit made to correlate information. See the tree detail chart below regarding the proposed project.

TREE REQUIREMENT TABLE – NEC Taylor/Pacific

DESCRIPTION	TOTAL TREES	Required/REPLACEMENT TREES
Total Trees Surveyed	129	---
Removed Regulated Trees	32	32
Removed Landmark Trees	1 (Total of 41" DBH)	4
Removed Non-regulated Trees	92	0
Saved Regulated Trees	4	0
TOTAL Required Replacement Trees		36 Trees

Applicant is removing and replacing regulated trees. One tree being removed is a Landmark tree (41"x 0.25/2.5 = 4.1). The landscape plans provide 56 deciduous trees plus 14 evergreen trees totaling 70 new trees for installation, which satisfies the Woodlands Ordinance.

This project is approved based on the fulfillment and landscape strategy stated above and set of accompanying plans.

Best regards,



Julie Stachecki

City of Auburn Hills Woodland Consultant



Site Specific, Inc.

JULIE STACHECKI, ISA Certified Arborist MI-0650, TRAQ, MI Oak Wilt Qualified
Howell, MI 48843 ♦ 810.599.0343 ♦ stachec1@me.com

August 23, 2023

RE: Citizen Participation Letter
1465 Pacific Drive Industrial Development

Dear Neighbor:

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we are notifying you that Pacific Drive Ventures, LLC, has been submitted a development application to the City of Auburn Hills to construct a new single story 47,728 square feet industrial building on the currently vacant 3.70 acre parcel of land located 1465 Pacific Drive. In addition to the construction of the building, a parking area will be constructed to accommodate 104 total parking spaces which will be located to the west and south of the building.

The proposed building will be a speculative building that is intended for a single tenant which will offer space office, warehouse, and light manufacturing operations.

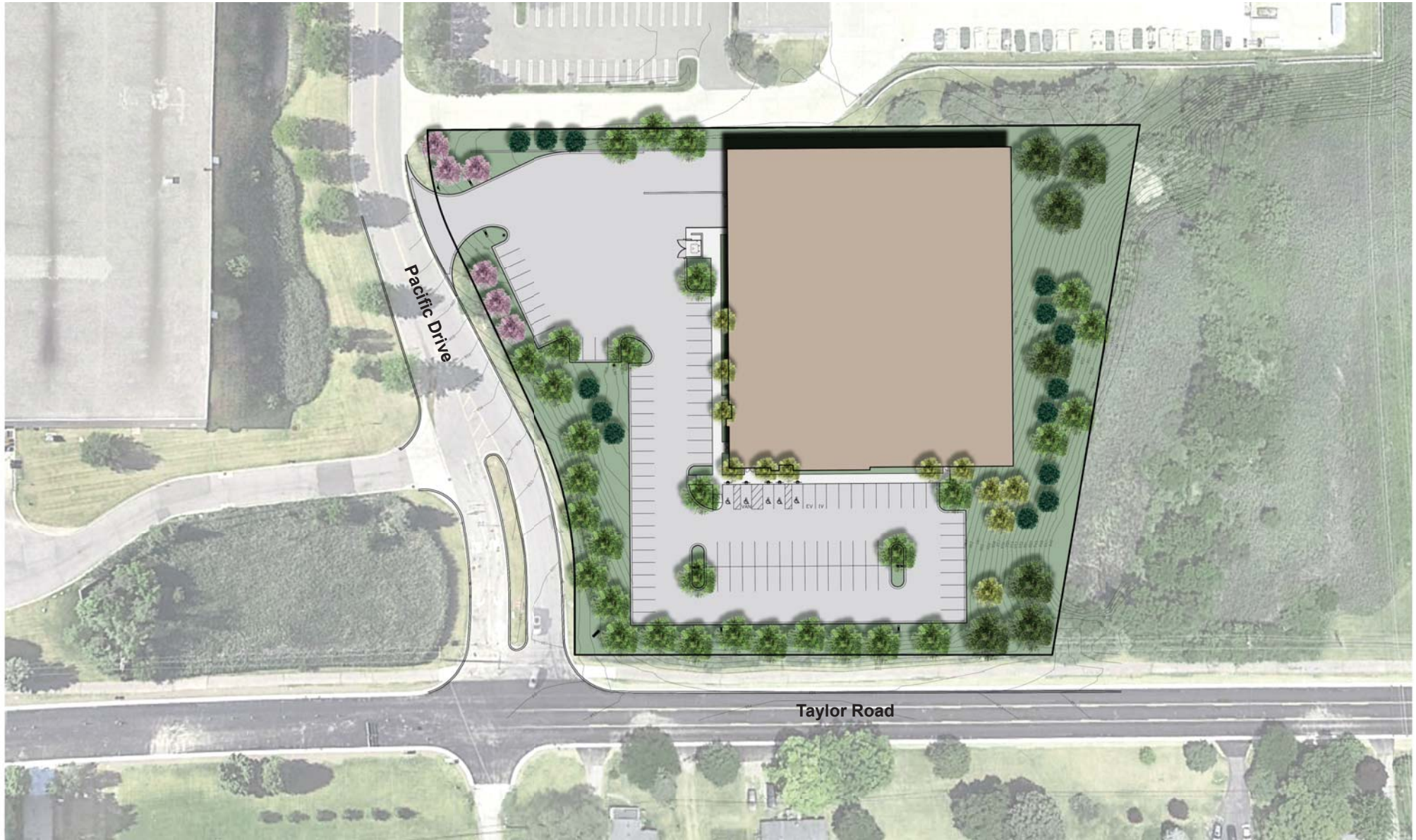
We feel that this project has been designed in such a manner to be aesthetically pleasing and will be in keeping with the character of other developments within the City of Auburn Hills and Taylor Road and Pacific Drive.

The City of Auburn Hills Planning Commission is scheduled to review the development application on September 13, 2023. If you should have any questions, concerns, or comments, please do not hesitate to contact me at 586-254-4367, if you wish to speak to a City Representative, please contact Shawn Keenan, City Planner at 248-364-6926

Sincerely,



Chris Cousino
Pacific Drive Venture, LLC



1456 Pacific Drive Industrial

PEA GROUP



1849 Pond Run
Auburn Hills, MI 48326

844.813.2949
peagroup.com

September 01, 2023

Shawn Keenan, AICP
City Planning
City of Auburn Hills Community Development Department
1827 Squirrel Road
Auburn Hills, Michigan 48326

RE: Citizen Participation Letter
1456 Pacific Drive Industrial Development

Mr. Keenan

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we have mailed the Citizen's Participation letter related to the development application for 1456 Pacific Drive Industrial Development to the mailing labels provided by the Community Development Department. The letters were postmarked August 23, 2023. We have not received any responses to this letters provided.

Sincerely,

PEA Group

A handwritten signature in blue ink, appearing to read 'JPB', with a stylized flourish at the end.

James P. Butler, PE
Principal/Project Executive



CITY OF AUBURN HILLS
Regular City Council Meeting
EXCERPT - Minutes

January 22, 2018

CALL TO ORDER: Mayor McDaniel at 7:00 p.m.

LOCATION: City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

Present: Mayor McDaniel, Council Members Burmeister, Kittle, Knight, Moniz, and Verbeke

Absent: Council Member Hammond

Also Present: City Manager Tanghe, City Attorney Beckerleg, City Clerk Pierce, Lt. Gagnon, DPW Director Melchert, Director of Community Development Cohen, Management Intern Thomas.

10 Guests

4. NEW BUSINESS

9a. Motion - Approval of One-Year Extension of Site Plan and Tree Removal Permit / Cunningham-Limp Development Company - Pacific Drive Development

Mr. Cohen presented the request of Cunningham-Limp Development Company for a one year extension to construct a 50,000 square foot light industrial building at the northeast corner of Pacific Rd and Taylor Rd. He stated that this project was originally presented to Council on Feb 27, 2017.

Mr. Steven Schimpke the business development manager of Cunningham-Limp stated that they have several companies interested in this area and they anticipate construction to begin in the 2nd quarter of 2018.

Mr. Kittle asked why some companies wait to start building a facility while others build a speculative building first. Mr. Schimpke stated that there is a level of risk with this type of a project, but they feel confident with this site. He stated that it is nice for the builders to have a say in what they want and with the end results.

Moved by Verbeke, Seconded by Moniz.

RESOLVED: To approve a one-year extension of the Site Plan and Tree Removal Permit for Pacific Drive Development. The approval shall expire on February 27, 2019.

Ms. Verbeke stated that the resolution states that this approval will expire on February 27, 2019. She asked Mr. Cohen to clarify if this one year extension means that they have to start construction before this date or do they need to have the project complete.

Mr. Cohen clarified that the past practices of the City has been to pull a permit then begin construction within 6 months. However, the plan for this development is to start construction this year.

VOTE: Yes: Burmeister, Kittle, Knight, McDaniel, Moniz, Verbeke

No: None

Resolution No. 18.01.014

Motion Carried (6 - 0)



EXCERPT
The City of Auburn Hills
City Council Meeting
Minutes

February 27, 2017

CALL TO ORDER: Mayor McDaniel at 7:00 p.m.

LOCATION: City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326
Mayor McDaniel, Council Members Burmeister, Hammond, Kittle, Knight, Mitchell, and Verbeke
Absent: None
Also Present: City Manager Tanghe, Assistant City Manager Grice, Police Chief Olko, City Clerk Kowal, Community Development Director Cohen, Deputy Director of Public Works Herczeg, Finance Director/Treasurer Schulz, Recreation Director Marzolf, Seniors Admin. Asst. Leonard, Attorney Beckerleg, City Engineer Juidici.

13 Guests

9. NEW BUSINESS

9b. Motion – Approval of Site Plan and Tree Removal Permit / Pacific Drive Development

Mr. Cohen explained the request to construct a 50,000 square foot light industrial building located at the northeast corner of Pacific Rd and Taylor Rd. The project is estimated at \$3.25 million. He stated that construction will not begin until the owner secures a tenant.

Ms. Hammond questioned how long approved site plans are held. Mr. Cohen confirmed they are held for one year. Jim Butler, PEA, stated that it is very likely that they will secure a tenant within the year.

Moved by Mitchell; Seconded by Burmeister.

RESOLVED: To accept the Planning Commission's recommendation and approve the Site Plan and Tree Removal Permit for Pacific Drive Development, subject to the administrative review team's conditions.

VOTE: Yes: Burmeister, Hammond, Kittle, Knight, McDaniel, Mitchell, Verbeke
No: None

Resolution No. 17.02.032

Motion Carried (7 - 0)



Excerpt
CITY OF AUBURN HILLS
PLANNING COMMISSION
MINUTES

February 15, 2017

Location: City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

1. **CALL TO ORDER:** Planning Commission Chairperson Ouellette called the meeting to order
2. **ROLL CALL:** Present: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Shearer
Absent: Hitchcock, Mendieta, Pederson
Also Present: Director of Community of Development Cohen, Assistant City Planner Keenan, Senior Services Director Adcock
Guests: 3

5b. Pacific Drive Development (7:07 p.m.)

Public Hearing / Motion - Recommendation to City Council for Site Plan approval and Tree Removal Permit approval to construct an industrial building

Mr. Keenan introduced that this is a request from Cunningham Limp Company to construct a 50,000 sq. ft. industrial building at the northeast corner of Pacific Drive and Taylor Road. The 3.7-acre parcel is within the Metro North Technology Park and zoned I-1, Light Industrial.

Approximately 20,000 sq. ft. of the building will be used as office space, 25,000 sq. ft. is designated as manufacturing space and the remaining 5,000 sq. ft. of the building will be utilized as warehouse.

Mr. Keenan noted the cost to construct the proposed building is estimated at \$3.25 million. Cunningham Limp Company's goal is to begin construction in 2017. Once construction begins, the project is expected to take six months to complete and at that time they will begin the leasing process for proper industrial use district.

Mr. James Butler of PEA 2430 Rochester Court, Suite 100, Troy, MI 48083 and Mr. Bob Peplinski of Cunningham Limp Company 28970 Cabot Drive, Suite 100, Novi, MI 48377 were present to take questions.

Mr. Butler stated that this site plan review process is to help move development forward with the property. Mr. Butler clarified that the project will not begin development until a lease is signed. The goal is to get the project approved through the City's approval process and then be able to market the project to interested parties. Cunningham-Limp wishes to be ready to build when a company shows interest in the site.

Mr. Pierce questioned who owned the property. Mr. Butler stated that the property is owned by the same owner as the Louca Mold property to the north. Cunningham-Limp has an agreement to purchase the property.

Mr. Ouellette asked if the 5,000 sq. ft. sufficient for the warehouse or could that be expanded. Mr. Butler commented that the current footprint is an unknown and would be determined by the future user. The design that is currently drawn up could be modified. The intention is not to be a warehouse but a 50/50 split of office and manufacturing.

Mr. Ouellette confirmed that the property owner was aware that the need to store materials outside would require a special land use permit. Mr. Butler agreed. Due to the small size of the site, the need for an outside storage permit would be unlikely.

Mr. Beidoun questioned the reason for the placement of the driveway on Pacific Drive and not Taylor Road. Mr. Butler explained that buffering from the residents was one consideration, but topography was the primary driver. After looking at the property, the design was meant to push the driveway all the way to the north on Pacific Drive to help minimize a retaining wall on the north side of the site due to the fall in grade on the property.

Ms. Ochs questioned what the residents from Taylor Road would be viewing. Mr. Butler stated that with the grade elevation, the view should not be a problem for adjacent residents. The building will sit ten feet higher than Taylor Road and the green belt, parking lot, and building being setback of 132 feet from the right-of-way will help lessen any visual impact of the building. The light poles have been placed toward the center of the parking lot in an effort to ensure that the light stays on the property.

Mr. Ouellette opened the public hearing at 7:13 p.m.
Hearing no comments, Mr. Ouellette closed the public hearing at 7:14 p.m.

Motion made by Mr. Pierce to recommend to City Council approval of the Site Plan and Tree Removal Permit for Pacific Drive Development, subject to the conditions of the administrative review team.

Supported by Beidoun

VOTE: YES: Beidoun, Burmeister, Ochs, Ouellette, Pierce, Shearer

NO: None

Motion Carried 6-0

PRELIMINARY SITE PLANS

1456 PACIFIC DRIVE INDUSTRIAL

AUBURN HILLS, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

PROJECT DESCRIPTION:

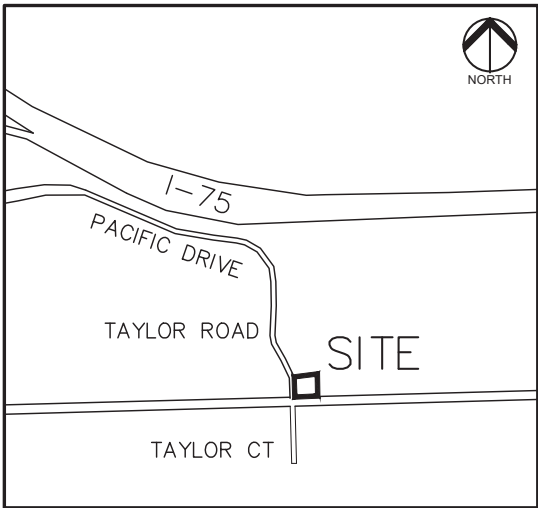
THE EXISTING 3.701 ACRE SITE, ZONED LIGHT INDUSTRIAL, AT THE NORTHEAST CORNER OF PACIFIC DRIVE AND TAYLOR ROAD IS CURRENTLY VACANT AND IS PROPOSED TO BE DEVELOPED FOR A NEW 47,728 SQ.FT. SPECULATIVE INDUSTRIAL BUILDING. THE 47,728 SQ.FT. BUILDING IS INTENDED TO HOUSE A SINGLE TENANT AND WILL OFFER FEATURES TO MEET TODAY'S INDUSTRIAL USER MARKET INCLUDING: PARKING FOR A MIX OF WAREHOUSE AND OFFICE, 30' CLEAR CEILING HEIGHT IN THE WAREHOUSE AREA, A TRUCK DOCK, AT GRADE OVERHEAD DOORS, CONTEMPORARY STYLE, HIGH ENERGY EFFICIENCY AND DURABLE MATERIALS. TENANTS EXPECTED TO UTILIZE THE BUILDING WILL LIKELY BE FROM THE AUTOMOTIVE AND RELATED INDUSTRIES.

LEGAL DESCRIPTION

(PER CITY OF AUBURN HILLS ONLINE ACCESSMYGOV.COM DATED 11-14-16)

PARCEL NO. 02-14-03-351-009

T3N, R10E, SEC 3 PONTIAC ACRES PART OF LOTS 32, 33 & PART OF OUTLOT A, ALSO PART OF SW 1/4 ALL DESC AS BEG AT PT DIST N02°41'40"W 60 FT & N87°21'59"E 720.65 FT FROM SW SEC COR, TH N0°37'56"W 52.04 FT, TH ALG CURVE TO LEFT, RAD 273 FT, CHORD BEARS N14°3'33"W 104.94 FT, DIST OF 105.60 AD 180.28 FT, CHORD BEARS N15°08'43"W 78.10 FT, DIST OF 78.72 FT, TH N86°6'33"E 517.01 FT, TH S06°51'30"W 389.45 FT, TH S87°21'59"W 345.45 FT TO BEG 1-17-97 FR 376-022



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	PRELIMINARY SITE PLAN
C-3.0	ENGINEERING SITE PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	PRELIMINARY UTILITY PLAN
C-7.0	TRUCK TURNING PLAN
C-9.0	NOTES AND DETAILS
C-9.1	NOTES AND DETAILS
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN
T-1.1	TREE PRESERVATION LIST
A-1	ARCHITECTURAL FLOOR PLANS
A-2	ARCHITECTURAL ELEVATIONS

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
PACIFIC DRIVE VENTURES, LLC 12955 23 MILE ROAD SHELBY TOWNSHIP, MICHIGAN 48315 CONTACT: CHRIS COUSINO PHONE: 586.254.4367 EMAIL: CCOUSINO@DEIPROPERTIES.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
FRANK SALAMONE ARCHITECT 48701 HAYES ROAD SHELBY TOWNSHIP, MICHIGAN 48315 PHONE: 586.532.0091 CONTACT: FRANK SALAMONE EMAIL: FSALAMONE@FSARCHITECT.COM	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: NOAH BIRMELIN, PLA, ASLA PHONE: 844.813.2949 EMAIL: NBIRMELIN@PEAGROUP.COM

PEA
GROUP

REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	7/26/2023
REVISED PER COAH REVIEW	8/18/2023
REVISED PER COAH REVIEW COMMENTS	9/1/2023



NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON DIMPLE ON HYDRANT, ±50'
SOUTHWEST OF SOUTHWEST BUILDING CORNER OF
ADDRESS #1399 PACIFIC DRIVE.
ELEV. - 973.97

BM #303
ARROW ON DIMPLE ON HYDRANT, EAST SIDE OF
PACIFIC DRIVE.
ELEV. - 967.68

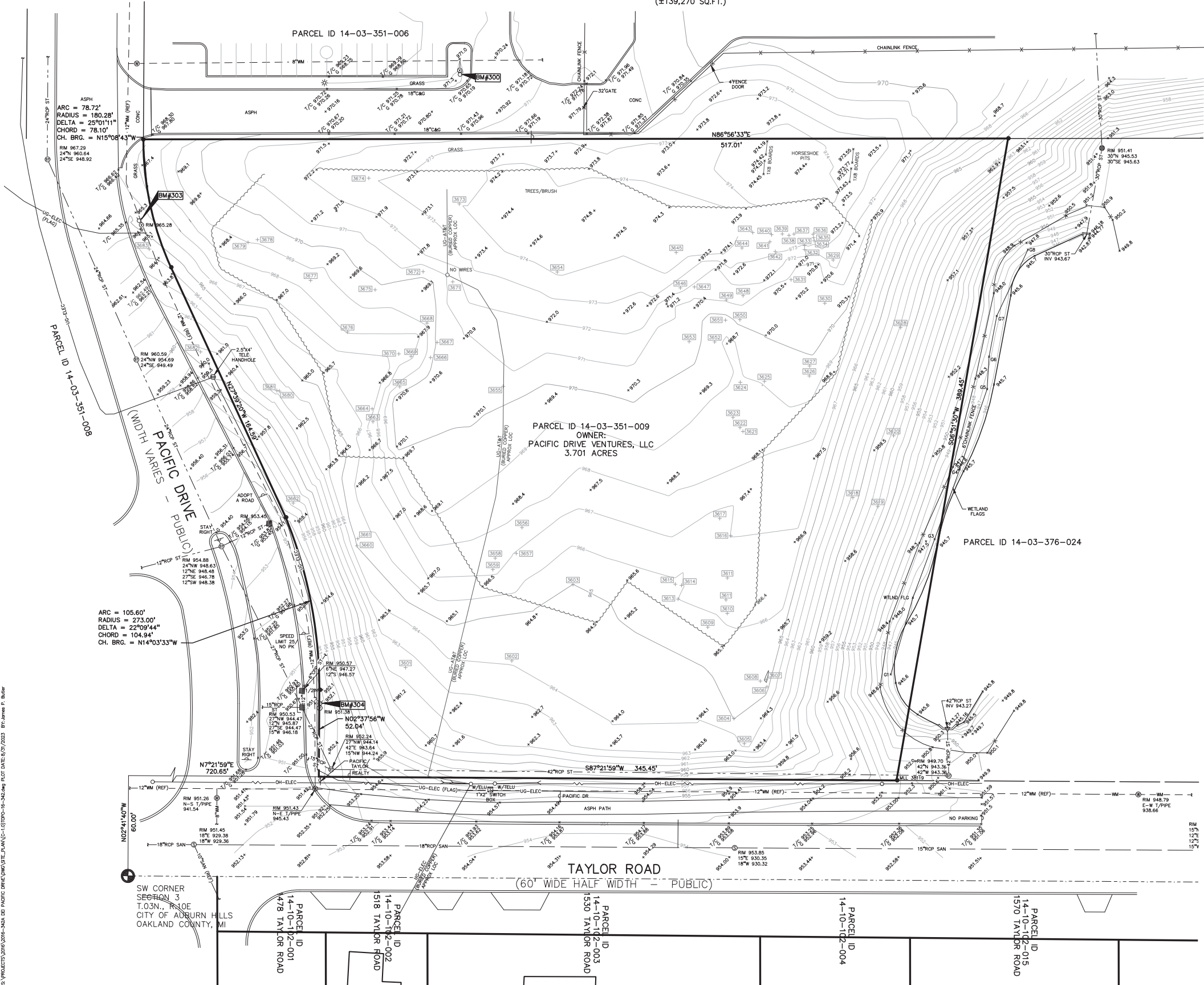
BM #304
ARROW ON DIMPLE ON HYDRANT, EAST SIDE OF
PACIFIC DRIVE, NORTH OF TAYLOR ROAD.
ELEV. - 953.34

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
26125C0359F DATED SEPTEMBER 29, 2006.

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(PER CITY OF AUBURN HILLS ONLINE ACCESSMYGOV.COM DATED 11-14-16)

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T3N, R10E, SEC 3 PONTIAC ACRES PART OF LOTS 32, 33 & PART OF OUTLOT A, ALSO
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389.45 FT, TH S87°21'59"W 345.45 FT TO BEG 1-17-97 FR 376-022

#1399 PACIFIC DRIVE
2 STORY BLOCK OFFICE BUILDING
W/FLAT ROOF
(±139,270 SQ.FT.)



LEGEND:

- OH-ELEC—W—O— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG, & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- RECORDED / MEASURED / CALCULATED

REFERENCE DRAWINGS:

WATER MAIN GIS MAP PACIFIC DRIVE, CITY OF AUBURN HILLS, OHM, DATED 11-22-16
SITE ENGINEERING PLANS FOR HADEN INC., POWELL & ASSOC. ENGINEERING, LAST REVISED 4-27-94

SANITARY SEWER GIS MAP PACIFIC DRIVE, CITY OF AUBURN HILLS, OHM, DATED 11-22-16
SITE ENGINEERING PLANS FOR HADEN, INC., POWELL & ASSOC. ENGINEERING LAST REVISED 4-27-94

STORM SEWER GIS MAP PACIFIC DRIVE, CITY OF AUBURN HILLS, OHM, DATED 11-22-16
NO INFORMATION RECEIVED AS OF 12-5-16

ELECTRIC ATT BURIED/AERIAL CABLE, DATED 12-2-16
NO INFORMATION RECEIVED AS OF 12-5-16

TELEPHONE NO INFORMATION RECEIVED AS OF 12-5-16

GAS FEMA F.I.R.M. MAP 26125C0359F, DATED 9-29-08

CATV ALTAJACSM LAND TITLE SURVEY ANIXTER INC., PEA, JOB NO 2014-188, LAST REVISED 10-14-14.

FLOOD PLAIN TOPOGRAPHIC SURVEY LOUCA MOLD, PEA, JOB NO 2015-278, DATED 11-11-14

OTHER

PEA GROUP
t: 844.813.2949
www.peagroup.com

EMIL SIMON BLANK
Lic. No. 6201058445
2020 PROFESSIONAL ENGINEER

NORTH

0 15 30 60
SCALE: 1" = 30'

811 call before you dig

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

DEI PROPERTIES
12955 23 MILE ROAD
GHELEY TOWNSHIP, MICHIGAN 48315

PROJECT TITLE

1456 PACIFIC DRIVE INDUSTRIAL
AUBURN HILLS, MICHIGAN

REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB
DRAWING NUMBER:	

C-1.0

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

BENCHMARKS
(GPS DERIVED - NAVD88)

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ARROW ON DIMPLE ON HYDRANT, ±50'
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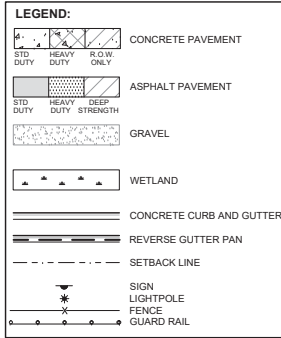
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389.45 FT, TH S87°21'59"W 345.45 FT TO BEG 1-17-97 FR 376-022

SIGNAGE CALCULATION:

TAYLOR ROAD: (345.45' FRONTAGE)
345.45/10 = 34.55 x 8 SQ FT = 276.36 SQ FT

PACIFIC DRIVE: (400.95' FRONTAGE)
400.95/10 = 40.09 x 8 SQ FT = 320.76 SQ FT

TOTAL AREA = 276.36 + 320.76 = 597.12 SQ FT



SITE DATA TABLE:

SITE AREA: 3.701 ACRES (161,218 SF.) NET AND GROSS

ZONING: I-1: LIGHT INDUSTRIAL

PROPOSED IMPERVIOUS AREA = 102,551 SF
PROPOSED PERVIOUS AREA = 58,667 SF
PERCENT GREEN SPACE = 36%

PROPOSED USE: MANUFACTURING (42,848 SF) OFFICE (4,880 SF.)

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 50 FT. (3 STORIES)
PROPOSED BUILDING HEIGHT = 33'-8"

BUILDING FOOTPRINT AREA = 47,728 SFT
MANUFACTURING = 42,848 SFT
OFFICE = 4,880 SFT

SETBACK REQUIREMENTS:

	REQUIRED	PROPOSED
FRONT (SOUTH)	40'	137.44'
FRONT (WEST)	40'	120.78'
SIDE (EAST)	20'	50.02'
REAR (NORTH)	15'	15'

PARKING CALCULATIONS: (REQUIRED PARKING):
OFFICE = 1 PER 200 SFT OF USEABLE FLOOR SPACE
MANUFACTURING = 1 PER 550 SFT OF USEABLE FLOOR SPACE
ASSUMING USEABLE FLOOR SPACE AT 80%:
OFFICE = (4,880 x 0.80) = 3,904 SFT
MANUFACTURING = (42,848 x 0.80) = 34,278.4 SFT
OFFICE = 3,904 USABLE SFT/200 = 20 SPACES
MANUFACTURING = 34,278.4 SFT/550 = 62 SPACES
TOTAL PARKING REQUIRED = 82 SPACES

PROPOSED PARKING = 103 SPACES (INCLUDES 5 HANDICAP SPACES)

LOADING ZONE = 10 SFT PER FRONT FOOT OF BUILDING
FRONT FOOT OF BUILDING = 231.33 FT
LOADING REQUIRED = 2,313.3 SFT

PROPOSED LOADING ZONE AREA = 2,400 SFT

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP TYPE R
REFER TO LATEST MIDOT R-28
STANDARD RAMP AND DETECTABLE
WARNING DETAILS

SIGN LEGEND:

'NO PARKING FIRE LANE' SIGN
'STOP' SIGN
BARRIER FREE PARKING SIGN
VAN ACCESSIBLE SIGN
REFER TO DETAIL SHEET FOR SIGN DETAILS

GENERAL NOTES:

- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, OR TRAILER STORAGE.
- GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO. 372.
- PARKING SPACES SHALL BE DOUBLE STRIPPED PER ZONING ORDINANCE NO. 372.
- AN ENVIRONMENTAL IMPACT STATEMENT IS NOT REQUIRED FOR THIS PROJECT AS IT IS LESS THAN 20 ACRES.
- NEITHER A LAND DIVISION OR COMBINATION WILL BE REQUIRED FOR THIS PROJECT AS IT IS LOCATED ON ONE PARCEL.
- NO SPECIAL LAND USE PERMIT IS REQUIRED FOR THIS PROJECT.
- THE DEVELOPER HAS AGREED TO PREP THE PARKING LOT WITH THE INSTALLATION OF ELECTRICAL STUBS FOR 2 FUTURE ELECTRIC VEHICLE CHARGING STATION (E.V.) LOCATIONS AND RUN CONDUIT FROM THE POWER SOURCE TO THE STUBS TO SUPPORT FUTURE INSTALLATION. THE SPACES ARE DESIGNED WITH E.V. ON THE PLAN AND WILL BE POSTED IF AND WHEN CHARGING STATIONS ARE INSTALLED.

PEA GROUP

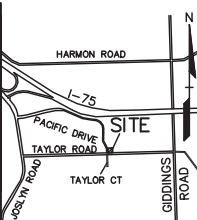
t: 844.813.2949
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0 15 30 60
SCALE: 1" = 30'



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CLIENT

DEI PROPERTIES

12955 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN 48315

PROJECT TITLE

1456 PACIFIC DRIVE INDUSTRIAL

AUBURN HILLS, MICHIGAN

REVISIONS

PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE

DIMENSIONAL SITE PLAN

PEA JOB NO. 16-0342

P.M. JPB

DN. CNR

DES. JPB

DRAWING NUMBER:

C-2.0

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON DIMPLE ON HYDRANT, ±5.0'
SOUTHWEST OF SOUTHWEST BUILDING CORNER OF
ADDRESS #1399 PACIFIC DRIVE.
ELEV. - 973.97

BM #303
ARROW ON DIMPLE ON HYDRANT, EAST SIDE OF
PACIFIC DRIVE.
ELEV. - 967.68

BM #304
ARROW ON DIMPLE ON HYDRANT, EAST SIDE OF
PACIFIC DRIVE, NORTH OF TAYLOR ROAD.
ELEV. - 953.34

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
26125C0359F DATED SEPTEMBER 29, 2006.

LEGAL DESCRIPTION
(PER CITY OF AUBURN HILLS ONLINE ACCESSMYGOV.COM DATED 11-14-16)

PARCEL NO. 02-14-03-351-009
T3N, R10E, SEC 3 PONTIAC ACRES PART OF LOTS 32, 33 & PART OF OUTLOT A, ALSO
PART OF SW 1/4 ALL DESC. AS BEG AT PT DIST N02°41'40"W 60 FT & N87°21'59"E
720.65 FT FROM SW SEC COR, TH N03°37'56"W 52.04 FT, TH ALG CURVE TO LEFT, RAD 273
FT, CHORD BEARS N14°3'33"W 104.94 FT, DIST OF 105.60 AD 180.28 FT, CHORD BEARS
N15°08'43"W 78.10 FT, DIST OF 78.72 FT, TH N86°6'33"E 517.01 FT, TH S06°51'30"W
389.45 FT, TH S87°21'59"W 345.45 FT TO BEG 1-17-97 FR 376-022

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP "TYPE R" ®
REFER TO LATEST MDOT R-28
STANDARD RAMP AND DETECTABLE
WARNING DETAILS

SIGN LEGEND:

'NO PARKING FIRE LANE' SIGN ①
'STOP' SIGN ②
'BARRIER FREE PARKING' SIGN ③
'VAN ACCESSIBLE' SIGN ④
REFER TO DETAIL SHEET FOR SIGN DETAILS

LEGEND:

CONCRETE PAVEMENT
ASPHALT PAVEMENT
GRAVEL
WETLAND
CONCRETE CURB AND GUTTER
REVERSE GUTTER PAN
SETBACK LINE
SIGN
LIGHTPOLE
FENCE
GUARD RAIL

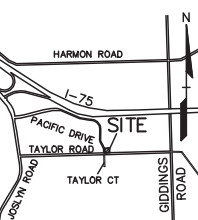
PEA GROUP
t: 844.813.2949
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0 15 30 60
SCALE: 1" = 30'



CAUTION!!
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UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY
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THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR
DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS
PRIOR TO THE START OF CONSTRUCTION.



CLIENT
DEI PROPERTIES
12955 23 MILE ROAD
GIDDEYS TOWNSHIP, MICHIGAN 48315

PROJECT TITLE
1456 PACIFIC DRIVE INDUSTRIAL
AUBURN HILLS, MICHIGAN

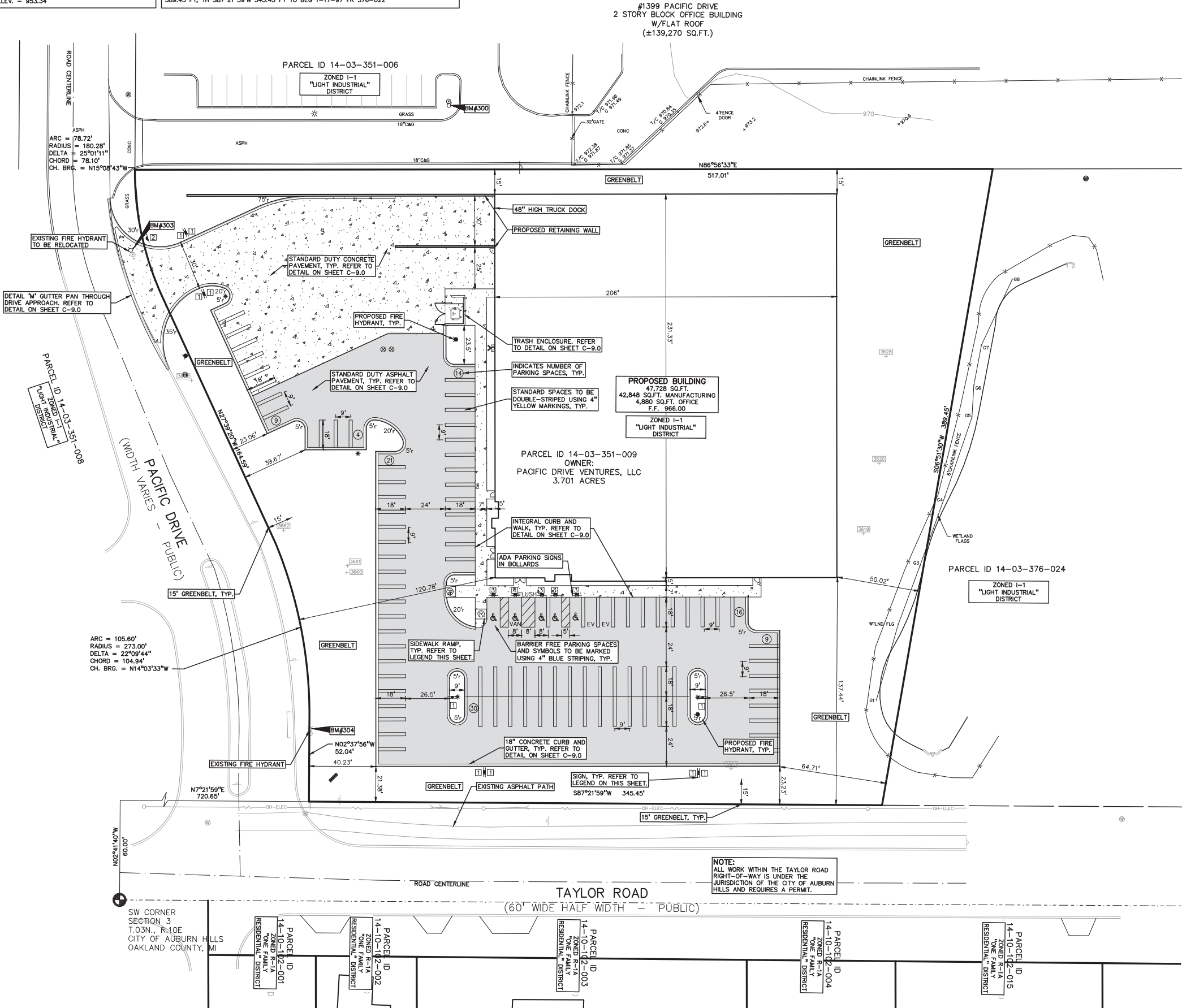
REVISIONS
PER COAH REVIEW 08-18-23
PER COAH REVIEW 09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
ENGINEERING SITE PLAN

PEA JOB NO. 16-0342
P.M. JPB
DN. CNR
DES. JPB
DRAWING NUMBER:

C-3.0



- CITY OF AUBURN HILLS STANDARD NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS STANDARDS.
 - NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.
 - A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY R.O.W. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE R.O.W.
 - ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
 - WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNUP TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.
 - ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.
 - UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
 - THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER, SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.
 - ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
 - FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
 - WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
 - THREE (3) WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ, & MCCLIMMENT AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.
 - PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL BE NOT ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

ADDITIONAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C-5.1 FOR ON-SITE PAVING DETAILS.
- REFER TO SHEET CONSTRUCTION PLANS FOR ON-SITE SIDEWALK RAMP DETAILS.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF AUBURN HILLS CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

FIRE DEPARTMENT NOTES:

- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:
WHITE ON 4" MAINS
RED ON 6" MAINS
ORANGE ON 8" MAINS
GREEN ON 12" MAINS
BLUE ON 16" MAINS OR LARGER
- NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WIDE PAVED DRIVEWAY OR STREET.
- GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERRECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
- A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

NOT FOR CONSTRUCTION
SIDWALK # 14-03-351-009

PARCEL NO. 02-14-03-351-009
T3N, R10E, SEC 3 PONTIAC ACRES PART OF LOTS 32, 33 & PART OF OUTLOT A, ALSO
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720.65 FT FROM SW SEC COR, TH N0°37'56"W 52.04 FT, TH ALG CURVE TO LEFT, RAD 273
FT, CHORD BEARS N14°53'33"W 104.94 FT, DIST OF 105.60 AD 180.28 FT, CHORD BEARS
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389.45 FT, TH S87°21'59"W 345.45 FT TO BEG 1-17-97 FR 376-022

S:\PROJECTS\2016-2018\2018-342A OF PACIFIC DRIVE\IMG\QTF PLAN\C-4 0\GRADE-16-342.dwg PLOT DATE: 9/1/2023 BY: James P. Butler

BENCHMARKS
(GPS DERIVED - NAVD88)

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SOUTHWEST OF SOUTHWEST BUILDING CORNER OF
ADDRESS #1399 PACIFIC DRIVE.
ELEV. - 973.97

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ELEV. - 967.68

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ARROW ON DIMPLE ON HYDRANT, EAST SIDE OF
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BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA
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26125C0359F DATED SEPTEMBER 29, 2006.

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(PER CITY OF AUBURN HILLS ONLINE ACCESSMYGOV.COM DATED 11-14-16)

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389.45 FT, TH S87°21'59"W 345.45 FT TO BEG 1-17-97 FR 376-022

STORMWATER DETENTION NOTE:
THE SUBJECT PARCEL IS INCLUDED IN REGIONAL STORMWATER
DETENTION FACILITIES PER THE VINEWOOD DRAIN PLANS. THE
PROPOSED DEVELOPMENT WILL HAVE A LOWER RUNOFF
COEFFICIENT FOR THE PARCEL THAN WAS ACCOUNTED FOR IN THE
VINEWOOD DRAIN PLANS, SO NO ADDITIONAL STORMWATER
DETENTION IS REQUIRED.

RUNOFF COEFFICIENT PER VINEWOOD DRAIN PLANS = 0.70
PROPOSED DEVELOPMENT RUNOFF COEFFICIENT = 0.65
TOTAL SITE AREA = 161,218 SFT
PROPOSED IMPERVIOUS AREA = 102,551 SFT (C = 0.90)
PROPOSED PERVIOUS AREA = 58,667 SFT (C = 0.20)

PREMIUM TRENCH BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF
THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE
OF INFLUENCE OF PAVEMENT) SHALL HAVE
M.D.O.T. CLASS II GRANULAR BACKFILL
COMPACTED TO 95% MAX. DRY DENSITY (ASTM
D-1557).

NOTE:
CONTRACTOR TO VERIFY ALL QUANTITIES. ANY
DEVIATIONS TO THE PLAN QUANTITIES SHALL BE
BROUGHT TO THE ATTENTION OF PEA GROUP FOR
VERIFICATION, PRIOR TO BIDDING.

PUBLIC UTILITY EASEMENTS:
ALL SANITARY SEWERS 8" AND LARGER IN
DIAMETER ARE TO BE PUBLIC AND SHALL BE
LOCATED IN A 20' WIDE EASEMENT. ALL WATER
MAIN SHALL BE LOCATED IN A 12' WIDE EASEMENT.

CITY OF AUBURN HILLS STORM SEWER FRAME AND COVER NOTES

CATCH BASIN/INLET - CURB
FRAME: EJ 5105
COVER: TYPE "M1"
WITH TROUT LOGO

CATCH BASIN/INLET - PAVEMENT
FRAME: EJ 1040
COVER: TYPE "M1"

CATCH BASIN/INLET - YARD
FRAME: EJ 1040
COVER: TYPE "02"
COVER: TYPE "N" WITHIN 8' OF ROAD

MANHOLE
FRAME: EJ 1040
COVER: TYPE "C"

Z CLEANOUTS AND STRUCTURES NOT AT
STORMWATER COLLECTION POINTS
FRAME: EJ 1040
COVER: TYPE "A"

UTILITY LEGEND:

- OH-ELEC - OH. ELEC. POLE & GUY WIRE
- UG-CATV - U.G. CABLE TV & PEDESTAL
- UG-COMM - U.G. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC - U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX - EX. GAS LINE
- EX - EX. GAS VALVE & GAS LINE MARKER
- EX - EX. TRANSFORMER & IRRIGATION VALVE
- EX - EX. WATER MAIN
- EX - EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX - EX. WATER VALVE BOX & SHUTOFF
- EX - EX. SANITARY SEWER
- EX - EX. SANITARY CLEANOUT & MANHOLE
- EX - EX. COMBINED SEWER MANHOLE
- EX - EX. STORM SEWER
- EX - EX. CLEANOUT & MANHOLE
- EX - EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX - EX. YARD DRAIN & ROOF DRAIN
- EX - EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT AND GATE VALVE
- PROPOSED TAPPING SLEEVE, VALVE & WELL
- PROPOSED POST INDICATOR VALVE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY CLEANOUT & MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER CLEANOUT & MANHOLE
- PROPOSED CATCH BASIN, INLET & YARD DRAIN

FIRE DEPARTMENT NOTES:

- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS
SHALL BE PAINTED ACCORDING TO THE FOLLOWING:

WHITE ON 4" MAINS
RED ON 6" MAINS
ORANGE ON 8" MAINS
GREEN ON 12" MAINS
BLUE ON 16" MAINS OR LARGER
- NO PARKING SHALL BE PERMITTED AND/OR NO
OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN
FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT
CONNECTION PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED
WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND
WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT
WIDE PAVED DRIVEWAY OR STREET.
- GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL
SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON
THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE
FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE
OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED
BETWEEN UTILITIES AND THE FIRE DEPARTMENT
CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH
UNIFORM SIGNS IN KEEPING WITH THE STANDARD
ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM
TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERCTED ON
BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN
SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS
MUST BE PROTECTED WITH GUARD POSTS OR PARKING
BLOCKS.
- A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE
UPPER FLANGE OF ALL FIRE HYDRANTS.

UTILITY NOTES:

- 12" WIDE PUBLIC EASEMENT SHALL BE PROVIDED FOR THE PUBLIC SECTION
OF WATER MAIN ON AND OFF SITE.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO,
TREES, LIGHT POLES, DRAINAGE STRUCTURES, BENCHES, TRASH
RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE
OF THE PUBLIC WATER MAIN OR SANITARY EASEMENTS.
- ALL SANITARY SEWER BUILDING LEADS SHALL BE 6" DIAMETER PVC
SCHEDULE 40 AT 1.0% (MIN.) WITH CLEANOUTS AT 100' INTERVALS.
- 5.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAINS.
- 4.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- 2.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL STORM SEWER.
- 18" (MINIMUM) OF VERTICAL CLEARANCE IS REQUIRED BETWEEN UTILITIES.

ADDITIONAL UTILITY NOTES:

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH
THE STANDARDS AND REQUIREMENTS OF THE CITY OF AUBURN HILLS.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER
MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- REFER TO DETAIL SHEET C-9.0 FOR ADDITIONAL UTILITY DETAILS AND NOTES.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON CL-54,
PVC C909 OR HDPE C906 DR11 PER CITY STANDARDS.
- ALL FIRE HYDRANTS SHALL BE EJIW "WATERMASTER" #5BR MODEL #250 PER CITY STANDARDS.
- ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER
MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE
ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
- THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER
AND SEWER DEPARTMENT AT (313) 833-4682 AT LEAST THREE WORKING DAYS IN ADVANCE
OF STARTING CONSTRUCTION.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 PIPE AND
FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS
OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND
AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.L.W. #1565 BOX OR EQUAL.
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP
C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS, OR
CORRUGATED SMOOTH WALL HIGH DENSITY POLYETHYLENE (HDPE), WITH PREMIUM JOINTS
MEETING AASHTO STANDARD M-284 AND ASTM D3212. MATERIALS SHALL BE HOPE MEETING
ASTM D3350 OR D1218, T3, CLC, CAT4 OR P33 AND SHOULD BE INSTALLED IN ACCORDANCE
WITH ASTM D2321.
- ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GLUED JOINTS UNLESS OTHERWISE
NOTED.
- THE CITY OF AUBURN HILLS STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A
PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF AUBURN HILLS STANDARD
DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND
DETAILS.

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

PEA
GROUP

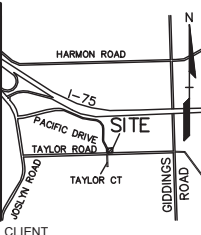
t: 844.813.2949
www.peagroup.com



0 15 30 60
SCALE: 1" = 30'



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CLIENT
DEI PROPERTIES
12955 23 MILE ROAD
GRIFFIN TOWNSHIP, MICHIGAN 48315

PROJECT TITLE
**1456 PACIFIC
DRIVE
INDUSTRIAL**
AUBURN HILLS, MICHIGAN

REVISIONS
PER COAH REVIEW 08-18-23
PER COAH REVIEW 09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

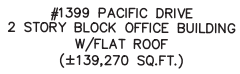
DRAWING TITLE
**PRELIMINARY
UTILITY PLAN**

PEA JOB NO. 16-0342
P.M. JPB
DN. CNR
DES. JPB

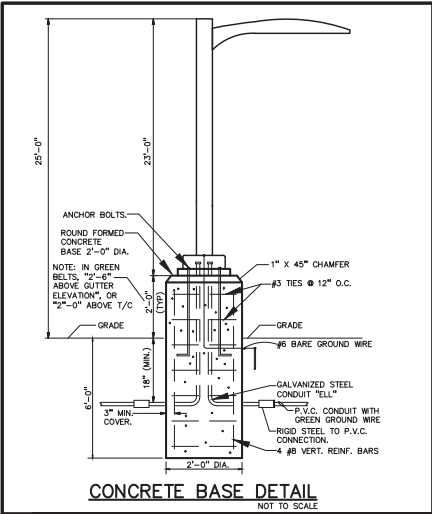
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C-6.0

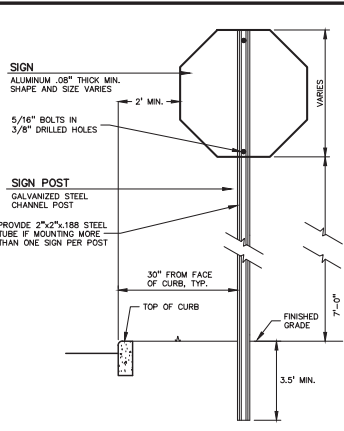
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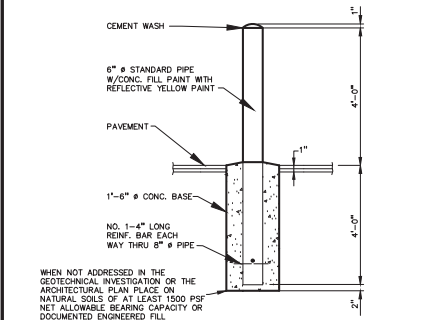
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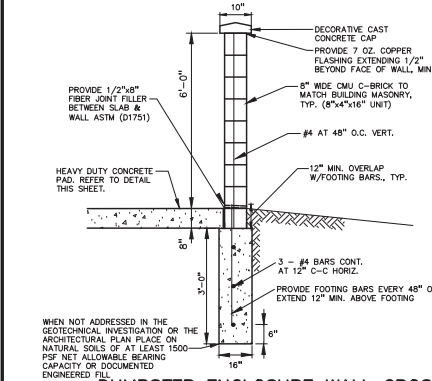
CONCRETE BASE DETAIL
NOT TO SCALE



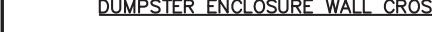
**SIGN AND POST INSTALLATION
IN LANDSCAPED AREAS**
NOT TO SCALE



6\"/>



TRASH ENCLOSURE GATE DETAIL
NOT TO SCALE



6\"/>



PLAN VIEW
NOT TO SCALE



TRASH ENCLOSURE WALL CROSS SECTION
NOT TO SCALE



TRASH ENCLOSURE WALL PLAN VIEW
NOT TO SCALE



STOP SIGN DETAIL
NOT TO SCALE



NO PARKING FIRE LANE SIGN DETAIL
NOT TO SCALE

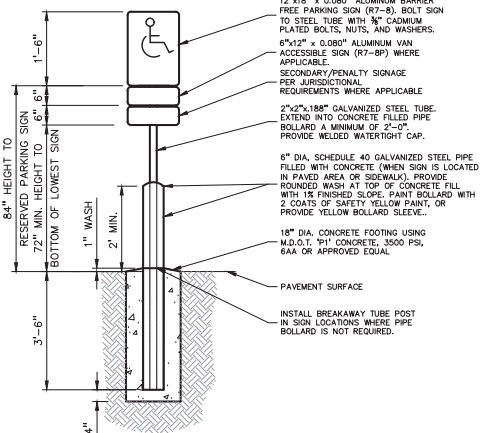


RESERVED PARKING ONLY SIGN DETAIL
NOT TO SCALE

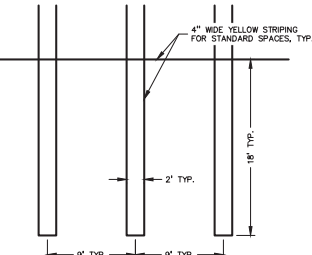


RESERVED PARKING ONLY SIGN DETAIL
NOT TO SCALE

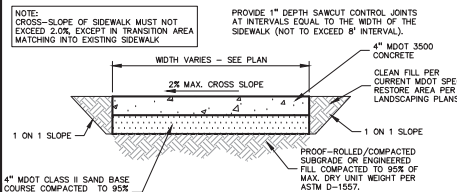
- BARRIER FREE SIGN NOTES:**
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
 - ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
 - WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
 - SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
 - ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
 - IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
 - ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



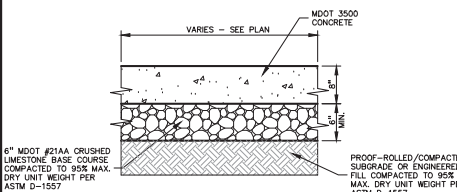
BARRIER FREE SIGN AND POST DETAIL
NOT TO SCALE



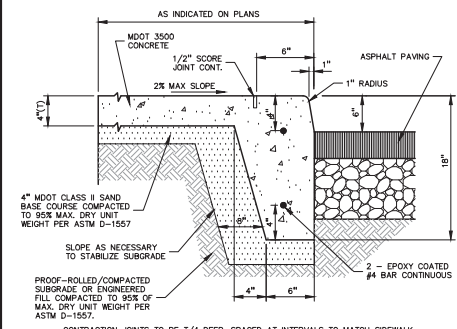
DOUBLE STRIPING DETAIL
NOT TO SCALE



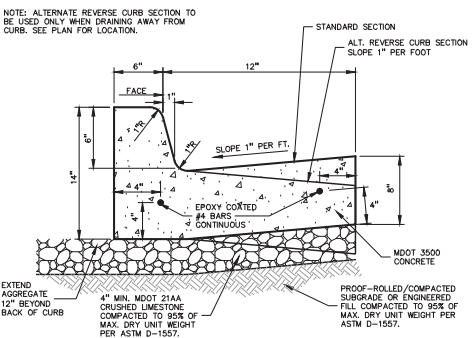
CONCRETE SIDEWALK
NOT TO SCALE



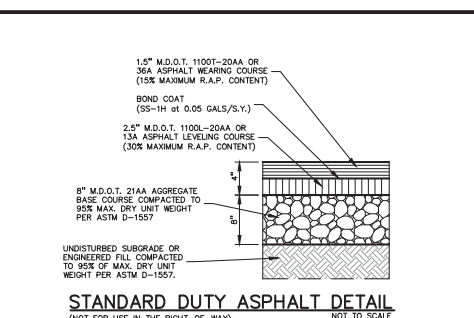
HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE



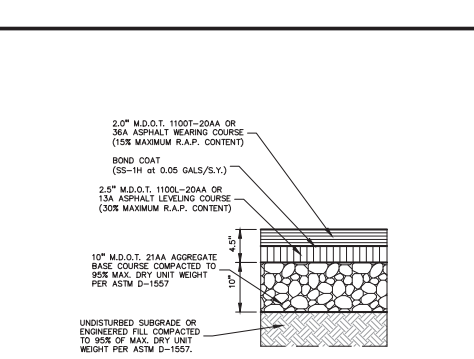
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



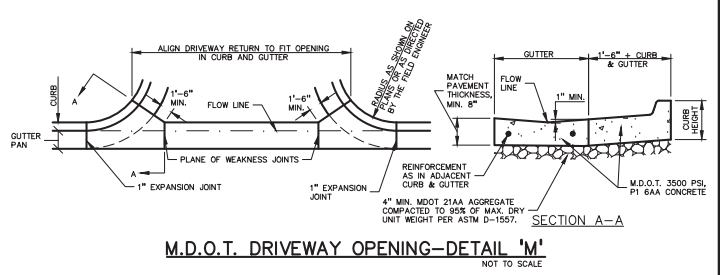
18\"/>



STANDARD DUTY ASPHALT DETAIL
NOT TO SCALE

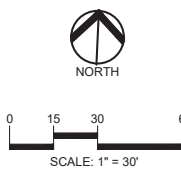


HEAVY DUTY ASPHALT DETAIL
NOT TO SCALE

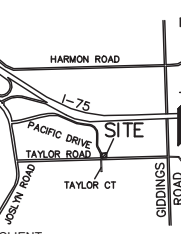


M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE

PEA GROUP
t: 844.813.2949
www.peagroup.com



CAUTION!!
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DEI PROPERTIES
12955 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN 48315

PROJECT TITLE
1456 PACIFIC DRIVE INDUSTRIAL
AUBURN HILLS, MICHIGAN

REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

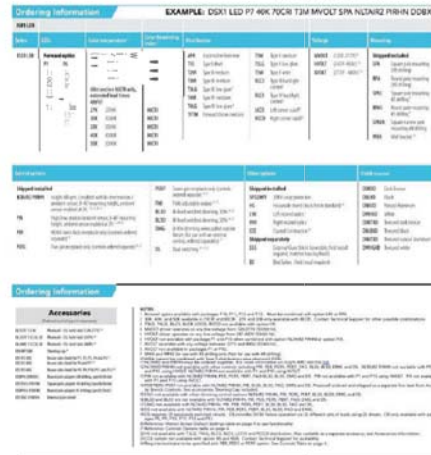
DRAWING TITLE
NOTES AND DETAILS

PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB

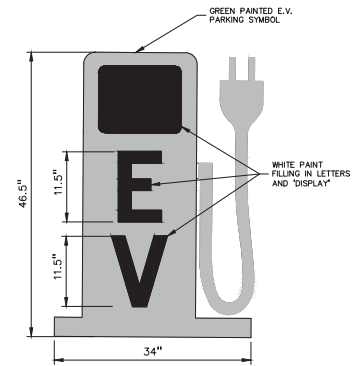
DRAWING NUMBER:

C-9.0

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009



LIGHT FIXTURE DETAILS
NOT TO SCALE



EV PARKING SYMBOL
NOT TO SCALE



12" x 18"
GREEN TEXT WITH BLUE SYMBOL
ON WHITE REFLECTORIZED
7'-0" MOUNTING HEIGHT

**ELECTRIC VEHICLE
PARKING SIGN DETAIL**

NOT TO SCALE



t: 844.813.2949
www.peagroup.com

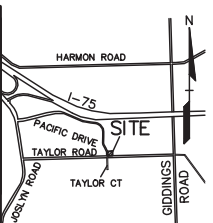


0 15 30 60

SCALE: 1" = 30'



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CLIENT
DEI PROPERTIES
12955 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN, 48315

PROJECT TITLE
**1456 PACIFIC
DRIVE
INDUSTRIAL**
AUBURN HILLS, MICHIGAN

REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE

**NOTES AND
DETAILS**

PEA JOB NO.	16-0342
P.M.	JPB
DN.	CNR
DES.	JPB

DRAWING NUMBER:

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

C-9.0

One genus to contribute no more than 40% of the Trees for 51-100 proposed trees (70 Trees x 0.40 = 28 Trees)

3	AC8	<i>Abies concolor</i> (CONCOLOR FIR)	8' HL.	<u>4.29%</u>	<u>4.29%</u>
3	PG8	<i>Picea glauca</i> (WHITE SPRUCE)	8' HL.	<u>4.29%</u>	<u>8.57%</u>
3	PO8	<i>Picea omorika</i> (SERBIAN SPRUCE)	8' HL.	<u>4.29%</u>	
5	PS8	<i>Pinus strobus</i> (EASTERN WHITE PINE)	8' HL.	7.14%	7.14%

PER CITY OF AUBURN HILLS ZONING ORDINANCE – I-1 INDUSTRIAL

Frontage Landscaping	TAYLOR RD.: 345.45 lf / 30 = 12 Trees Req.	12 Trees Provided
	PACIFIC DR.: 399.67 lf / 30 = 14 Trees Req.	14 Trees Provided

DESCRIPTION	SURVEYED TREES	REPLACEMENT TREES
NON REGULATED TREES	92	0
REMOVED - LANDMARK TREES (39")	1	4(+)
REMOVED - REGULATED TREES	32	32
SAVED TREES	4	0

(+) FOR LANDMARK TREE, REPLACE 25% OF THE TOTAL DBH OF TREES REMOVED:
 $39'' \times 0.25 = 9.75'' / 2.5'' = 4 \text{ TREES}$

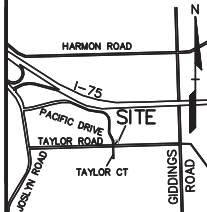
1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.

3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSEYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.

t: 844.813.2949
www.peagroup.com



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DEI PROPERTIES

12955 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN, 48315

**1456 PACIFIC
DRIVE
INDUSTRIAL**

PER COAH REVIEW	08-18-20
PER COAH REVIEW	09-01-20

ORIGINAL ISSUE DATE:
JULY 26, 2023

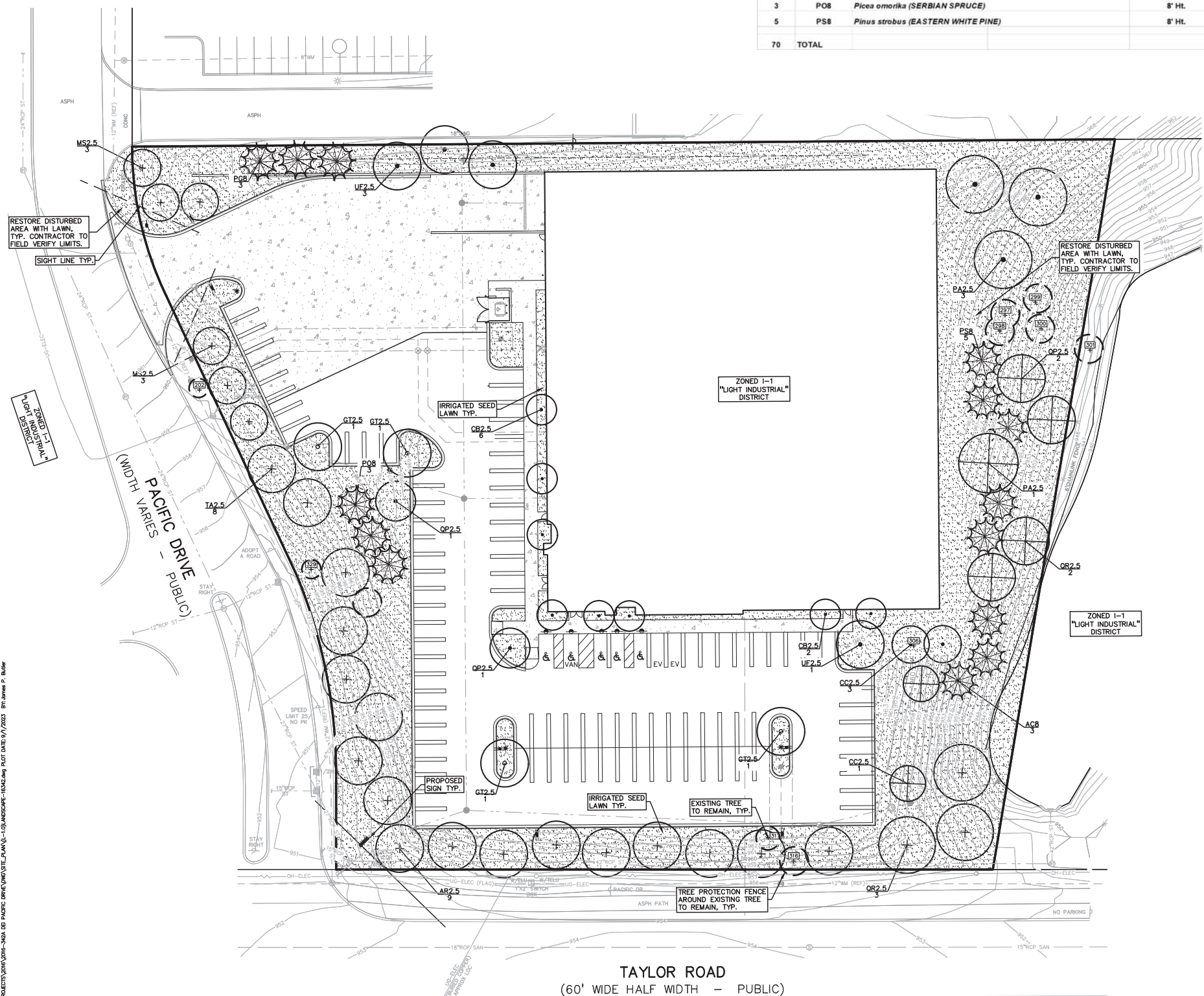
LANDSCAPE PLAN

PEA JOB NO.	16-0342
P.M.	JPE
DN.	KAD
DES.	KAD

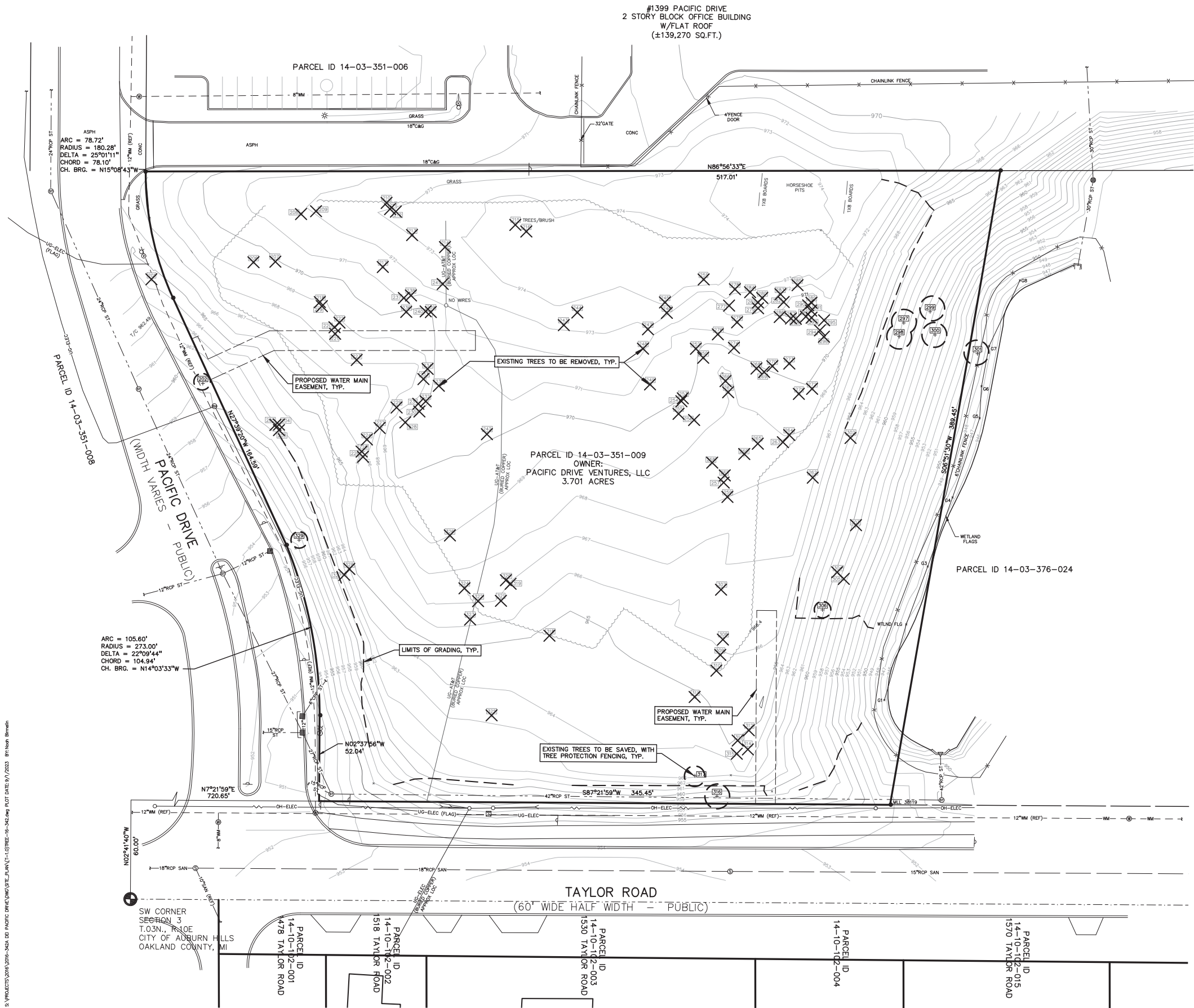
DRAWING NUMBER:

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

L-1.0



S:\PROJECTS\2023\16-0342\16-0342.dwg PLOT DATE: 9/1/2023 8:11:00am Birmelin



KEY:

- = EXISTING TREE TO REMAIN
 - = EXISTING TREE TO BE REMOVED
 - = TREE PROTECTION FENCING
- SEE SHEET L-1.0 FOR TREE REPLACEMENT

PEA GROUP
t: 844.813.2949
www.peagroup.com



0 15 30 60
SCALE: 1" = 30'



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CLIENT
DEI PROPERTIES
12955 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN 48315

PROJECT TITLE
1456 PACIFIC DRIVE INDUSTRIAL
AUBURN HILLS, MICHIGAN

REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
TREE PRESERVATION PLAN

PEA JOB NO.	16-0342
P.I.M.	JPB
DN.	BGG
DES.	KAD

DRAWING NUMBER:

T-1.0

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

S:\PROJECTS\2025\2025-NOAH DEI PACIFIC DRIVE\DWG\SITE_PLAN\1-1-01TREE-16-342.dwg PLOT DATE: 9/1/2023 BT: Noah Barneth

TAG NO.	CODE	DBH	LATIN NAME	COMMON NAME	COND	COMMENT	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)
201	LL	7	Littleleaf Linden	Tilia-Cordata	Fair		REG./REPLACE	-	X
202	HL	8	Honeylocust	Gleditsia triacanthos	Good		REG	-	S
203	CT	10	Cottonwood	Populus deltoides	Good		N (SPECIES)	-	X
204	CT	7	Cottonwood	Populus deltoides	Good		N (SPECIES)	-	X
205	CT	8	Cottonwood	Populus deltoides	Good		N (SPECIES)	-	X
206	EE	12	Siberian Elm	Ulmus-pumila	Fair	9,8	N (SPECIES)	-	X
207	EE	16	Siberian Elm	Ulmus-pumila	Fair	14,10	N (SPECIES)	-	X
208	EE	6	Siberian Elm	Ulmus-pumila	Fair		N (SPECIES)	-	X
209	EE	6	Siberian Elm	Ulmus-pumila	Good		N (SPECIES)	-	X
210	EE	8	Siberian Elm	Ulmus-pumila	Fair		N (SPECIES)	-	X
211	EE	8	Siberian Elm	Ulmus-pumila	Fair	5	N (SPECIES)	-	X
212	EE	7	Siberian Elm	Ulmus-pumila	Fair		N (SPECIES)	-	X
213	EE	6	Siberian Elm	Ulmus-pumila	Fair	6	N (SPECIES)	-	X
214	EE	9	Siberian Elm	Ulmus-pumila	Fair		N (SPECIES)	-	X
215	EE	7	Siberian Elm	Ulmus-pumila	Good		N (SPECIES)	-	X
216	EE	7	Siberian Elm	Ulmus-pumila	Fair		N (SPECIES)	-	X
217	EE	6	Siberian Elm	Ulmus-pumila	Good	4	N (SPECIES)	-	X
218	BX	9	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
219	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
220	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
221	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
222	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
223	BX	11	Box-elder	Acer-negundo	Good	5	N (SPECIES)	-	X
224	BW	10	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
225	BW	16	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
226	BW	12	Black-Walnut	Juglans-nigra	Good	11	REG./REPLACE	-	X
227	BW	34	Black-Walnut	Juglans-nigra	Fair		REG./REPLACE	-	X
228	BW	12	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
229	BW	10	Black-Walnut	Juglans-nigra	Fair		REG./REPLACE	-	X
230	BW	6	Black-Walnut	Juglans-nigra	Poor		REG./REPLACE	-	X
231	BW	6	Black-Walnut	Juglans-nigra	Fair		REG./REPLACE	-	X
232	BW	7	Black-Walnut	Juglans-nigra	Fair		REG./REPLACE	-	X
233	BW	6	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
234	BW	12	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
235	BW	13	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
236	BX	6	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
237	BX	6	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
238	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
239	BW	16	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
240	BW	16	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
241	BX	7	Box-elder	Acer-negundo	Good	3	N (SPECIES)	-	X
242	BW	41	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	Y	X
243	BW	19	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
244	BW	7	Black-Walnut	Juglans-nigra	Fair		REG./REPLACE	-	X
245	BW	7	Black-Walnut	Juglans-nigra	Good	6	REG./REPLACE	-	X
246	BW	14	Black-Walnut	Juglans-nigra	Poor	12	REG./REPLACE	-	X
247	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
248	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
249	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
250	EE	16	Siberian Elm	Ulmus-pumila	Poor		N (SPECIES)	-	X
251	BX	6	Box-elder	Acer-negundo	Good	5,4	N (SPECIES)	-	X
252	EE	8	Siberian Elm	Ulmus-pumila	Poor		N (SPECIES)	-	X
253	BW	8	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
254	BX	7	Box-elder	Acer-negundo	Poor		N (SPECIES)	-	X
255	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
256	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
257	EE	6	Siberian Elm	Ulmus-pumila	Poor		N (SPECIES)	-	X
258	BX	17	Box-elder	Acer-negundo	Poor	13,12	N (SPECIES)	-	X
259	PR	8	Pear	Pyrus-communis	Fair	8	REG./REPLACE	-	X
260	BW	9	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
261	PR	7	Pear	Pyrus-communis	Fair		REG./REPLACE	-	X
262	BX	11	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
263	BX	11	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
264	BX	9	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
265	BX	21	Box-elder	Acer-negundo	Poor		N (SPECIES)	-	X

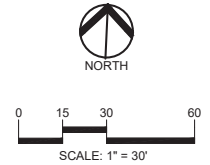
TAG NO.	CODE	DBH	LATIN NAME	COMMON NAME	COND	COMMENT	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)
266	BW	14	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
267	BX	7	Box-elder	Acer-negundo	Poor		N (SPECIES)	-	X
268	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
269	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
270	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
271	BX	7	Box-elder	Acer-negundo	Good	6	N (SPECIES)	-	X
272	BX	8	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
273	BX	6	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
274	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
275	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
276	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
277	BX	7	Box-elder	Acer-negundo	Poor		N (SPECIES)	-	X
278	BX	12	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
279	BX	9	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
280	BX	9	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
281	BX	9	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
282	BX	10	Box-elder	Acer-negundo	Fair	7	N (SPECIES)	-	X
283	BX	10	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
284	BX	11	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
285	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
286	BX	10	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
287	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
288	BX	9	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
289	BX	7	Box-elder	Acer-negundo	Fair	5	N (SPECIES)	-	X
290	BX	8	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
291	BX	9	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
292	BX	14	Box-elder	Acer-negundo	Fair	9	N (SPECIES)	-	X
293	BX	8	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
294	BX	6	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
295	BX	12	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
296	BX	9	Box-elder	Acer-negundo	Fair	6	N (SPECIES)	-	X
297	BX	6	Box-elder	Acer-negundo	Good	5	N (SPECIES)	-	S
298	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	S
299	BX	6	Box-elder	Acer-negundo	Good		N (SPECIES)	-	S
300	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	S
301	BX	7	Box-elder	Acer-negundo	Good		N (SPECIES)	-	S
302	EE	7	Siberian Elm	Ulmus-pumila	Good		N (SPECIES)	-	X
303	BW	6	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
304	BX	12	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
305	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
306	BW	6	Black-Walnut	Juglans-nigra	Good		REG	-	S
307	BW	18	Black-Walnut	Juglans-nigra	Good	6	REG./REPLACE	-	X
308	BX	12	Box-elder	Acer-negundo	Very-poor		N (SPECIES)	-	X
309	BW	16	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
310	BX	13	Box-elder	Acer-negundo	Good		N (SPECIES)	-	X
311	EE	8	Siberian Elm	Ulmus-pumila	Fair	7	N (SPECIES)	-	X
312	BX	6	Box-elder	Acer-negundo	Poor	3,3	N (SPECIES)	-	X
313	BW	12	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
314	BW	8	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
315	BW	11	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
316	BW	13	Black-Walnut	Juglans-nigra	Good		REG	-	S
317	BX	10	Box-elder	Acer-negundo	Poor		N (SPECIES)	-	S
318	BW	30	Black-Walnut	Juglans-nigra	Fair		REG./REPLACE	-	X
319	BX	6	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
320	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
321	BX	7	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
322	BW	11	Black-Walnut	Juglans-nigra	Good		REG./REPLACE	-	X
323	BX	9	Box-elder	Acer-negundo	Fair	4	N (SPECIES)	-	X
324	BX	6	Box-elder	Acer-negundo	Fair		N (SPECIES)	-	X
325	EE	36	Siberian Elm	Ulmus-pumila	Poor		N (SPECIES)	-	X
326	EE	6	Siberian Elm	Ulmus-pumila	Fair		N (SPECIES)	-	X
327	EE	13	Siberian Elm	Ulmus-pumila	Good		N (SPECIES)	-	X
328	EE	18	Siberian Elm	Ulmus-pumila	Fair	10	N (SPECIES)	-	X
329	HL	10	Honeylocust	Gleditsia triacanthos	Good		REG	-	S

STANDARD TREES		
STANDARD TREES REMOVED:	32	(1:1 REPLACEMENT)

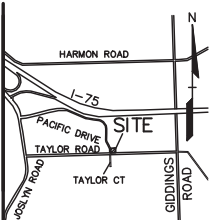
LANDMARK TREES		
LANDMARK TREES REMOVED:	1	
LANDMARK TREE DBH REMOVED:	41	(25% DBH REPLACEMENT)
REPLACEMENT DBH REQUIRED:	10.25	INCHES

DESCRIPTION	SURVEYED TREES	REPLACEMENT TREES
Non-regulated trees	92	0
Removed - Landmark Trees (41")	1	4
Removed - Regulated Trees	32	32
Saved (Reg/LM)	4	
Totals	129	36

SEE SHEET L-1.0 FOR TREE REPLACEMENT



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
DEI PROPERTIES
12955 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN 48315

PROJECT TITLE
1456 PACIFIC DRIVE INDUSTRIAL
AUBURN HILLS, MICHIGAN

REVISIONS	
PER COAH REVIEW	08-18-23
PER COAH REVIEW	09-01-23

ORIGINAL ISSUE DATE:
JULY 26, 2023

DRAWING TITLE
TREE PRESERVATION LIST

PEA JOB NO.	16-0342
P.M.	JPB
DN.	BGG
DES.	KAD

DRAWING NUMBER:

NOT FOR CONSTRUCTION
SIDWELL # 14-03-351-009

T-1.1

building data

LOCAL AGENCY:	CLINTON TOWNSHIP DEPARTMENT OF BUILDING AND SAFETY 40100 NOTED PLANK ROAD CLINTON TWP, MI 48044
REFERENCE CODE:	2015 MICHIGAN BUILDING CODE WITH STATE AMENDMENTS 2018 MICHIGAN PLUMBING CODE WITH STATE AMENDMENTS 2018 MICHIGAN MECHANICAL CODE WITH STATE AMENDMENTS 2011 NATIONAL ELECTRICAL CODE WITH STATE AMENDMENTS 2018 MICHIGAN ENERGY CODE ASHRAE 90.1 - 2013
BUILDING AREA:	OFFICE: 4,880 SQ. FT. SHOP: 42,848 SQ. FT. TOTAL: 47,728 SQ. FT.
USE GROUP:	(F-1) FACTORY AND INDUSTRIAL
CONSTRUCTION TYPE:	VB (COMBUSTIBLE, UNPROTECTED)
PROPOSED USE:	INDUSTRIAL FACILITY
OCCUPANT LOAD:	OFFICE / SHOP AREA: 1 PER 100 S.F. GROSS • 47,728 / 100 • 477 OCCUPANTS (TABLE 1008.12)
FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS PER TABLE 602:	0 HOURS
FIRE RESISTANCE RATING OF EXTERIOR NON-LOAD-BEARING WALLS PER TABLE 602 AND TABLE 105.2:	0 HOURS
FIRE RESISTANCE RATING OF EXTERIOR LOAD-BEARING PARTITION WALLS PER TABLE 602 AND TABLE 105.2:	0 HOURS
FIRE RESISTANCE RATING OF NON- LOAD-BEARING PARTITION WALLS PER TABLE 602:	0 HOURS
FIRE RESISTANCE RATING OF INTERIOR LOAD-BEARING WALLS, LOAD-BEARING PARTITIONS, COLUMNS, GIRDERS PER TABLE 602:	0 HOURS
FIRE RESISTANCE RATING OF TENANT SEPARATION WALLS PER TABLE 602:	1 HOUR
FIRE RESISTANCE RATING OF ROOF CONSTRUCTION INCLUDING BEAMS, TRUSSES AND FRAMING, ARCHES AND ROOF DECK PER TABLE 602 AND SECTION 1402:	0 HOURS
FIRE RESISTANCE RATING OF INTERIOR FINISH PER TABLE 803.4:	REQUIRED VERTICAL EXITS & PASSAGEWAYS • CLASS I CORRIDORS PROVIDING EXIT ACCESS • CLASS II ROOMS OR ENCLOSED SPACES • CLASS III
FIRE RESISTANCE RATING OF INTERIOR FLOOR FINISH PER SECTION 806.0:	REQUIRED VERTICAL EXITS & PASSAGEWAYS • CLASS II CORRIDORS PROVIDING EXIT ACCESS • CLASS II ROOMS OR ENCLOSED SPACES • DOC-FF-1
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD PER TABLE 1010.2:	(2) TWO EXITS (3 PROVIDED)
MINIMUM LENGTH OF EXIT ACCESS TRAVEL PER TABLE 1006.3 (WITHOUT FIRE SUPP. SYSTEM):	250 FEET

allowable area:

Type IIB Construction:
ALLOWABLE AREA PER M.B.C. TABLE 503: 51 62,000 S.F.

(F-1) Factory Industrial &
(B) Business - Non Separated Mixed Use

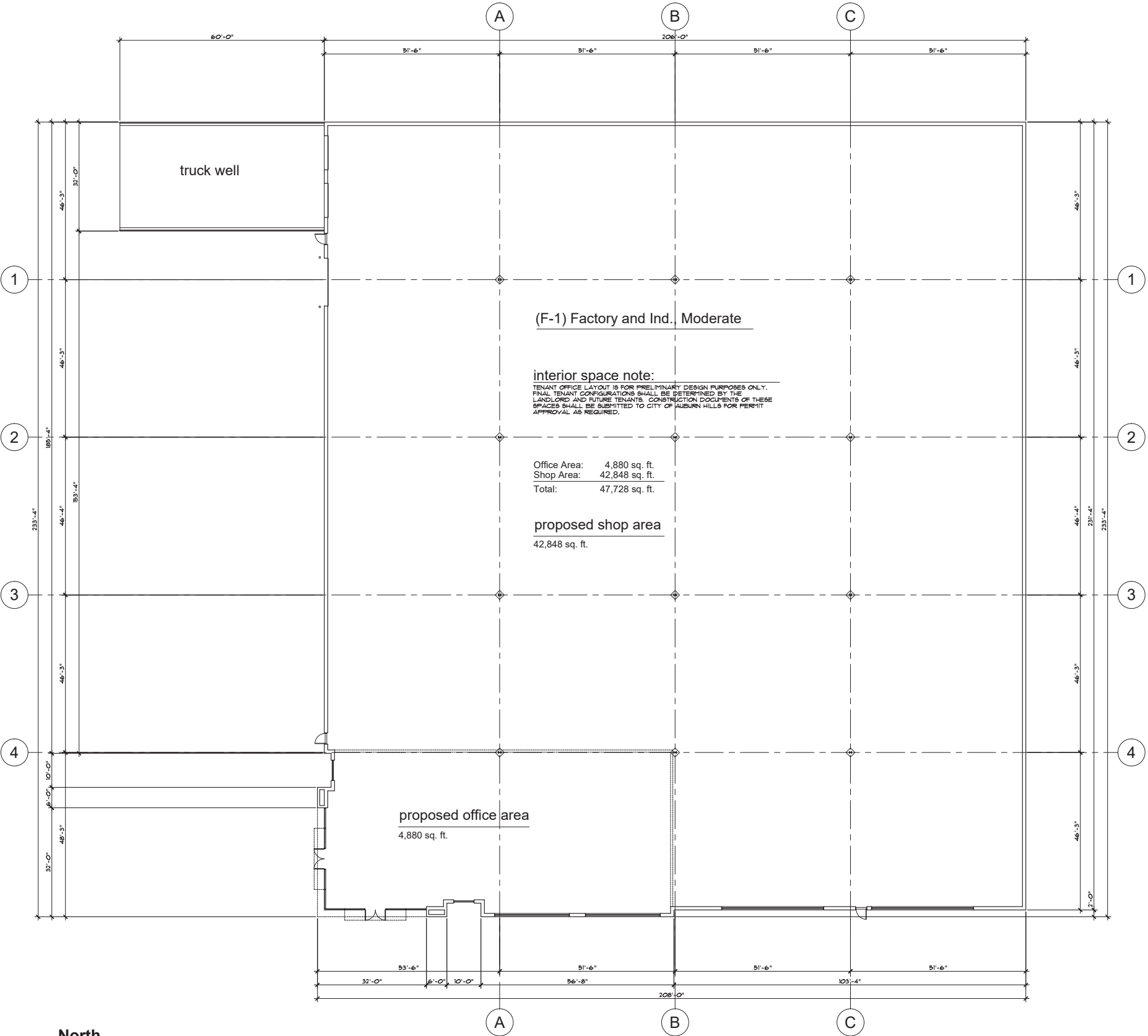
ALLOWABLE AREA CALCULATIONS:
TOTAL AREA: 47,728 SQUARE FEET

NOTE:
TOTAL AREA IS UNDER ALLOWABLE AREA.

fire suppression system note:

ENTIRE BUILDING TO BE 100% FIRE SUPPRESSED. FIRE
PROTECTION CONTRACTOR TO PROVIDE SHOP DRAWINGS
FOR APPROVAL.

PRIOR TO THE INSTALLATION OF AN AUTOMATIC
SPRINKLER SYSTEM, PLANS SHALL BE SUBMITTED AND
APPROVED BY THE FIRE MARSHAL. A MINIMUM OF
THREE (3) SETS OF COMPLETE SPRINKLER PLANS
SHALL BE SUBMITTED. TWO (2) SETS WILL BE RETAINED
BY THE FIRE DEPARTMENT, AND ALL OTHERS WILL BE
RETURNED TO THE SPRINKLER CONTRACTOR. THE
SPRINKLER SYSTEM SHALL BE INSTALLED AND
MAINTAINED IN ACCORDANCE WITH NFPA 13 AND ALL
LOCAL ORDINANCES.



floor plan

1/16" = 1'-0"

Frank
Salamone
architects
engineers
planners

48701 hayes rd
shelby, mi 48315
586.532.0091

fsalamone@fsarchitect.com
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Date Issued:

S.P.A. 08/15/23

Project:

Proposed Industrial
Development for:

1465 Pacific Dr.

Auburn Hills, MI

Client:

DEI Properties

12955 23 Mile Road
Shelby Twp., MI 48315

Sheet Title:

FLOOR PLAN

Project Number:

123-122

Drawn By:

JFN

Checked By:

F.S.



Issue:

- ☐ preliminary
☒ construction
☐ record

Sheet Number:

A-1

Signage Calculation:

TAYLOR ROAD:

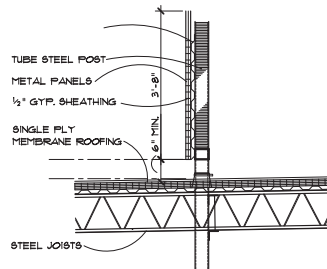
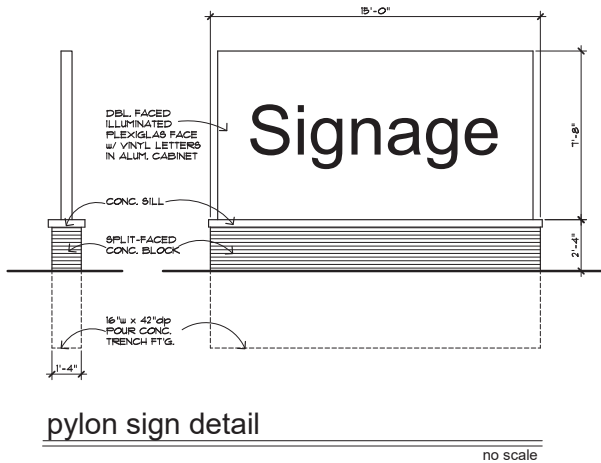
345.45' FRONTAGE
345.45 / 10 = 34.55 x 8 SQ. FT. = 276.36 SQ. FT.

PACIFIC AVENUE:

400.95' FRONTAGE
400.95 / 10 = 40.10 x 8 SQ. FT. = 320.76 SQ. FT.

TOTAL AREA:
276.36 + 320.76 = 597.12 SQ. FT. ALLOWABLE

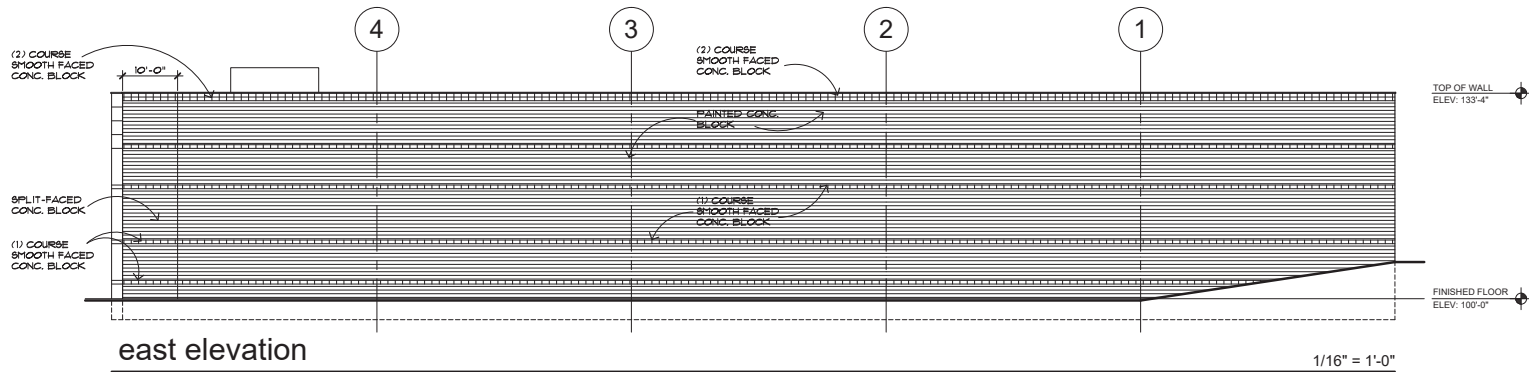
PROPOSED FUTURE BUILDING SIGNAGE:
300 SQ. FT.



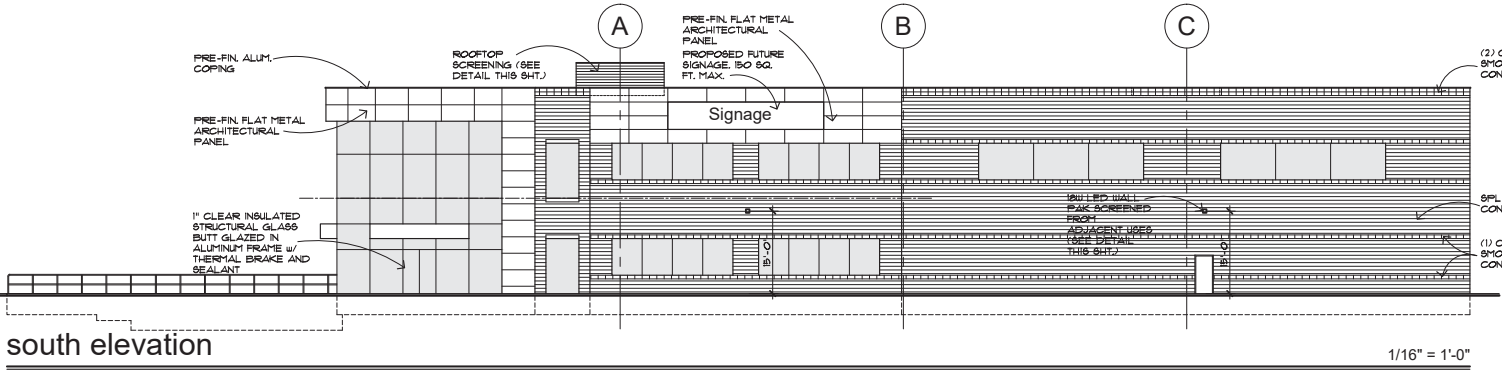
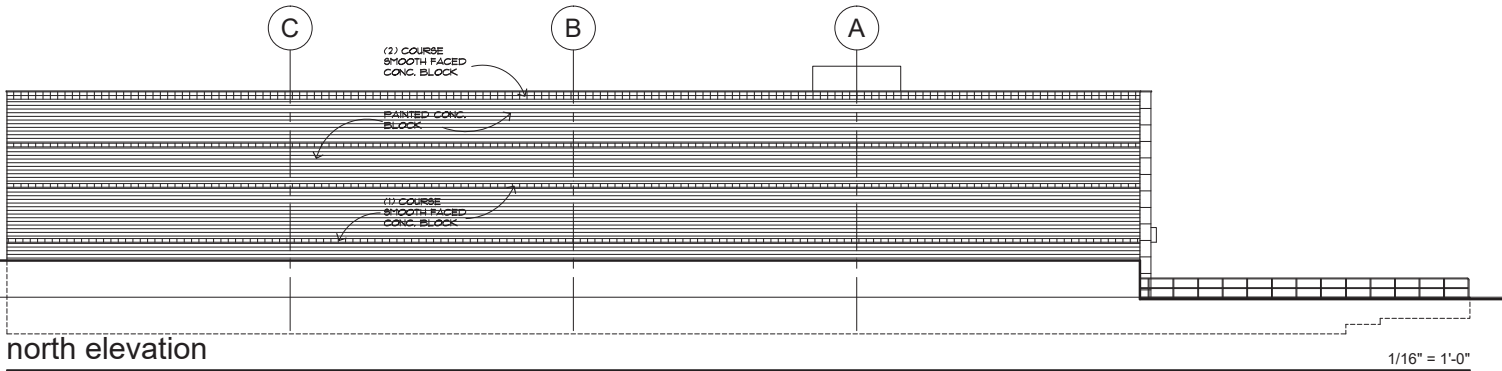
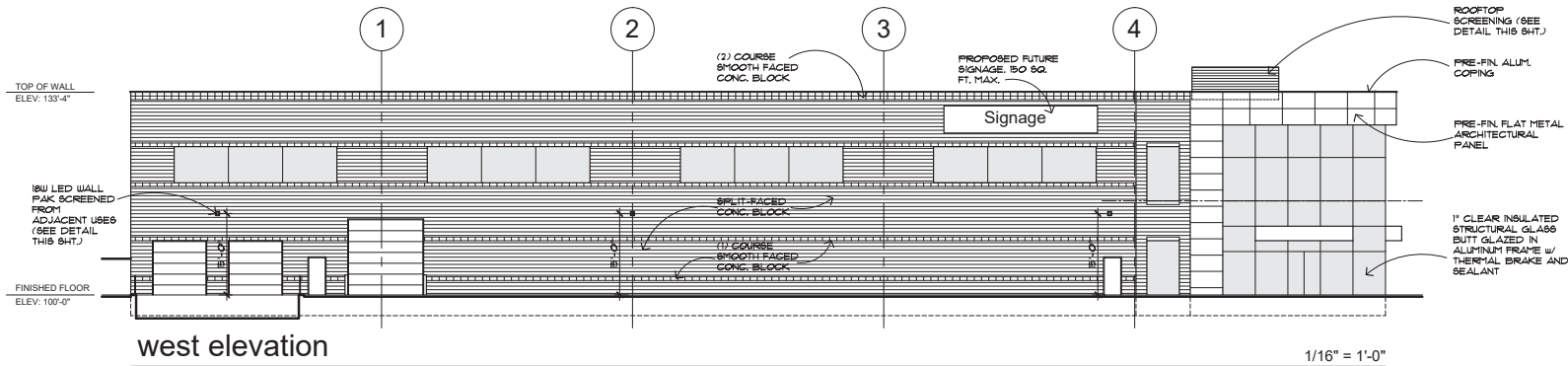
NOTE

ANY MODIFICATIONS TO THE FACADE (INCLUDING COLOR) SHALL BE RESUBMITTED TO THE CITY OF AUBURN HILLS FOR REVISED APPROVAL.

east elevation



west elevation

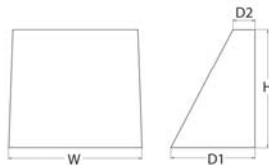


WDGE1 LED Architectural Wall Sconce



Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs (without options)



Catalog Number
Notes
Type

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	80CRI	VF	MVOLT 347V	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) Shipped separately AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry)
	P2	30K 3000K 35K 3500K 40K 4000K 50K 5000K	90CRI	VW		

Options	Finish
E4WH1 Emergency battery backup, CEC compliant (4WH, 0°C min)	DDBXD Dark bronze
PE1 Photocell, Button type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines, see page 3 for details)	DNAXD Natural aluminum
DWG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
RCE Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.	DSSXD Sandstone

Accessories	NOTES
WDGEAWS DDBXD U WDGE 3/8inch Architectural Wall Spacer (specify finish)	1 50K not available in 90CRI.
WDGEIPBBW DDBXD U WDGE1 Premium surface-mounted back box (specify finish)	2 347V not available with E4WH, DS or PE.
WDBBW DDBXD U Surface-mounted back box (specify finish)	3 E4WH not available with PE or DS.
	4 PE not available with DS.
	5 Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-755-SERV (7378) • www.lithonia.com

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WDGE1 LED Rev. 04/15/20

Frank Salamone

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Date Issued:

S.P.A. 08/15/23

Project:

Proposed Industrial Development for:

1465 Pacific Dr.

Auburn Hills, MI

Client:

DEI Properties

12955 23 Mile Road
Shelby Twp., MI 48315

Sheet Title:

ELEVATIONS

Project Number:

123-122

Drawn By:

JFN

Checked By:

F.S.



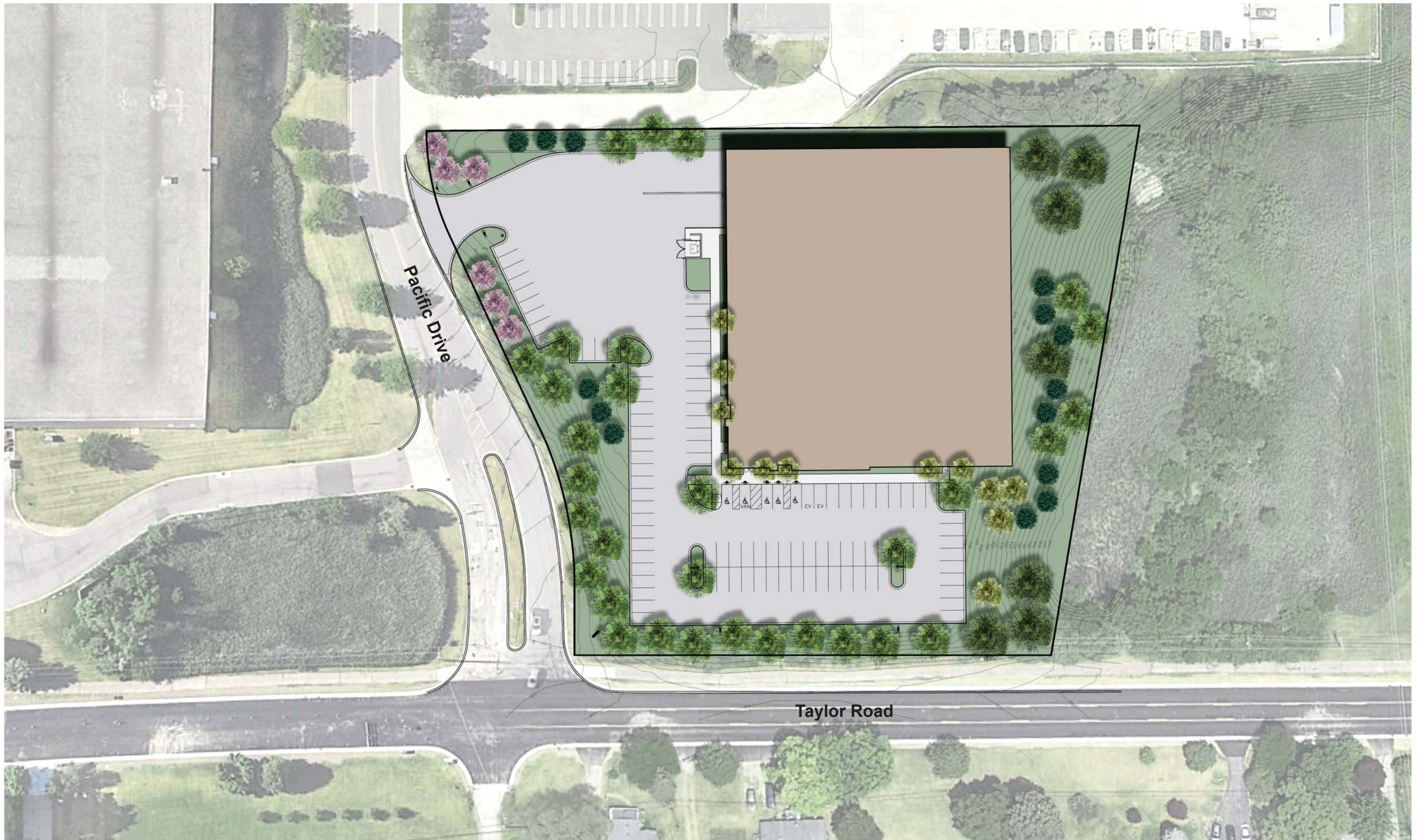
Issue:

- ☐ preliminary
- ☒ construction
- ☐ record

Sheet Number:

A-2





1456 Pacific Drive Industrial

We want to hear from you!

Come and help us *define and design*
your age-friendly community!

How old will you and your neighbors be in 2040?
A big change is coming. The City of Auburn Hills
is preparing for a huge demographic shift and the
increasing needs of our community.

Your input will help shape many of the City's future
policy and financial decisions regarding housing,
transportation and programs offered. Come
tell us about your experiences and ideas for
improving your community.

Open Meetings:

Thurs., Sept. 28

6:00 - 8:00 PM

Community Center

3350 E. Seyburn Drive

Wed., Oct. 11

6:00 - 8:00 PM

Avondale High School

2800 Waukegan Street

Refreshments will be provided.

RSVP appreciated! Bring a friend!

*Please indicate which meeting(s) you plan
to attend and if you are in need of special
accommodations or transportation.*

Contact Gabriella Allen at **248.364.6943**
to reserve your spot.

AARP[®]

**AGE
FRIENDLY**

AUBURN HILLS



500 West Big Beaver
Troy, MI 48084
troymi.gov



Planning Department
248.524.3364
planning@troymi.gov

August 29, 2023

Planning Commission Chairperson
City of Auburn Hills
City Administration Complex
1827 North Squirrel Road
Auburn Hills, MI 48326

SUBJECT: Distribution of Draft Master Plan

In accordance with the Michigan Planning Enabling Act (PA 33 of 2008 as amended), the City of Troy has prepared an update to the existing Master Plan and requests your cooperation and comment on the Plan. The proposed amendments are related to the Neighborhood Node land classification as well as updates to land use and demographics.

A copy of the draft plan can be found here: www.troymi.gov/draftmasterplan. Hard (paper) copies may be provided upon request.

This letter represents a second notice, and initiation of the 63-day comment period, which will conclude with a public hearing at an upcoming Planning Commission meeting. Please direct all comments to the Secretary of the Planning Commission via the Planning Department, at the e-mail address below.

We thank you for your consideration in this matter. If you have any questions or comments on the City of Troy Draft Master Plan or process at this time, please contact:

R. Brent Savidant, AICP
Planning Director
City of Troy Planning Department
500 W. Big Beaver
Troy, MI 48084

You can contact the City of Troy Planning Department at 248.524.3364 or by email to planning@troymi.gov with any questions you might have.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. Brent Savidant".

R. Brent Savidant, AICP
Community Development Director

cc: File/ City of Troy Master Plan