

# AGENDA

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Planning Commission  
Wednesday, May 8, 2024 ❖ 7:00 p.m.

**LOCATION: Council Chamber**  
**1827 N. Squirrel Road ❖ Auburn Hills, MI**

PHONE: 248-364-6900 [www.auburnhills.org](http://www.auburnhills.org)  
Meeting minutes are on file in the City Clerk's office.

1. **MEETING CALLED TO ORDER**
2. **ROLL CALL OF PLANNING COMMISSION**
3. **PERSONS WISHING TO BE HEARD** (regarding items not on the agenda)
4. **APPROVAL OF MINUTES** – April 3, 2024
5. **PETITIONERS**
  - 5a. **Penske Vehicle Services**  
Public Hearing / Motion - Recommendation to City Council for Special Land Use Permit (landbank parking, outside storage of vehicles, and light industrial use), Revised Site Plan, and Revised Tree Removal Permit approval
  - 5b. **Joslyn Road Fuel Station (Mobil)**  
Public Hearing / Motion - Recommendation to City Council for combined PUD Step One – Qualification / Step Two – Site Plan and Tree Removal Permit approval
6. **UNFINISHED BUSINESS** – None
7. **NEW BUSINESS** – None
8. **COMMUNICATIONS**
9. **NEXT SCHEDULED MEETING** – Wednesday, June 5, 2024 at 7:00 p.m. – Council Chamber
10. **ADJOURNMENT**

➤ **NOTE:** Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.

## **IMPORTANT NOTICE TO PETITIONERS**

Items will be presented to the City Council on **Monday, May 20, 2024**. It will be necessary for you to have a representative present to answer any questions from the City Council. ***CITY COUNCIL WILL NOT ACT ON YOUR ITEM IF YOU OR YOUR REPRESENTATIVE ARE NOT PRESENT.***



CITY OF AUBURN HILLS  
PLANNING COMMISSION  
MINUTES  
**NOT YET APPROVED**

April 3, 2024

**CALL TO ORDER:** Chairperson Ouellette called the meeting to order at 7:00 p.m.

**ROLL CALL:** Present: **Sam Beidoun, Dominick Tringali, Jack Ferguson, Cynthia Pavlich, Laura Ochs, Chauncey Hitchcock, Greg Ouellette**  
Absent: Carolyn Shearer, Ray Saelens  
Also Present: Director of Community Development Steve Cohen, and Assistant to the Director of Community Development Devin Lang  
Guests: 6

**LOCATION:** Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

**3. PERSONS WISHING TO BE HEARD**

**4. APPROVAL OF MINUTES – March 6, 2024**

Moved by Beidoun to approve the minutes of March 6, 2024.

Second by Ferguson.

**VOTE:** Yes: Beidoun, Ferguson, Ochs, Pavlich, Tringali, Hitchcock, Ouellette

No: None

**Motion Carried (7-0)**

**5. PETITIONERS**

**5a. Greystone Pickleball Club – Auburn Hills (7:02 p.m.)**

**Public Hearing/Motion – Recommendation to City Council for combined PUD Step One – Qualification/Step Two – Site Plan approval to construct an indoor recreational facility and event venue.**

Mr. Cohen explained that this is a request from Greystone Pickleball Club, LLC for Planned Unit Development Option (PUD) approval to construct a 60,528 square-foot indoor recreational facility and event venue on a 4.7-acre site located east of N. Opdyke, north of Featherstone Road. The development is proposed to occupy three vacant parcels, currently zoned B-2, General Business District and T&R, Technology and Research District. The land was previously used as an overflow parking lot for the former Pontiac Silverdome.

Greystone Pickleball Club, LLC proposed constructing this state-of-the-art 18-court pickleball facility to serve the growing demand for this recreational activity. The facility will also have the flexibility and amenities to host special events like corporate parties and tournaments since it will have a full kitchen and central gathering area.

Staff has recommended the PUD option be used for implementing the proposed project. The site has two zoning districts (B-2 and T&R Districts) and three typical Special Land Use Permit components (indoor recreational facility, event venue, and outdoor seating). Landscape requirements will be met, except for minimum greenspace requirements. A deviation is requested as the site will have 18% greenspace instead of 20%. A high-quality landscape with additional trees and shrubs will be provided.

Greystone Pickleball Club, LLC has also agreed to enter into a Development Agreement with the City to provide a portion of the facility's pickleball court capacity at a twenty percent (20%) discounted rate on all court rentals for Auburn Hills residents and Auburn Hills business residents to be administered by the City's Recreation Department.

The overall investment in the property is estimated at \$13 million, and construction is anticipated to begin this summer and be completed by the summer of 2025.

**Patrick Chisholm, Greystone Pickleball Club LLC, Franklin, TN**, presented the proposal and was available to answer any questions the Commission had. Mr. Chisholm wanted the Planning Commission to know that he has worked as a developer in many communities nationwide and has never encountered staff as helpful and professional as in Auburn Hills.

The Commission asked about the following:

1. The number of employees expected daily;
2. The adequacy of the number of charging stations;
3. The number of similar developments by the applicant;
4. The access and maintenance agreement for the shared access;
5. Peak hours;
6. The landscaping adjustment and the potential for a precedent;
7. The walking path along Opdyke and potential issues with pedestrians and bicycles;
8. How the event space would work;
9. Open play vs. walk-in use;
10. Anticipated rates.

Mr. Chisholm explained that there will be a combination of full-time and hourly staff. There will be 6-7 full-time staff and approximately 14-15 hourly staff, including eight professionals for instruction. He also stated that they will discuss additional EV charging stations with City staff because there is more parking than required.

Mr. Chisholm stated that while he is a real estate developer, this project is more of a family project and the first one of its kind in which he has been involved. The shared access and maintenance agreement from the site south to Featherstone Road is already in place.

Mr. Chisholm explained that any lull in usage would probably be in the early afternoon. Weekends are anticipated to be the busiest, but with lessons and open play/walk-in use, the peak hours could be spread throughout the day. The expected hours of operation are 7:00 a.m. to 10:00 p.m. This is intended to be a public facility available for events. The owners plan to be active with the Auburn Hills Chamber of Commerce. The interior of the facility will have removable partitions and nets. This will allow the space to be used for various event activities, including weddings, classic car shows, etc.

Mr. Cohen explained that the landscape area adjustment has been done before on other projects and does not set a precedent.

Mr. Chisholm acknowledged that pedestrian traffic concerns are an issue with every development, and it is necessary to educate the public.

Mr. Chisholm explained pickleball's player skill level system and the difference between open play and walk-in. There will also be league and tournament play opportunities. Most facilities charge \$10/hour per person.

Mr. Ouellette opened the public hearing at 7:20 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 7:20 p.m.

**Moved by Hitchcock to recommend to City Council approval of the combined PUD Step One – Concept Plan and PUD Step Two – Site Plan for the Greystone Pickleball Club – Auburn Hills subject to the conditions of the City's Administrative Review Team.**

**Second by Ferguson.**

**VOTE: Yes: Ochs, Hitchcock, Tringali, Beidoun, Ferguson, Pavlich, Ouellette**

**No: None**

**Motion Carried (7-0)**

**6. UNFINISHED BUSINESS – None.**

**7. NEW BUSINESS – None.**

**8. COMMUNICATIONS**

Mr. Cohen stated that one project, Penske Vehicle Services, is anticipated to be considered at the May 8, 2024 meeting.

**9. NEXT SCHEDULED MEETING**

The next scheduled meeting is on Wednesday, May 8, 2024 at 7:00 p.m. in the Auburn Hills Council Chambers.

**10. ADJOURNMENT**

There being no further business, Chairperson Ouellette adjourned the meeting at 7:25 p.m.

Submitted by:

Susan McCullough, MiPMC III, CMC

Recording Secretary





# CITY OF AUBURN HILLS

## PLANNING COMMISSION AGENDA

MEETING DATE: MAY 8, 2024

AGENDA ITEM NO 5a.

COMMUNITY DEVELOPMENT

**To:** Chairperson Greg Ouellette and the Planning Commission  
**From:** Steven J. Cohen, AICP, Director of Community Development  
**Submitted:** May 2, 2024  
**Subject:** Penske Vehicle Services – 2150 Executive Hills Court  
Public Hearing / Motion – Recommendation to City Council for Special Land Use Permit  
Revised Site Plan, and Revised Tree Removal Permit approval

### INTRODUCTION

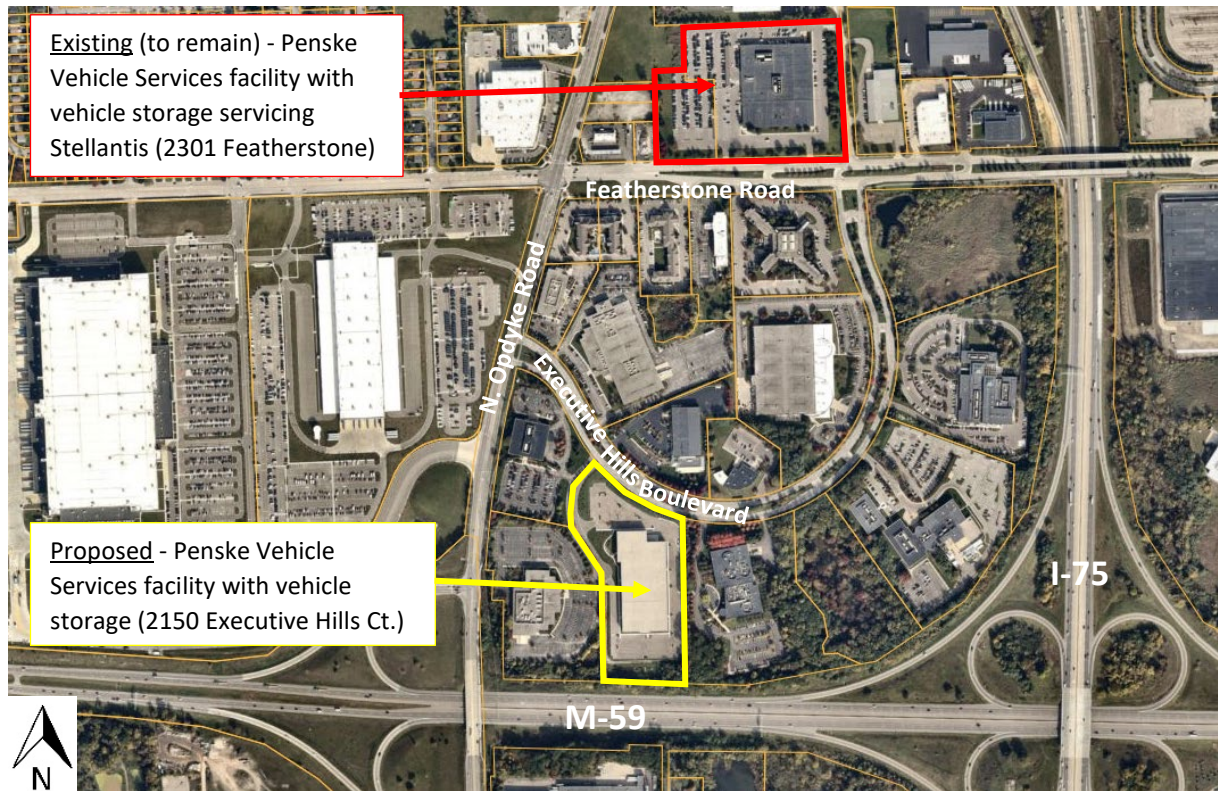
This is a request from Penske Vehicle Services for approval to complete construction and utilize the existing speculative 114,366-square-foot facility at 2150 Executive Hills Court. Penske Vehicle Services intends to operate a state-of-the-art vehicle painting facility with associated overnight vehicle storage on the property that will primarily provide custom paint enhancements for new vehicles directly from the assembly line. The 10.12-acre parcel is zoned T&R, Technology and Research District.



*Bird's-eye view of the building looking north from M-59*

Penske Vehicle Services is a wholly owned subsidiary of Penske Truck Leasing Co., LP., a leading global transportation services provider and part of the Penske Corporation collection of companies. Penske Vehicle Services operates in seven locations across the United States and Canada, with two other locations within the City of Auburn Hills - 4400 Purks Road (I-1 District) and 2301 Featherstone Road (T&R District).

## INTRODUCTION



*Aerial photo of site location*

## SITE HISTORY

The property's developers are Dembs Development Company and Schostak Brothers & Company, Inc. The site plan for the project, originally called *Executive Hills North—Unit 10—Speculative Building*, was approved by the City Council on April 22, 2019. Land balancing began in the Fall of 2019, and the shell of the building and site improvements were substantially complete one year later.

The facility was initially proposed to house a high-tech research and development company utilizing an equal mix of office and laboratory/shop space. However, Dembs/Schostak has been unable to secure a tenant with those specifications over the past four years due to changes in how many companies utilize office space since the COVID-19 pandemic. It is noted that the adjacent building to the west, located at 2110 Executive Hills Court, previously occupied by Cooper Standard, has also been vacant since late 2019.

Staff met with representatives of Penske Vehicle Services on March 21, 2024, and toured their facility in Troy. After observing their clean industrial operations, staff believe using 2150 Executive Hills Court for vehicle painting and assembly plant repairs would be appropriate for the site.

The development application for Penske Vehicle Services involves the following three Special Land Use Permits, which are outlined in this report:

1. Light industrial use in the T&R District
2. Overnight storage of vehicles
3. Landbank parking



## KEY ISSUES

**1. Light Industrial Use.** The 2150 Executive Hills Court building will be primarily dedicated to the low volume, high-end custom painting of newly finished vehicles before being sold by OEMs to individual consumers as unique special edition vehicles. **A Special Land Use Permit is requested to allow the building to be predominantly used for production painting and assembly plant repairs, which are light industrial uses.** A small office area with 5,896 square feet of space (5.2% of the building) will be provided for administrative purposes at the southwest corner of the building.

Penske Vehicle Services plans to invest approximately \$6 million in the facility and ramp up employment from 75 to 130 positions (80% skilled) over two shifts. The first shift will be from 6:00 a.m. to 2:30 p.m. (approximately 50 people), and the second shift will be from 9:00 p.m. to 5:30 a.m. (approximately 25 people). The facility will operate Monday through Friday, with occasional work on Saturday and, in rare instances, on Sunday.

The company anticipates processing around 32 vehicles per day upon start-up, with the goal of ramping up to 60 vehicles per day. Production will begin with its growing paint film program upon the facility's opening, with special edition "wet painting" added when capacity is needed. Trucks transporting the new vehicles to and from the OEMs are anticipated to be ten haulers, along with two to four box trucks or tractor/trailers, in and out daily between 6:00 a.m. and 4:30 p.m. A skeleton crew of employees will be on-site after the end of the first shift to facilitate deliveries and vehicle processing.

The bulk of the building's floor space will be dedicated to the company's paint film program, which has a "clean room" high-tech feel to its operation as the dirt and dust will ruin the application process. The new space in Auburn Hills is needed as the company has secured business contracts with Ford Motor Company to add paint film to upgraded Bronco and Mustang models, with anticipated business growth into two other Ford models and other OEM vehicles.

## Paint Film Program - Room Specifications

### Positive Pressure

- When bay door or pedestrian door is open, air-flow moves from inside the room to outside
- Prevents dust from entering the room when doors are open
- Closed circuit air flow with air make-up unit to pull in additional air as required

### Air Filtration

- All air enters room through overhead manifold
- Air filtered at 10-microns, same as paint booths (particles less than 10-microns are not visible to human eye)

### Tempered Environment

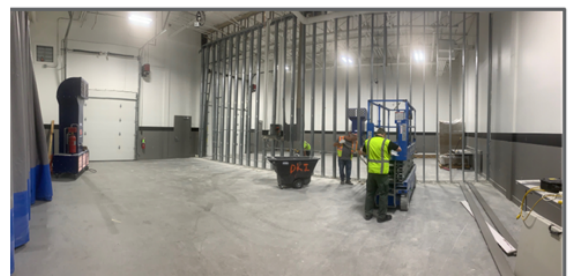
- Air unit provides both heat and air conditioning as required
- Acceptable installation temp range (65F – 80F), ideal range (70F - 75F)
- Drop ceiling reduces dust collection points and burden on HVAC unit

### Epoxy Coated Floor

- Prevents dirt and dust from being trapped within a porous floor
- Designed for ease of cleaning, floor also reflects light and increases lumens

### LED Lighting

- Lighting essential to spotting dirt defects in installation process
- Installed lighting adjustable based on technician trials and development



**KEY ISSUES (cont.)****Paint Film Programs***Paint film application on a Ford Mustang*

While the majority of the work will be paint film applications, the facility may also be used for their wet painting program, which involves disassembling parts of a vehicle, like a roof or hood, and painting the components with unique colors and designs, making it a special edition or “buzz” model of the vehicle. A few examples of this paint upgrade are the black stripe down the center of the Ford Mustang Shelby GT500, Dodge SRT Demon/Hellcat/Redeye with a black hood, roof, and tail, and Lincoln Navigator Black Label with a black roof.

*Dodge SRT Demon/Hellcat/Redeye 2015-Present**Lincoln Navigator Black Label 2021- Present****Wet paint application***



### KEY ISSUES (cont.)

Lastly, as outlined, the building's primary use will be for low-volume custom paint production services; however, depending on market demand and contracts, Penske Vehicle Services may utilize space at this facility in the future for specialized, low-volume mechanical and assembly services and fleet lifecycle management services for OEMs, similar to their operations at 4400 Purks Road and 2301 Featherstone Road. Examples of those services are the following:

- The custom creation of unique show cars of the highest quality for auto shows, product reveals, press events, advertising photoshoots, product placements, and ride-and-drive events.
- Modifications to electric vehicle products, addressing quality holds and end-of-line support.
- Vehicle retrofit assembly, such as return to standard and upfitting, along with internal combustion engine to electric vehicle conversion.
- Prototype vehicles and component assemblies, such as future model year conversion and specialized projects.



*Illustrated site plan*

**2. Outside Storage of Vehicles.** A Special Land Use Permit is requested to store up to 244 brand-new vehicles overnight in the parking lot. There are 320 parking spaces within the facility's parking lot. The remaining 76 parking spaces will be for employee and visitor parking. City staff requested that Penske Vehicle Services upgrade the tree and shrub plantings along the frontage of Executive Hills Boulevard and Executive Hills Court to improve the screening of the vehicle storage from the two roadways.

**3. Landbank Parking.** A Special Land Use Permit is requested to landbank 111 parking spaces required by the Zoning Ordinance (187 spaces are required based on the floor area – 76 spaces provided = 111 spaces deficient to be landbanked). Penske Vehicle Services has explained that its manufacturing operations are less labor-intensive than those of a conventional light industrial business due to the skilled nature of its processes. The 76 parking spaces provided outside the secured overnight vehicle storage area will provide enough employee and visitor parking for the company's existing and



**KEY ISSUES (cont.)**

future needs. The 320-space parking lot is large enough to accommodate additional employees, if needed in the future, via the reduction of space dedicated to vehicle storage.

**4. Upgraded Building Facade.** Staff commends the developers for following its recommendation and upgrading the north and west façades of the building with windows, awnings, and color bands to improve their appearance from the adjacent roadways. This is a nice improvement to the building, which currently has a blank wall.



*Current condition – view of the façade from Executive Hills Boulevard*



*Proposed condition – view of the façade from Executive Hills Boulevard*

**STAFF RECOMMENDATION**

**Please be advised that the City's Administrative Site Plan Review Team has reviewed this project and recommended approval.**

We recommend Approval of the Special Land Use Permit requests to allow for the light industrial use of the building, outside storage of vehicles, and landbank parking and offer the following discretionary findings of fact:

1. The location of the use will not negatively impact adjacent areas, which include non-residential zoned property.
2. The land will be used in accordance with its immediate character, which is planned and zoned for non-residential development.
3. The requirements of Section 1818 in the City's Zoning Ordinance will be met.
4. The use will promote the purpose and intent of the City's Zoning Ordinance.
5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills and the purpose and intent of the City's Zoning Ordinance.

We recommend Conditional Approval of the Site Plan and Tree Removal Permit and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
  - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
  - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to Executive Hills Court.
  - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
  - d) A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
  - e) The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel, or the adjacent area.
3. Based on the project's total square footage, 187 parking spaces are required, and 76 parking spaces are depicted for employee/visitor parking. The site's parking lot has 320 total parking spaces. *A Special Land Use Permit is required for the landbank of 111 parking spaces (187 spaces required – 76 spaces provided = 111 spaces deficient).*
4. The parking layout meets minimum requirements subject to Special Land Use Permit approval of landbank parking, and barrier-free parking spaces are provided (four are required, and four are provided). One space is van accessible.
5. Building and parking setback requirements will be met.
6. Greenbelts will be provided.
7. Landscape requirements will be met, and calculations have been submitted.
8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. Light poles are designed to be 27 feet in height from the finished grade.
9. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
10. A note indicates that parking spaces shall be double-striped.



**STAFF RECOMMENDATION (cont.)**

11. Ground-mounted and roof-mounted mechanical equipment will be screened.
12. A note indicates that outside storage, including pallet storage, overnight vehicles, and trailer storage, will not be permitted, except for the storage of up to 244 new vehicles allowed via the Special Land Use Permit.
13. Eight-foot pathways are not required on this site along the south side of Executive Hills Boulevard or the east side of Executive Hills Court, per the City's Non-Motorized Pathway Plan.
14. A Tree Removal Permit is required – 700 replacement trees are required (586 from a previous mass grading and 114 new trees), and 176 replacement trees are proposed. Due to site constraints, not all replacement trees can be planted on-site. The remaining 524 trees are to be paid into the City's Tree Fund for a total of \$199,120 (524 x \$380 = \$199,120).
15. The developer has agreed to prep the parking lot for eight electric vehicle charging stations. They will install electrical stubs at planned station locations and run a conduit from the power source to the stubs during construction to support the future installation of the charging stations when needed.

**Conditions:**

1. Dembs Development Company/Schostak Brothers & Company, Inc. shall pay \$199,120 to the City's Tree Fund before the City issues the Building Permit.
2. Dembs Development Company/Schostak Brothers & Company, Inc. shall comply with the requirements of Section 2007. Performance Guarantees of the Zoning Ordinance.
3. The three-part Special Land Use Permit approved for Penske Vehicle Services (e.g., light industrial use in the T&R District, overnight storage of vehicles, and landbank parking) shall only apply to this development application and business operation. The permit shall expire if Penske Vehicle Services vacates the building.
4. Site Plan approval shall be based on the representations made by Penske Vehicle Services, Dembs Development Company, and Schostak Brothers & Company, Inc., as documented in this report, submittal materials, and the public meeting minutes.

**RECOMMENDED ACTION**

***"Move to recommend to City Council approval of the Special Land Use Permit, Revised Site Plan, and Revised Tree Removal Permit approval for Penske Vehicle Services subject to the conditions of the City's Administrative Review Team."***



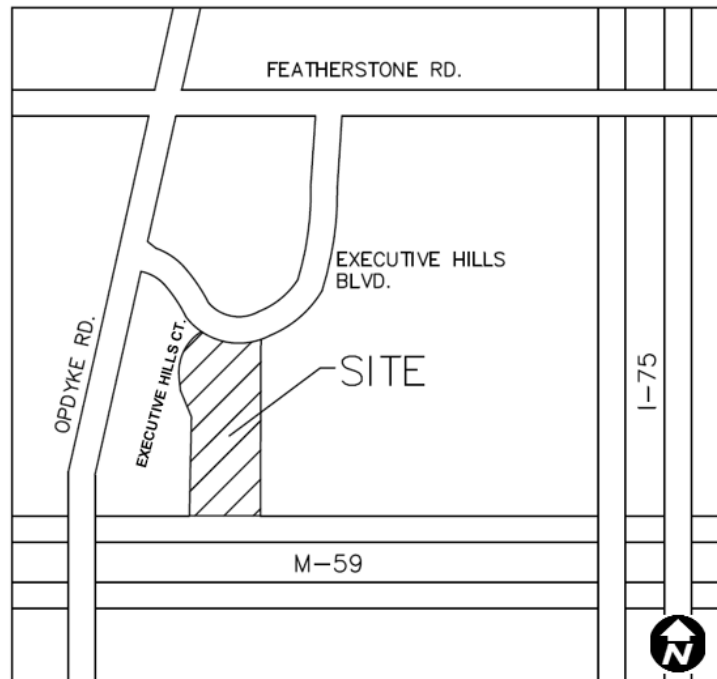


# Development Application



# Planning Commission Public Notice

Meeting Date, Time, and Location:	<b>Wednesday, May 8, 2024 at 7:00 p.m.</b> City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Penske Vehicle Services
General Property Location:	2150 Executive Hills Court Sidwell No. 14-26-126-032
Applicant:	Glenn E. Jones, Dembs Development, Inc. – 248-721-0382
Nature of the Request:	Recommendation to City Council for Special Land Use Permit (landbank parking, outside storage of vehicles, and light industrial use), Revised Site Plan, and Revised Tree Removal Permit approval.
City Staff Contact:	Steven J. Cohen, AICP Director of Community Development - 248-364-6900
<p>Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application can be inspected before the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.</p> <p>Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Steven J. Cohen, Director of Community Development, at the above address.</p> <p>Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.</p>	



**LOCATION MAP**



## memorandum

**Date:** May 1, 2024

**To:** Steven Cohen, Director of Community Development

**cc:** Tim Juidici, OHM

**From:** Hannah Driesenga, P.E.

**Re:** Penske (2150 Executive Hills Drive, Unit 10)

We have completed the site plan review for the above referenced project and the site plan appears to be in substantial compliance with City of Auburn Hills requirements. Therefore, we recommend approval of the plans conditioned on the addition of a grass paver atop the existing Detention Basin Maintenance Access Route Cross-Section. The site is located at 2150 Executive Hills Boulevard also known as Unit 10 of the Executive Hills North development. The site is zoned Technology & Research (T&R) and consists of an existing 117,819 sq. ft. building proposed to be composed of a two-story office area and vehicle modification facility that will be occupied by Penske Vehicle Services. No changes are proposed to the public utilities or existing storm water management system as part of this modification. Site access and circulation are also not proposed to be changed at this time. If you have any questions or are in need of any further information, please feel free to contact our office.



**POLICE DEPARTMENT**  
1899 North Squirrel Road  
Auburn Hills, MI 48326

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## MEMORANDUM

TO: Steve Cohen, Director of Community Development  
FROM: Brandon Hollenbeck, Lieutenant  
DATE: May 1, 2024  
SUBJECT: **Penske Automotive 2150 Executive Hills Blvd.**

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I have reviewed the updated site plans for Penske Automotive (previously approved in 2019), located at 2150 Executive Hills Blvd. We have no objections to the project as presented in the site plans.



# AUBURN HILLS FIRE DEPARTMENT



## Official Memorandum

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**To:** Steve Cohen, Director of Community Development  
**From:** Fred Solomon, Fire Inspector  
**Date:** May 1, 2024  
**Re:** Site Plan Review

PROJECT: Penske, 2150 Executive Hills Dr

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No comments

Fred Solomon  
Fire Inspector  
Auburn Hills Fire Department

May 1, 2024

Steve Cohen, Director Com. Dev.  
City of Auburn Hills, Community Development Department  
1827 North Squirrel Road  
Auburn Hills, MI 48326

Subject: Woodlands Ordinance Review for Unit 10 of Executive Hills North Condo., 2150  
Executive Hills Drive, Auburn Hills, MI

Dear Mr. Cohen,

The submittals regarding the above-mentioned project were reviewed and a site visit made to correlate information. This site was partially developed and landscaped in a previous development project that included mass grading. See the tree detail chart below regarding this proposed project.

**TREE REQUIREMENT TABLE**

DESCRIPTION	TOTAL TREES	Required/REPLACEMENT TREES
Regulated Trees lost to Mass grading on original site	700	700
Removed Landmark Trees	NA	---
Trees Planned for site	176	176
Trees paid into Tree Fund	524 trees @ \$380/tree	524
<b>TOTAL Required Replacement Trees</b>		700

Applicant is providing 176 trees as designed in the associated plan. While some of the trees were installed during the initial site development, their condition must meet industry quality standards as part of the current projects' approval. The soil condition is unfavorable for new plant material and must be amended, and graded to satisfy proper texture, structure and drainage. The remaining 524 required replacement trees will be accounted for by paying into the City's Tree Fund (524 x \$380 = \$199,120). The combination of planting 176 trees and contributing to the Tree Fund as stated satisfies the Woodlands Ordinance.

This project is approved based on the fulfillment and landscape strategy stated above, providing necessary soil condition improvements, and set of accompanying plans.

Best regards,

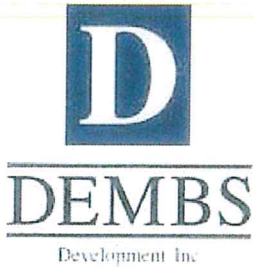
  
Julie Stachecki  
City of Auburn Hills Woodland Consultant



*Site Specific, Inc.*

JULIE STACHECKI, ISA Certified Arborist MI-0650, TRAQ, MI Oak Wilt Qualified  
Howell, MI 48843 ♦ 810.599.0343 ♦ stachec1@me.com





27750 Stansbury, Suite 200  
Farmington Hills, Michigan 48334  
(248) 380-7100 • Fax (248) 560-3030

April 2, 2024

RE: CITIZEN PARTICIPATION LETTER  
Penske Vehicle Services – 2150 Executive Hills Court

Dear Neighbor:

In accordance with the City of Auburn Hills Citizen Participation Ordinance, we are notifying you that our company has applied to the City of Auburn Hills for approval to complete the development of the unfinished building at 2150 Executive Hills Court for Penske Vehicle Services.

Penske Vehicle Services intends to operate a state-of-the-art facility at the site primarily dedicated to the low-volume, high-end custom painting of newly finished vehicles before they are sold by the major automotive companies to individual consumers as unique special edition vehicles. The City requires permits to allow the building's clean industrial use and the storage of new vehicles overnight on the property.

Penske Vehicles Services currently operates in 12 locations across the United States and Canada, with two other locations within the City of Auburn Hills - 4400 Purks Road and 2301 Featherstone Road.

We will be making significant upgrades to the property and building for Penske Vehicle Services, such as extensive landscaping and an improved building façade. We feel the project, once completed, will be aesthetically pleasing and in keeping with the character of the rest of the developments in the area.

The City of Auburn Hills Planning Commission is scheduled to review our development application on Wednesday, May 8, 2024. If you have any questions, concerns, or comments, please do not hesitate to contact me at 248-380-7100 x311. If you wish to speak to a City representative, please contact Steve Cohen, Director of Community Development, at 248-364-6900.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Glenn E. Jones', written over a blue line.

**Dembs Development, Inc.**

Glenn E. Jones  
Director of Operations

cc: File

Encl.









27750 Stansbury, Suite 200  
Farmington Hills, Michigan 48334  
(248) 380-7100 • Fax (248) 560-3030

April 30, 2024

City of Auburn Hills  
**Mr. Steven J. Cohen, AICP**  
Director of Community Development  
1827 North Squirrel Road  
Auburn Hills, MI 48326

RE: CITIZENS PARTICIPATION LETTER  
DEVELOPMENT OF VACANT SITE – 2150 EXECUTIVE HILLS DR.  
PARCEL ID 02-14-26-126-032

Dear Mr. Cohen,

In accordance with the City of Auburn Hills Citizen Participation Ordinance, we have mailed the attached letter to seventy-eight (78) residents and/ or businesses using the address labels supplied by the City of Auburn Hills to us by your office on March 26, 2024. The letters were postmarked on April 1, 2024.

To date, four (4) letters have been returned as undeliverable, marked, "return to sender, attempted not known, unable to forward". We have received no other communication regarding the properties intended final use.

If you have any questions or concerns, or would like any further information please feel free to contact me at (248) 417-8402.

Sincerely,  
Dembs Development, Inc.

A handwritten signature in blue ink, appearing to read 'Glenn E. Jones', is written over a horizontal line.

Glenn E. Jones  
Director of Operations

encl.

**EXCERPT**

**CITY OF AUBURN HILLS  
ENVIRONMENTAL REVIEW BOARD**

**December 15, 1999**

**CALL TO ORDER:** Chairman Kresnak called the meeting to order at 6:34 p.m.

**ROLL CALL:**

Present: Harvey-Edwards, Kresnak, Ostrowski, Peters, Petersen, Rowe  
Absent: Barber  
Also Present: Steve Cohen, City Planner, AICP, Andrew J. Foerg, CPG, EnecoTech  
Midwest, Inc.

2 guests

**LOCATION:** Civic Center, 1827 N. Squirrel Road, Auburn Hills 48326

**PUBLIC HEARINGS**

**Executive Hills South Access Drive (Mass Grading)**

The woodlands public hearing was opened at 6:38 p.m. with Mr. Kresnak presenting the request for a tree removal permit to facilitate the mass grading of property generally located east of Opdyke Road, between Executive Hills Boulevard and M-59. Mr. Cohen referenced as follows his memo of December 8, 1999:

*Attached is a report from Woodlands Consultant Brian Colter, ACRT Inc. Dated November 30, 1999 related to the above mentioned project. Mr. Colter has conducted an on-site inspection to confirm plan correctness. Mr. Colter has also noted that the petitioner intends to mass grade the site and remove of 1080 protected trees.*

*The petitioner has agreed to provide a cash bond or irrevocable letter of credit for \$270,000.00 to cover the cost of replacement (1080 trees @ \$250.00) per letter dated December 6, 1999.*

*After the public hearing, if you find your questions satisfactorily answered it would be appropriate to move to recommend to City Council approval of a tree removal permit for Executive Hills South Access Drive (Mass Grading), subject to collection of a cash bond or irrevocable letter of credit for \$270,000.00*

Mr. Kresnak called for comments from the petitioner. **Mr. Marlin Wroubel, Burton-Katzman**, stated the reason this permit is needed is because of the topography of the land, one site being too high and one being too low. It would be logical and feasible to grade both site locations at the same time in order to appropriate the soil evenly from one site to the other. Mr. Wroubel added that they have given their landscaper free reign to be creative in replacing as many trees as possible, but did not have a figure on how many could be replaced.

**Mr. Jim Butler, Engineer for Burton-Katzman**, assured the Board that potential siltation problems have been addressed with Oakland County with consideration being taken to the neighboring site on the east, Polyurethane. Mr. Butler told of systems, including radon's, that would be placed to address the grading and improve the sloping curve from a 1 on 2 slope to a 1 on 4 slope.

Mr. Wroubel answered the board by stating that he would welcome the opportunity to discuss further the option of putting in larger trees than the 2 ½ inch diameter trees that are ordinarily requested. He also offered to have his landscaper perform a presentation to the board and answer any questions for them regarding his plans. Mr. Kresnak called for comments from the audience. There being none, the public hearing was declared held at 7:30 p.m.

**Ms. Harvey-Edwards moved to recommend to City Council approval of a tree removal permit for Executive Hills South Access Drive (Mass Grading), subject to the following conditions: 1. Collection of a cash bond or irrevocable letter of credit for \$270,000.00, 2. Developer to bring back tree replacement plans for ERB review as part of the site plan review process to ensure that size and diversity requirements are met for each building site, and 3. Vegetation shall be placed on any undeveloped land after 12 months from clearing date.**

**Supported by Mr. Petersen.**

**VOTE:**

Yes: Harvey-Edwards, Kresnak, Ostrowski, Peters, Petersen, Rowe.

No: None

**Motion carried (6-0)**

**CITY OF AUBURN HILLS  
REGULAR CITY COUNCIL MEETING**

**EXCERPT**

**December 20, 1999**

**CALL TO ORDER:** Mayor McMillin called the Regular Council Meeting to order at 7:30 p.m. with the Pledge of Allegiance

**ROLL CALL:** Present. Mayor McMillin, Mayor Pro Tem Cooper, Council Members Davis, Harvey-Edwards, McDonald, Pillsbury, Sendegas  
Absent. None  
Also Present. City Manager Ross, Public Works Director Culpepper, City Planner Cohen, Finance Officer Martini, Assessor Bennett, Police Chief Olko, Recreation Director Marzolf, Planning Consultant Lehoczky, City Engineers Hiltz and Westmoreland, Insurance Consultant Thornton, Brownfield Redevelopment Authority Member Capen, TIFA Board Member Bennett  
Attorney Beckerleg  
40 Guests

**LOCATION:** Civic Center, 1827 N. Squirrel Road, Auburn Hills MI 48326

**7. CONSENT AGENDA**

- **All items listed are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Council member or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.**

Ms. Cooper moved to approve consent agenda items as follows:

**7I. Recommendation from the Environmental Review Board on a Tree Removal Permit for Executive Hills South Access Drive-** to accept the Environmental Review Board's recommendation and approve a tree removal permit for Executive Hills South Access Drive to facilitate the mass grading of property located east of Opdyke Road, between Executive Hills Boulevard and M-59 (14-26-126-029, 14-26-126-030), subject to any conditions as recommended by all appropriate agencies.

Supported by Ms. Sendegas.

**VOTE:** Yes: Cooper, Davis, Harvey-Edwards, McDonald, McMillin, Pillsbury, Sendegas  
No: none

**Motion carried (7-0)**

# TREE REMOVAL / REPLANTING HISTORY

## Executive Hills South Access Drive (Mass Grading)

December 1999 – Tree Removal Permit

1080 trees were required to be replaced

Two sites mass graded in Y2000:

- A. New Venture Gear / Cooper Standard / Now Vacant – 450 replacement trees planted in 2000/2001
- B. Dembs/Schostak Spec Building – 630 replacement trees were allocated to this site (*note: only 586 trees were removed during the mass grading*).

## Y2019/Y2024 proposal for Parcel B

(700 trees required: 586 from mass grading in Y2000 plus 114 new trees removed in 2019. 176 replacement trees are proposed to be planted upon completion of the project.

- Due to site constraints, not all replacement trees can be planted on-site. The remaining 524 trees are to be paid into the City's Tree Fund for a total of \$199,120 ( $524 \times \$380 = \$199,120$ ).

## 2000 Aerial Photo





CITY OF AUBURN HILLS  
PLANNING COMMISSION  
MINUTES - **EXCERPT**

April 10, 2019

**CALL TO ORDER:** Chairperson Ouellette called the meeting to order at 7:00 p.m.

**ROLL CALL:** Present: Beidoun, Hitchcock, Mendieta, Moniz, Shearer, Ouellette, Pederson, Pierce,  
Absent: Ochs  
Also Present: Director of Community Development Cohen, City Planner Keenan, City Engineer  
Juidici  
Guests: 42

**LOCATION:** City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

## 5. PETITIONERS

### 5b. Executive Hills North – Unit 10 – Speculative Building (8:45 p.m.) **Public Hearing/Motion – Recommendation to City Council for approval of Site Plan and Tree Removal Permit**

Mr. Keenan introduced the request from Dembs Development Company to construct a 138,200 square foot Technology and Research building at the southeast corner of Executive Hills Boulevard and Executive Hills Court. The 10-acre parcel is zoned Technology and Research District. Approximately 64,000 square feet of the building will be used for office space and the remaining 74,200 square feet is designated for laboratory purposes.

Dembs Development Company is well-known for redeveloping the former Showcase Cinema property on Opdyke Road into the GKN Automotive and Martinrea International facilities. The company, in partnership with Schostak Brothers and Company, intends to start construction on the building's shell while they seek a tenant whose business needs are compatible with the uses specified in the City's Zoning Ordinance Technology and Research District.

Mr. Keenan stated that 700 replacement trees are required and 135 replacement trees are proposed. All replacement trees cannot be planted on site due to site constraints so a payment into the City's Tree Fund will be required.

The City's consulting engineer determined that Executive Hills Court needs repair. The road is a private road and approximately 17-years old. The developer will work with Cooper Standard and Genisys Credit Union who have frontage on the road to make the necessary improvements to the level deemed acceptable by the City's engineer.

Total investment in the project is estimated at \$7 million. Dembs intends to begin construction in June 2019, with completion taking place in the first quarter of 2020.

**Ryan Dembs, Dembs Development Company, 27750 Stansbury, Suite 200, Farmington Hills, MI 48334**, was available to answer any questions of the Planning Commission.

Mr. Pierce stated that there appears to be a lot of square footage is dedicated to office space. Mr. Dembs explained that the 54,000 square feet is an estimate, and will be based on what the prospective tenant would require.

Mr. Moniz stated that he would like to see a tenant committed to the site as soon as possible. Mr. Dembs agreed, stating that his company builds them in such a way as to make them as flexible as possible. He will begin working with brokers once construction begins.

Mr. Mendieta asked about the total square footage of the project. Mr. Dembs explained that the total square footage is 138,200, including the 2<sup>nd</sup> floor. He further stated that it is possible that there would not be a second floor, depending on the needs of the tenant.

Mr. Hitchcock asked what the market studies show as far as the timetable for occupancy. Mr. Dembs stated that he anticipates having a tenant in place before the building is complete, based on current market activity for the size and type of building.

Mr. Ouellette opened the public hearing at 8:52 p.m.

**Michelle Matson, Genisys Credit Union, 2100 Executive Hills, Auburn Hills, MI 48326**, expressed concern with the condition of Executive Hills Drive. She stated some patching and pothole repair had been done, but construction traffic will cause more damage.

City Engineer Juidici stated that because this is a private road, it is not under the jurisdiction of the City. The road has deteriorated, and construction traffic will increase that. He recommends that improvements be made at the time of construction which is listed as a condition of approval of the project.

Ms. Matson asked about the possibility of a traffic light at Opdyke and Executive Hills. Mr. Juidici stated that because Opdyke is a County road, the County would have to be contacted to see if this has been considered recently.

Hearing no further comments, Mr. Ouellette closed the public hearing at 8:57 p.m.

**Moved by Mr. Hitchcock to recommend to City Council approval of the Site Plan and Tree Removal Permit for Executive Hills North – Unit 10 – Speculative Building subject to the conditions of the City’s administrative review team.**

**Second by Ms. Shearer.**

**VOTE: Yes: Mendieta, Hitchcock, Shearer, Pierce, Moniz, Beidoun, Pederson, Ouellette**

**No: None**

**Motion Carried (8-0)**





## CITY OF AUBURN HILLS

Regular City Council Meeting

MINUTES - **EXCERPT**

April 22, 2019

---

**CALL TO ORDER:** Mayor McDaniel at 7:00 p.m.

**LOCATION:** City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

Present: Mayor McDaniel, Council Members Burmeister, Hammond, Kittle, Knight, Moniz, and Verbeke

Absent: None

Also Present: City Manager Tanghe, City Attorney Beckerleg, Assistant City Manager Grice, City Clerk Pierce, Fire Chief Taylor, Police Chief Baker, Director of Community Development Cohen, City Planner Keenan, City Engineer Juidici, Deputy DPW Director Stahly, Mgr of Roads & Fleet See, Mgr of Municipal Properties Torres, Director of Authorities Skopek, Finance Director/Treasurer Schulz, Deputy Finance Director/Deputy Treasurer Farmer

36 Guests

#### 4. NEW BUSINESS

9b. Motion – To approve the Site Plan and Tree Removal Permit / Executive Hills North - Unit 10 - Speculative Building.

Mr. Keenan presented a 10 acre T&R building to be located at Executive Hills Blvd and Executive Hills Court. The building will be used for office space and laboratory space. The plans require 700 replacement trees. 135 replacement trees will be placed on the site and the remaining amount will be paid into the City's tree fund. After construction is completed, Executive Hills Drive will be repaired but will still be classified as a private road.

Christopher Inch, Dembs Development was present.

**Moved by Kittle, Seconded by Knight.**

**RESOLVED: To accept the Planning Commission's recommendation and approve the Site Plan and Tree Removal Permit for Executive Hills North - Unit 10 - Speculative Building subject to the conditions of the City's Administrative Review Team.**

**VOTE: Yes: Burmeister, Hammond, Kittle, Knight, McDaniel, Moniz, Verbeke**

**No: None**

**Resolution No. 19.04.52**

**Motion Carried (7 - 0)**





Seal: \_\_\_\_\_

Title:  
**Site Plan**

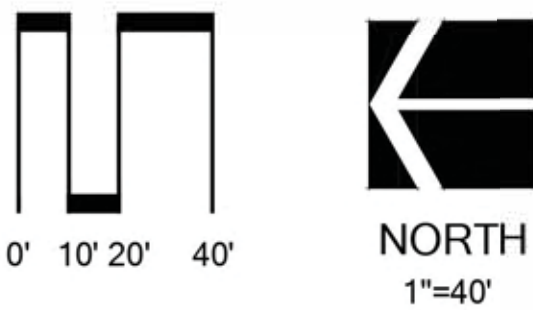
Project:  
**Unit 10**  
Auburn Hills, Michigan

Prepared for:  
Alpine Engineering, Inc.  
46892 West Road, Suite 109  
Novi, Michigan 48337  
248.926.3701

Revision:	Issued:
Review	April 11, 2024
Revised	April 16, 2024
Revised	April 30, 2024

Job Number:  
19-020

Drawn By:	Checked By:
jca	jca



Sheet No. \_\_\_\_\_





Proposed Exterior Renovation Renderings for:



**F.A.studio**  
design to inspire





Proposed Exterior Renovation Renderings for:





UNIT 10 - EXECUTIVE HILLS NORTH CONDOMINIUM  
2150 EXECUTIVE HILLS DRIVE  
CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN  
PRELIMINARY SITE PLAN



LOCATION MAP  
NOT TO SCALE

PROJECT DESCRIPTION:

THE PROJECT IS AN APPROX. 117,819 SQUARE FOOT STATE OF THE ART HI-TECH, SMALL TWO STORY OFFICE AREA AND VEHICLE MODIFICATION FACILITY TO BE OCCUPIED BY PENSKE VEHICLE SERVICES. THE BUILDING IS CONSTRUCTED OF LOAD BEARING SPLIT FACE MASONRY, ARCHITECTURAL METAL PANELS AND CURTAIN WALL GLASS & GLAZING.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

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APPLICANT/DEVELOPER:

DEMBS DEVELOPMENT, INC  
27750 STANSBURY, SUITE 200  
FARMINGTON HILLS, MI 48334  
PHONE: (248) 380-7100  
CONTACT: GLENN JONES

ARCHITECT:

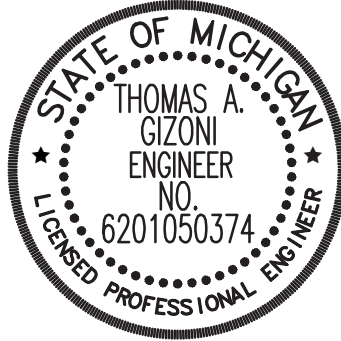
F.A. STUDIO  
26261 EVERGREEN ROAD, SUITE 123  
SOUTHFIELD, MI 48076  
PHONE: (248) 619-2354  
CONTACT: DAVID BRINKMEIER, AIA

CIVIL ENGINEER/SURVEYOR:

ALPINE ENGINEERING, INC  
46892 WEST RD., SUITE 109  
NOVI, MI 48377  
PHONE (248) 926-3701  
CONTACT: TOM GIZONI, PE

LANDSCAPE ARCHITECT:

ALLEN DESIGN  
557 CARPENTER RD.  
NORTHVILLE, MI 48167  
PHONE (248) 467-4668  
CONTACT: JIM ALLEN, LA



*Thomas A. Gizoni*

SHEET INDEX:

SP-1	COVER SHEET
SP-2	DIMENSIONAL SITE PLAN
SP-3	TRUCK CIRCULATION PLAN
SP-4	ENGINEERING PLAN
SP-5	SITE DETAILS
L-1	LANDSCAPING AS-BUILT
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE DETAILS
PFP-4	PROPOSED FLOOR PLAN
PE-1	PROPOSED BUILDING ELEVATIONS

COMMERCIAL

SITE PLANNING  
SITE ENGINEERING  
INDUSTRIAL & MULTI-UNIT  
LAND SURVEYING  
CONSTRUCTION LAYOUT

SURVEYING

ALTA SURVEYS  
BOUNDARY SURVEYS  
TOPOGRAPHIC SURVEYS  
PARCEL SPLITS

RESIDENTIAL

SUBDIVISIONS  
SITE CONDOMINIUM  
MULTI-FAMILY  
PLOT PLANS  
CONSTRUCTION LAYOUT

ALPINE

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(248) 926-3701 (BUS)  
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WWW.ALPINE-INC.NET

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Know what's below  
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CLIENT:

DEMBS DEVELOPMENT, INC.

COVER SHEET

UNIT 10 OF EXECUTIVE HILLS NORTH CONDO. (2150 EXECUTIVE HILLS DR.)

TOWNSHIP: 3N  
CITY OF AUBURN HILLS  
OAKLAND COUNTY  
MICHIGAN

SECTION: 26  
RANGE: 10E

REVISED

2019-03-22 REV. SITE PLAN  
2019-03-29 REV. SITE PLAN  
2024-04-22 TENANT MODIFICATIONS  
2024-04-30 PER CITY

DATE:

2019-03-06

DRAWN BY:

TG

CHECKED BY:

SD/TG

FBK:

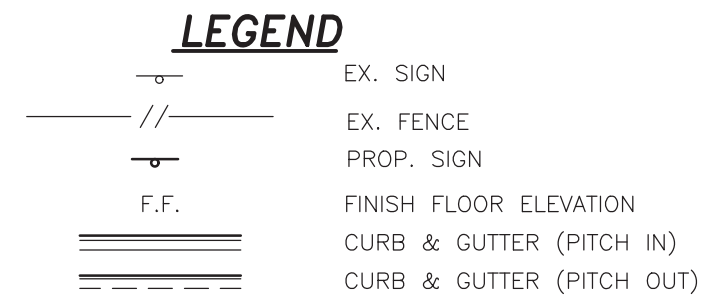
CHP:

SCALE: HOR 1"= FT.  
VER 1"= FT.

18-345

NOT FOR CONSTRUCTION  
SIDWELL # 14-26-126-032

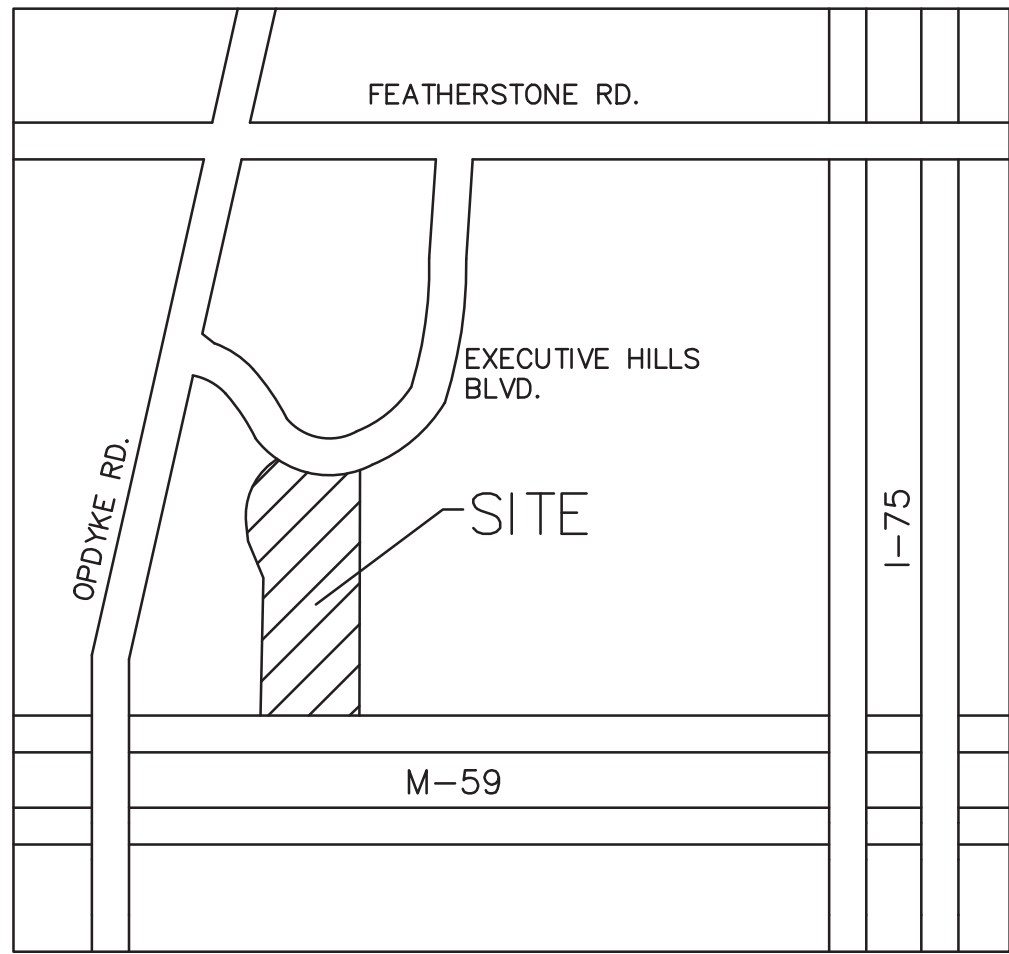
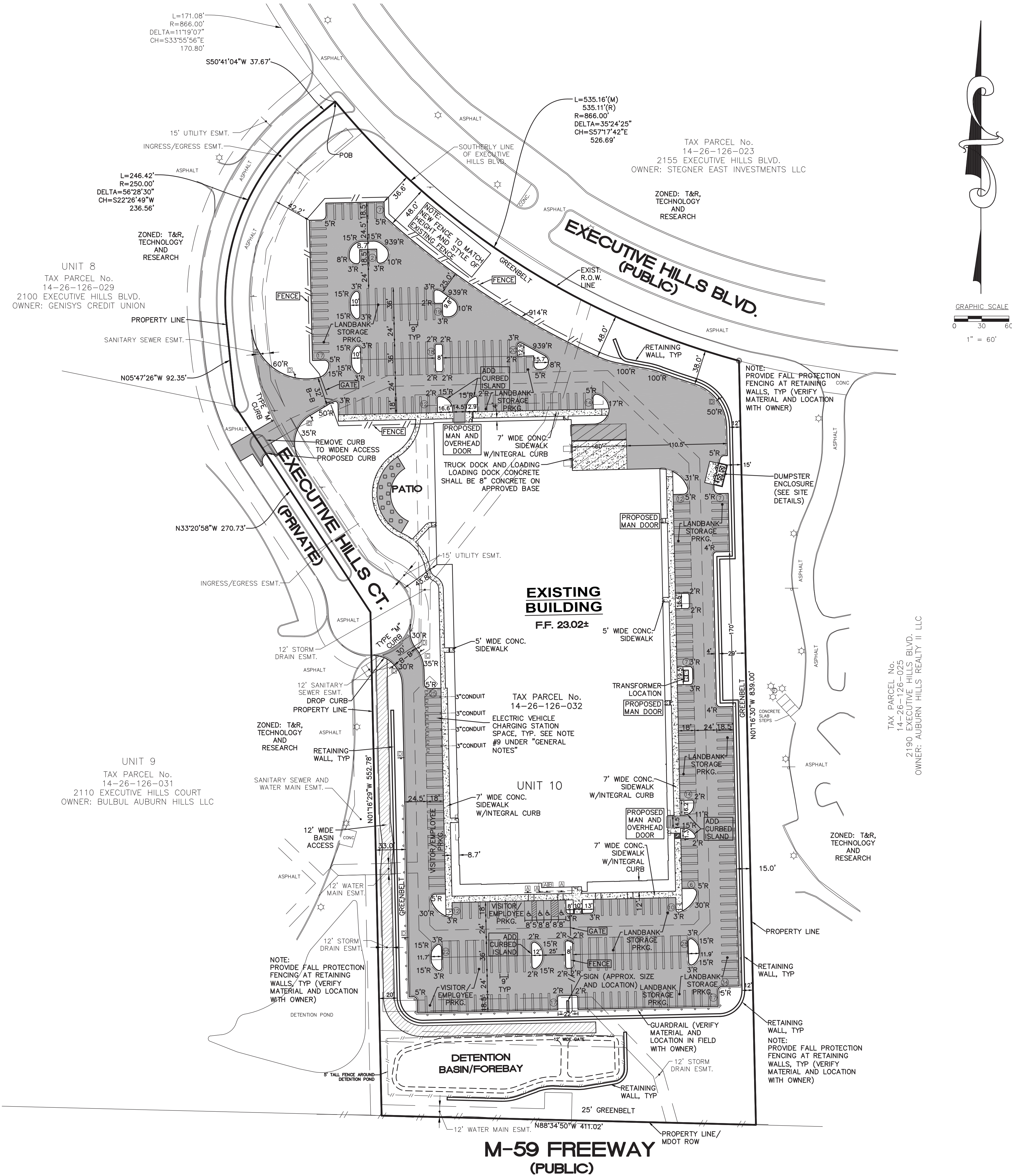




- SIGN LEGEND:**
- A 12"x18" (R7-B) "RESERVED PARKING ONLY"  
B 12"x6" (R7-BP) "VAN ACCESSIBLE"  
C 24"x24" (R1-1) "STOP"  
D 12"x18" (R7-9A MOD) "NO PARKING FIRE LANE"

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LOCATION MAP - NOT TO SCALE

**APPLICANT/DEVELOPER:**

DEMBS DEVELOPMENT, INC.  
27750 STANSBURY, SUITE 200  
FARMINGTON HILLS, MI 48334  
PHONE: (248) 380-7100  
CONTACT: GLENN JONES

**SITE ACREAGE:**

GROSS: 440,769 S.F. (10.12 ACRES)  
PARCEL# 14-26-126-032

**DESCRIPTION:**

T3N, R10E, SEC 26 OAKLAND COUNTY CONDOMINIUM PLAN NO 1025  
EXECUTIVE HILLS NORTH CONDOMINIUM UNIT 10 L 16844 P 639

**ZONING:**

EXISTING: T&R DISTRICT (TECHNOLOGY AND RESEARCH)  
PROPOSED: T&R DISTRICT (TECHNOLOGY AND RESEARCH)

**IMPERVIOUS AREA CALCULATIONS:**

TOTAL IMPERVIOUS AREA (BUILDING/PAVEMENT): 283,574 S.F.

**BUILDING SETBACK DIMENSIONS:**

	BUILDING	
	REQUIRED	MIN. PROVIDED
FRONT (NORTH/SOUTH)	50'	123.2' / 249.9'
FRONT (WEST)	40'	43.8'
SIDE (EAST/WEST)	20'	89.5' / 91.1'
REAR	15'	N/A

**BUILDING AREA CALCULATIONS:**

GROSS BUILDING AREA/USE:  
OFFICE: 5,896 GROSS S.F. (4,717 USABLE S.F.)  
SHOP: 108,470 GROSS S.F. (89,464 USABLE S.F.)  
TOTAL: 114,366 GROSS S.F.

**PARKING CALCULATIONS:**

OFFICE: 1 SPACE PER 200 S.F. OF USABLE FLOOR AREA  
OFFICE: 4,717 / 200 = 24 SPACES REQUIRED  
R&D: 1 SPACE PER 550 S.F. USABLE FLOOR AREA  
89,464 USABLE S.F. / 550 = 163 SPACES REQUIRED

TOTAL SPACES REQUIRED= 187 SPACES  
EMPLOYEE/VISITOR SPACES PROVIDED= 76 SPACES (INCL. 4 B.F. SPACES)  
LANDBANK STORAGE SPACES PROVIDED= 244 SPACES  
TOTAL SPACES PROVIDED= 320 SPACES

LOADING AREA REQUIRED:  
REQUIRED: 10 S.F. PER FT. OF BLDG. FRONTAGE  
= 229 FT. x 10 S.F. = 2,290 S.F.  
PROVIDED: 3,000 S.F. (SEE HATCHED AREA ON PLAN)

**LANDSCAPE OPEN SPACE:**

REQUIREMENTS:  
20% OF NET LAND AREA  
(NOT INCLUDING ABOVE GROUND DETENTION AREA)

PROJECT LAND AREA: 440,769 S.F.  
440,769 x .20 = 88,154 S.F.  
LANDSCAPE OPEN SPACE REQUIRED = 88,154 S.F. (20%)  
LANDSCAPE OPEN SPACE PROVIDED = 134,939 S.F. (30.6%)

**GENERAL NOTES:**

- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, OR TRAILER STORAGE.
- GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO. 372.
- PARKING SPACES SHALL BE DOUBLE STRIPPED PER ZONING ORDINANCE NO. 372.
- AN ENVIRONMENTAL IMPACT STATEMENT FOR THE PROJECT IS NOT REQUIRED.
- LAND DIVISION OR COMBINATION IS NOT REQUIRED.
- SPECIAL LAND USE REQUIRED PER SECTION 1201 FOR LANDBANK VEHICLE STORAGE AND INDUSTRIAL USE.
- NO ALTERATIONS, AMENDMENTS, MODIFICATIONS, OR REVISIONS SHALL BE MADE TO THE APPROVED SITE PLAN DURING ENGINEERING AND BUILDING PLAN SUBMITTAL AND REVIEW OR DURING CONSTRUCTION WITHOUT PRIOR APPROVAL FROM COMMUNITY DEVELOPMENT.
- THE DEVELOPER HAS AGREED TO PREP THE PARKING LOT WITH THE INSTALLATION OF ELECTRICAL STUBS FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION LOCATIONS AND RUN CONDUIT FROM THE POWER SOURCE TO THE STUBS TO SUPPORT FUTURE INSTALLATION. THE SPACES ARE DENOTED WITH AN "E.V." ON THE PLANS AND WILL BE POSTED IF AND WHEN CHARGING STATIONS ARE INSTALLED.

**TOTAL SIGNAGE ALLOWANCE CALCULATION:**

TOTAL SIGNAGE ALLOWANCE= ROAD FRONTAGE X 80%  
ROAD FRONTAGE: 535.16 FEET EXECUTIVE HILLS BLVD.  
694.92 FEET EXECUTIVE HILLS CT.  
411.02 FEET M-59  
1,641.1 FEET

TOTAL SIGNAGE ALLOWANCE= 1,641.1 FEET X 80% = 1,312.88 S.F.

**NOT FOR CONSTRUCTION**

SIDWELL # 14-26-126-032

**COMMERCIAL**  
ALTA PLANNING  
SITE ENGINEERING  
INDUSTRIAL & MULTI-UNIT  
LAND SURVEYING  
CONSTRUCTION LAYOUT

**SURVEYING**  
ALTA SURVEYS  
BOUNDARY SURVEYS  
TOPOGRAPHIC SURVEYS  
PARCEL SPLITS

**RESIDENTIAL**  
SUBDIVISIONS  
SITE CONDOMINIUM  
MULTI-FAMILY  
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CIVIL ENGINEERS & LAND SURVEYORS  
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WWW.ALPINE-INC.NET

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**DEMBS DEVELOPMENT, INC.**  
**DIMENSIONAL SITE PLAN**  
UNIT 10 OF EXECUTIVE HILLS NORTH CONDO. (2150 EXECUTIVE HILLS DR.)  
TOWNSHIP: 3N  
RANGE: 10E  
SECTION: 26  
CITY OF AUBURN HILLS  
OAKLAND COUNTY  
MICHIGAN

REVISED  
2019-03-22 REV. SITE PLAN  
2019-03-29 REV. SITE PLAN  
2024-04-22 TENANT MODIFICATIONS  
2024-04-30 PER CITY

DATE: 2019-03-06

DRAWN BY: TG

CHECKED BY: SD/TG

FBK:

CHF:

SCALE: HOR 1"=60 FT.  
VER 1"=

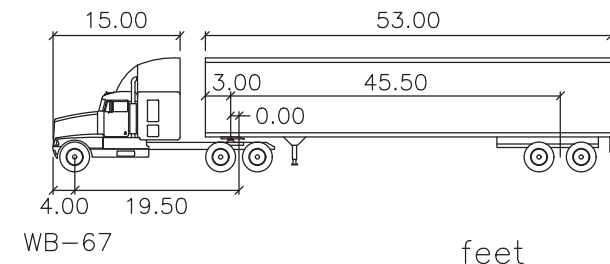
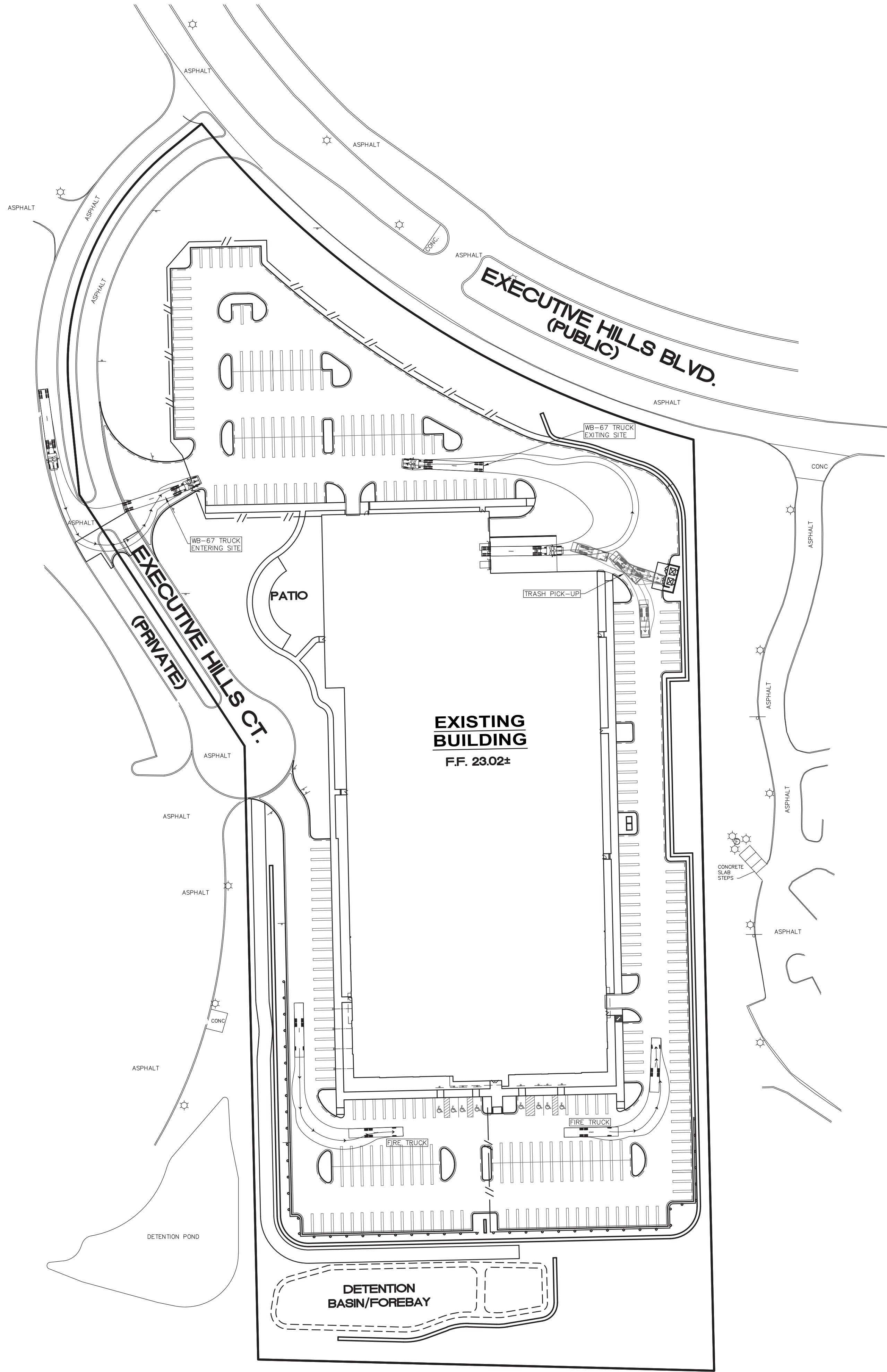
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18-345

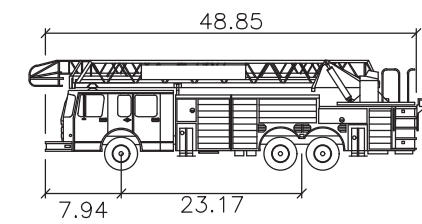


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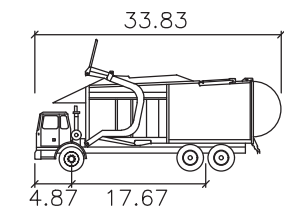
**NOTE:**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



WB-67		feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0	
Trailer Width	: 8.50	Steering Angle	: 28.4	
Tractor Track	: 8.00	Articulating Angle	: 75.0	
Trailer Track	: 8.50			



Auburn Hills Ladder Truck		feet	
Width	: 8.33		
Track	: 8.00		
Lock to Lock Time	: 6.0		
Steering Angle	: 31.0		



Wayne Titan		feet	
Width	: 8.46		
Track	: 8.00		
Lock to Lock Time	: 6.0		
Steering Angle	: 45.0		

**COMMERCIAL**  
SITE PLANNING  
SITE ENGINEERING  
INDUSTRIAL & MULTI-UNIT  
LAND SURVEYING  
CONSTRUCTION LAYOUT

**SURVEYING**  
ALTA SURVEYS  
BOUNDARY SURVEYS  
TOPOGRAPHIC SURVEYS  
PARCEL SPLITS

**RESIDENTIAL**  
SUBDIVISIONS  
SITE CONDOMINIUM  
MULTI-FAMILY  
SPLIT PLANS  
CONSTRUCTION LAYOUT

**ALPINE**  
ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS

(248) 926-3701 (BUS)  
(248) 926-3765 (FAX)  
WWW.ALPINE-INC.NET

46892 WEST ROAD  
SUITE 109  
NOVI, MICHIGAN 48377

**811**  
Know what's below  
Call before you dig.

CLIENT: **DEMBS DEVELOPMENT, INC.**

**TRUCK CIRCULATION PLAN**

UNIT 10 OF EXECUTIVE HILLS NORTH CONDO. (2150 EXECUTIVE HILLS DR.)  
SECTION: 26  
TOWNSHIP: 3N  
CITY OF AUBURN HILLS  
OAKLAND COUNTY  
MICHIGAN  
RANGE: 10E

REVISED  
2019-03-22 REV. SITE PLAN  
2019-03-29 REV. SITE PLAN  
2024-04-22 TENANT MODIFICATIONS  
2024-04-30 PER CITY

DATE: 2019-03-06

DRAWN BY: TG

CHECKED BY: SD/TG

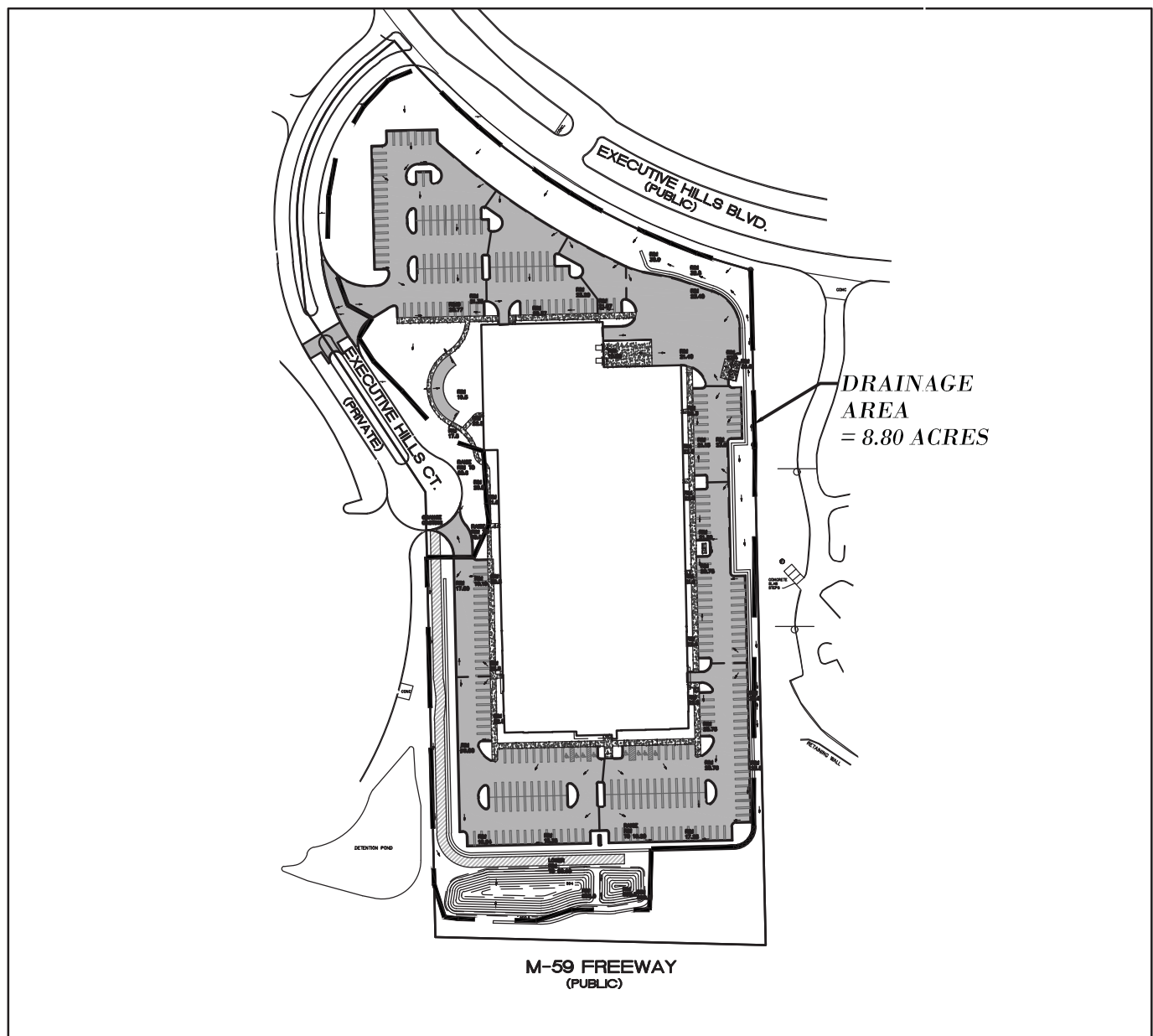
FBK:  
CHF:

SCALE: HOR 1"=60 FT.  
VER 1"=

**SP-3**  
18-345

**NOT FOR CONSTRUCTION**  
SIDWELL # 14-26-126-032





**DRAINAGE MAP**  
1"=200'

**DRAINAGE NARRATIVE:**  
THE PROJECT SITE FALLS UNDER THE JOHNSON DRAINAGE DISTRICT. PER DISCUSSION WITH THE CITY ENGINEER, THE JOHNSON DRAIN WAS PLANNED TO TAKE THE RUNOFF FROM A 10 YEAR STORM WITH A RUNOFF COEFFICIENT OF 0.67. NEW DEVELOPMENTS NEED TO DETAIN THE DIFFERENCE BETWEEN WHAT THE SITE WAS PLANNED FOR AND THE 100 YEAR STORM. STORM WATER QUALITY IS ALSO REQUIRED EITHER THROUGH A FOREBAY OR A MECHANICAL UNIT.

**ESTIMATE THE ALLOWABLE DISCHARGE RATE PER THE JOHNSON DRAIN PLANS:**  
**ORIGINAL DESIGN**  
Drainage Area (A): 8.80 acres  
Coefficient of Runoff (C): 0.67  
Intensity (I): 2.37 in/hr  
Allowable Discharge (Qa=CIA): 13.97 cfs  
\*Intensity per Johnson Drain plans

**PROPOSED DESIGN**  
Contributing Area (A): 8.80 acres  
Allowable Discharge (Qa): 13.97 cfs  
Coefficient of Runoff (C): 0.69

**10 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)**

**Calculation of Required Discharge/Acre**

$$Q_o = ((Q_a)(A)/(C))$$

$$T = -25 + ((6562.5/Q_o))0.5$$

**Storage Volume Required:**

$$V_s = ((10500(T)(T+25)) - 40Q_o(T))$$

$$V_t = (V_s)(A)/(C)$$

**100 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)**

**Calculation of Required Discharge/Acre**

$$Q_o = ((Q_a)(A)/(C))$$

$$T = -25 + ((10312.5/Q_o))0.5$$

**Storage Volume Required:**

$$V_s = ((16500(T)(T+25)) - 40Q_o(T))$$

$$V_t = (V_s)(A)/(C)$$

**DIFFERENCE 10-YR vs. 100-YR**  
22,288 cubic feet

**1 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)**

**Calculation of Required Discharge/Acre**

$$Q_o = ((Q_a)(A)/(C))$$

$$V_t = ((3200 * C * A))$$

**USE THE LARGER VOLUME REQUIRED**  
26,231 cf

**ORIFICE OUTLET SIZING**

**OUTLET SIZING FOR FOREBAY**

RELEASE FOREBAY VOLUME WITHIN 48 HOURS

CALCULATE AVERAGE RELEASE RATE WHICH WILL SATISFY THIS REQUIREMENT:

$$Q_{avg} = V_{48} / 172,800 \text{ sec}$$

$$h_{max} = 0.667 * (Z_o - Z_o)$$

**DETERMINE THE ORIFICE AREA NEEDED BASED ON THE ORIFICE EQUATION:**

$$A = (Q_{avg} / (0.62 * \sqrt{2 * 32.2 * h_{max}}))$$

$$\text{Diameter} = \sqrt{4A / \pi}$$

**DETERMINE # OF ORIF. REQUIRED BASED ON AN ORIFICE DIAMETER OF:**

$$\text{REQUIRED \# OF ORIF.} = Q_{avg} / Q_{orif}$$

CALCULATE ACTUAL AVERAGE RELEASE RATE THROUGH THE ORIF.

$$Q_{avg} = 0.62 * \# \text{ of orif} * A * \sqrt{2 * 32.2 * h_{max}}$$

CALCULATE ACTUAL HOLDING TIME:

$$T = V_{48} / Q_{avg}$$

**OUTLET SIZING FOR 100 YEAR FLOOD**

PER THE DETENTION BASIN VOLUME CALCULATIONS, THE MAXIMUM ALLOWABLE RELEASE RATE AT THE DESIGN WATER LEVEL OF Z<sub>100</sub> IS:

$$Q_{avg} = V_{48} / 172,800 \text{ sec}$$

CALCULATE THE MAXIMUM HEAD ON THE OUTLET FOR A 100 YR EVENT:

$$Z_o = Z_{100} - h_{max}$$

$$h_{max} = (Z_{100} - Z_o)$$

**DETERMINE OUTLET PIPE SIZE NEEDED BASED ON THE ORIFICE EQUATION:**

$$A = Q / (0.62 * \sqrt{2 * g * h})$$

$$\text{Diameter} = \sqrt{4A / \pi}$$

USE 15" DIAMETER OUTLET RESTRICTOR

**RUNOFF COEFFICIENT CALCULATION**

LAND USE	AREA (A) (acres)	RUNOFF COEFFICIENT (C)
Building / Pavement	6.10	0.90
Permanent Water	0.10	0.95
Lawns	2.60	0.20
<b>TOTAL AREA</b>	<b>8.80</b>	

**WEIGHTED RUNOFF COEFFICIENT**

$$C = \text{SUM} (A_i \times C_i) / A = (6.10 \times 0.90) + (0.10 \times 0.95) + (2.60 \times 0.20) / 8.80$$

$$= 0.69$$

**BASIN VOLUME PROVIDED**

ELEVATION	AREA	AVG. AREA	HEIGHT	CUMULATIVE VOLUME
-----------	------	-----------	--------	-------------------

900.5	FREEBOARD			
-------	-----------	--	--	--

899.0	10,230	9,310	1.0	29,440
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898.0	8,390	7,513	1.0	20,130
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897.0	6,635	5,800	1.0	12,618
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896.0	4,965	4,175	1.0	6,818
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895.0	3,385	2,643	1.0	2,643
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894.0	1,900			
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**LEGEND**

PROP. STORM

PROP. SANITARY

PROP. WATER MAIN

PROP. CATCH BASIN

PROP. MANHOLE

PROP. END SECTION

PROP. CLEANOUT

PROP. HYDRANT ASSEMBLY

PROP. GATE VALVE

PROP. TOP OF CURB ELEVATION

PROP. GUTTER ELEVATION

PROP. SPOT ELEVATION

PROP. TOP OF WALK ELEVATION

PROP. TOP OF PAVEMENT ELEVATION

PROP. DRAINAGE ARROW

PROP. FINISH FLOOR ELEVATION

PROP. CURB & GUTTER (PITCH IN)

PROP. CURB & GUTTER (PITCH OUT)

PROP. SIGN

PROP. LIGHT

PROP. ASPHALT

PROP. CONCRETE

PROP. STORM

PROP. SANITARY

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PROP. LIGHT

PROP. ASPHALT

PROP. CONCRETE

PROP. STORM

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PROP. WATER MAIN

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PROP. MANHOLE

PROP. END SECTION

PROP. CLEANOUT

PROP. HYDRANT ASSEMBLY

PROP. GATE VALVE

PROP. TOP OF CURB ELEVATION

PROP. GUTTER ELEVATION

PROP. SPOT ELEVATION

PROP. TOP OF WALK ELEVATION

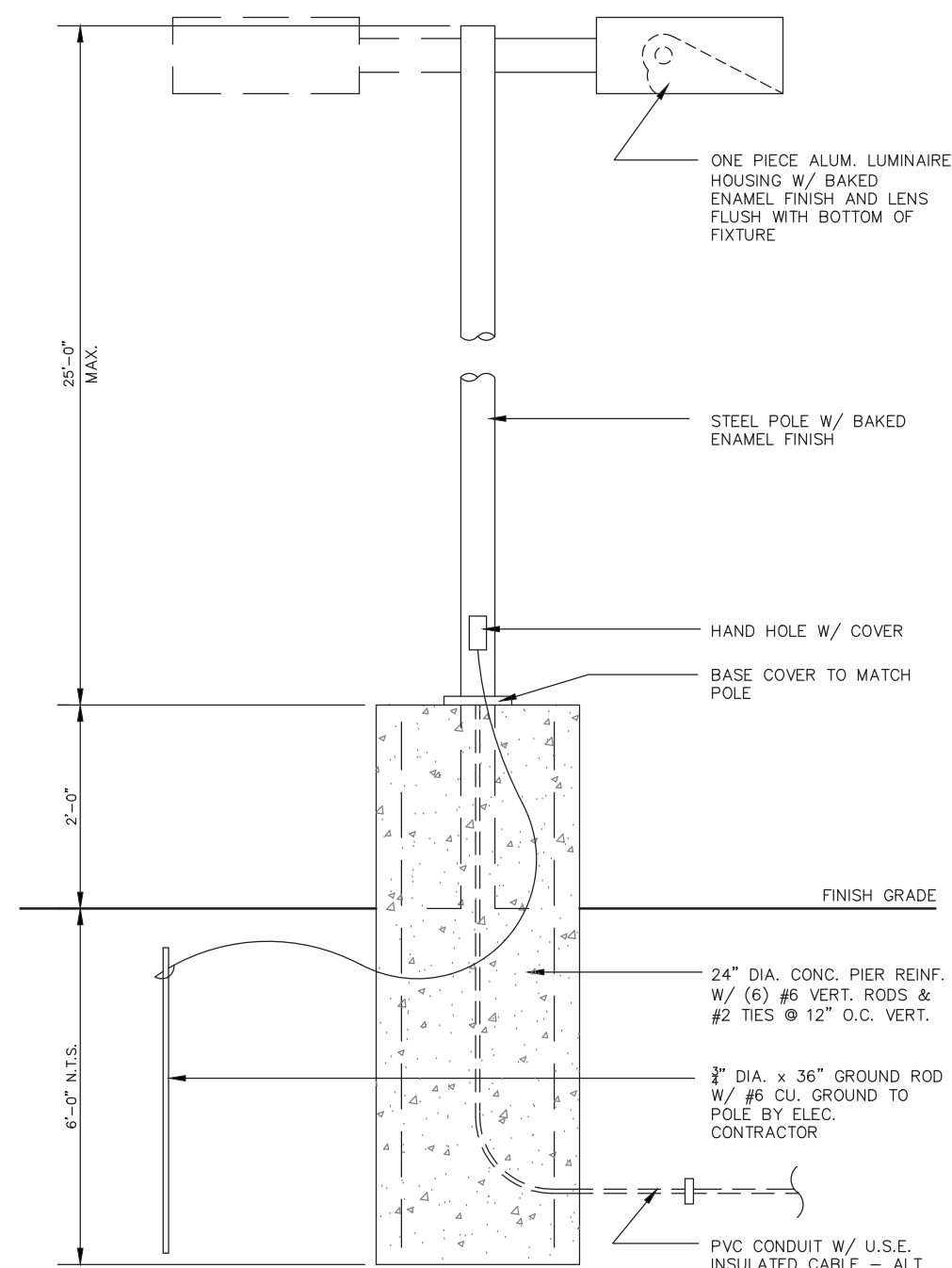
PROP. TOP OF PAVEMENT ELEVATION

PROP. DRAINAGE ARROW

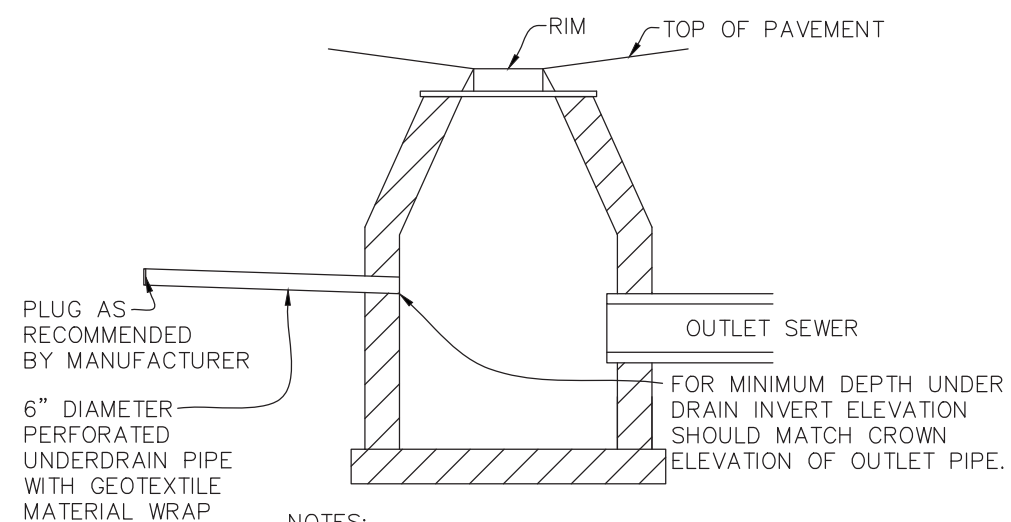
PROP. FINISH FLOOR ELEVATION

PROP. CURB & GUTTER (PITCH IN)



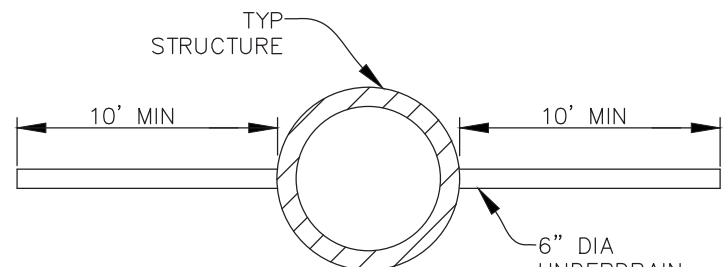


**TYPICAL POLE MTD. LIGHT DETAIL**  
NOT TO SCALE

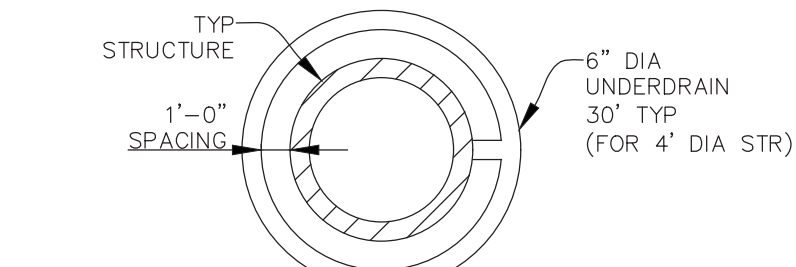


NOTES:  
1. BACKFILL SHALL MEET M.D.O.T. REQUIREMENTS FOR 34R OR 34G OPEN GRADED DRAINAGE COURSE AGGREGATES. THIS BACKFILL SHALL EXTEND 4\"/>

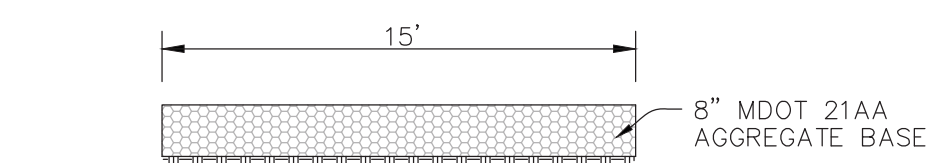
**TYPICAL UNDERDRAIN**



**TYPICAL UNDERDRAIN PARALLEL W/CURB**  
NOT TO SCALE



**TYPICAL UNDERDRAIN IN PARKING LOT**  
NOT TO SCALE



**TYPICAL UNDERDRAIN IN PARKING LOT**  
NOT TO SCALE



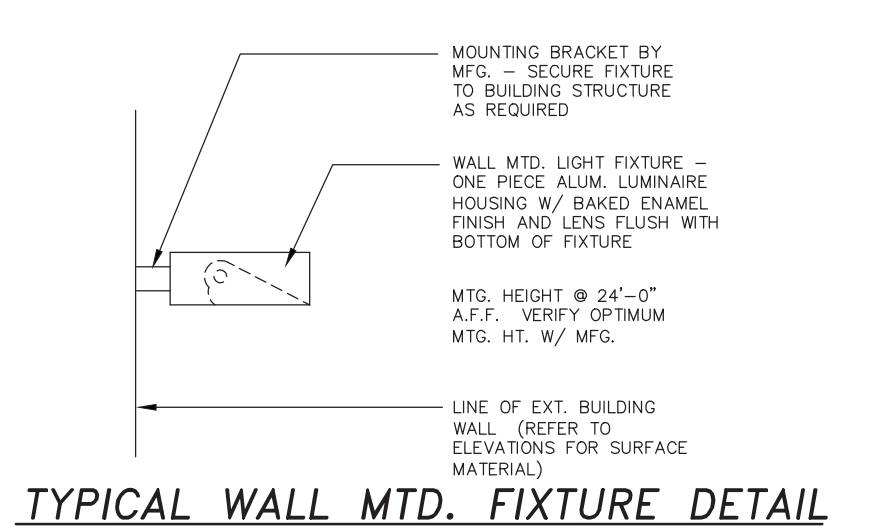
**TYPICAL UNDERDRAIN IN PARKING LOT**  
NOT TO SCALE



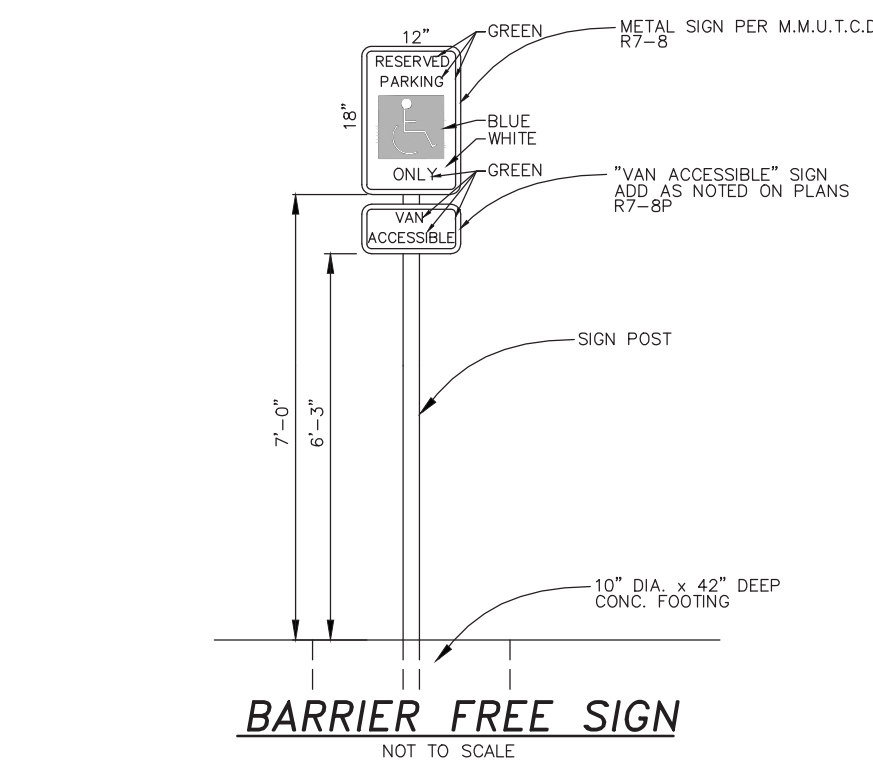
**TYPICAL UNDERDRAIN IN PARKING LOT**  
NOT TO SCALE



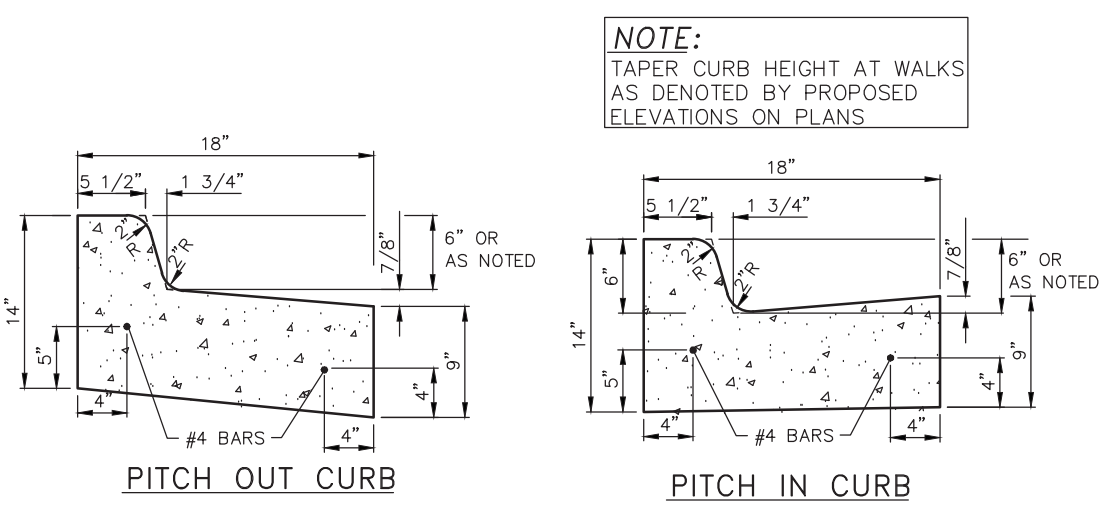
**TYPICAL UNDERDRAIN IN PARKING LOT**  
NOT TO SCALE



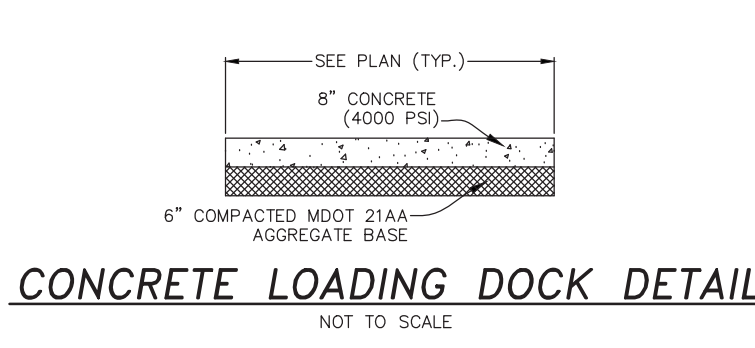
**TYPICAL WALL MTD. FIXTURE DETAIL**  
NOT TO SCALE



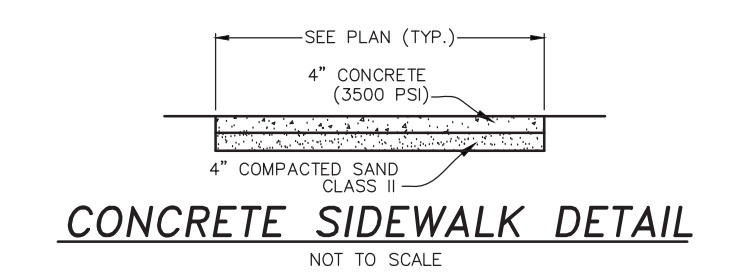
**BARRIER FREE SIGN**  
NOT TO SCALE



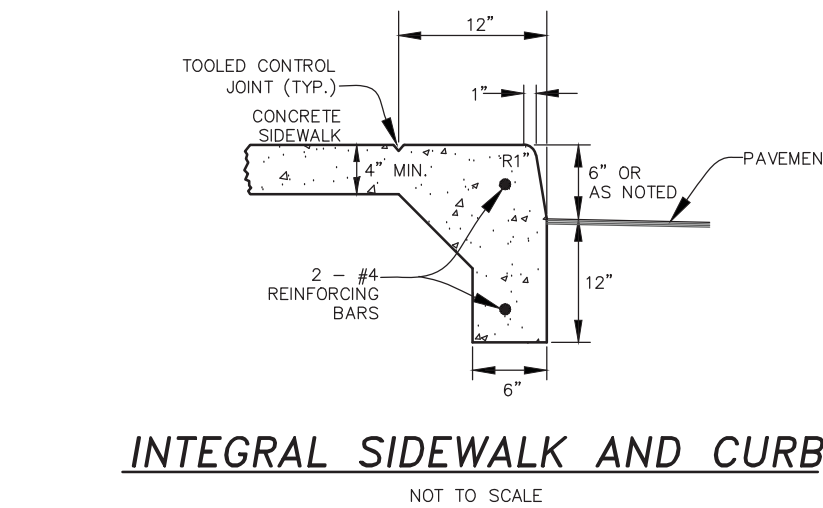
**CONCRETE CURB & GUTTER - ON-SITE**  
NOT TO SCALE



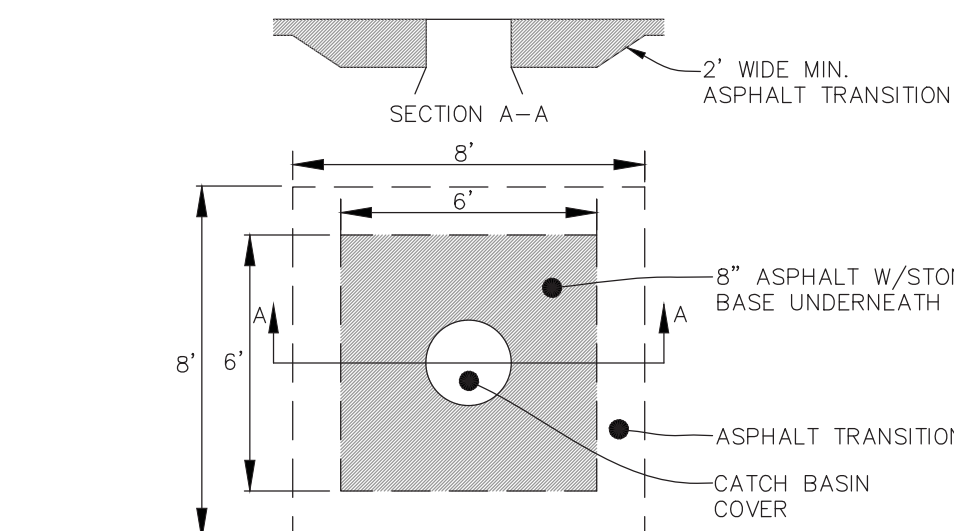
**CONCRETE LOADING DOCK DETAIL**  
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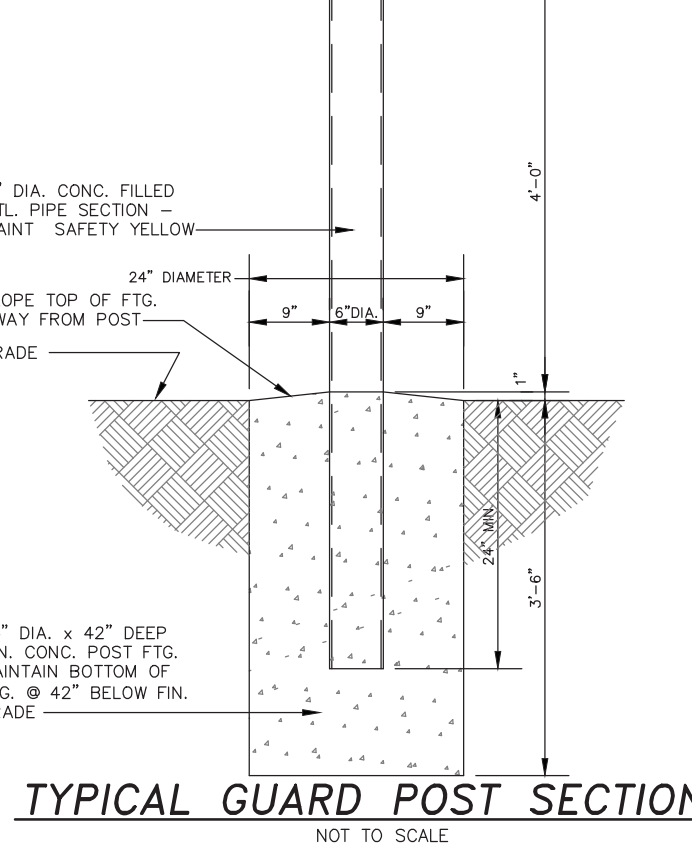
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



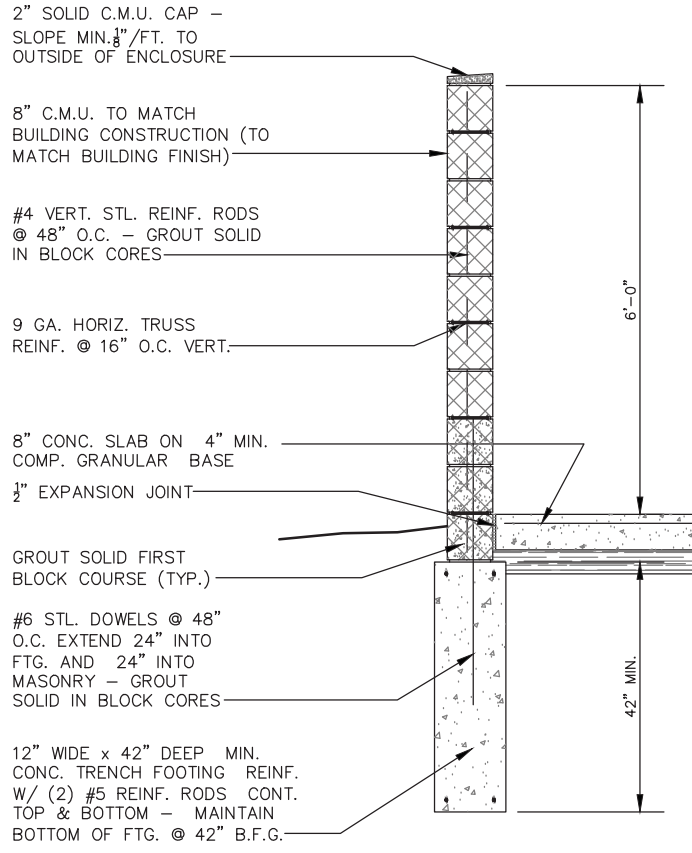
**INTEGRAL SIDEWALK AND CURB**  
NOT TO SCALE



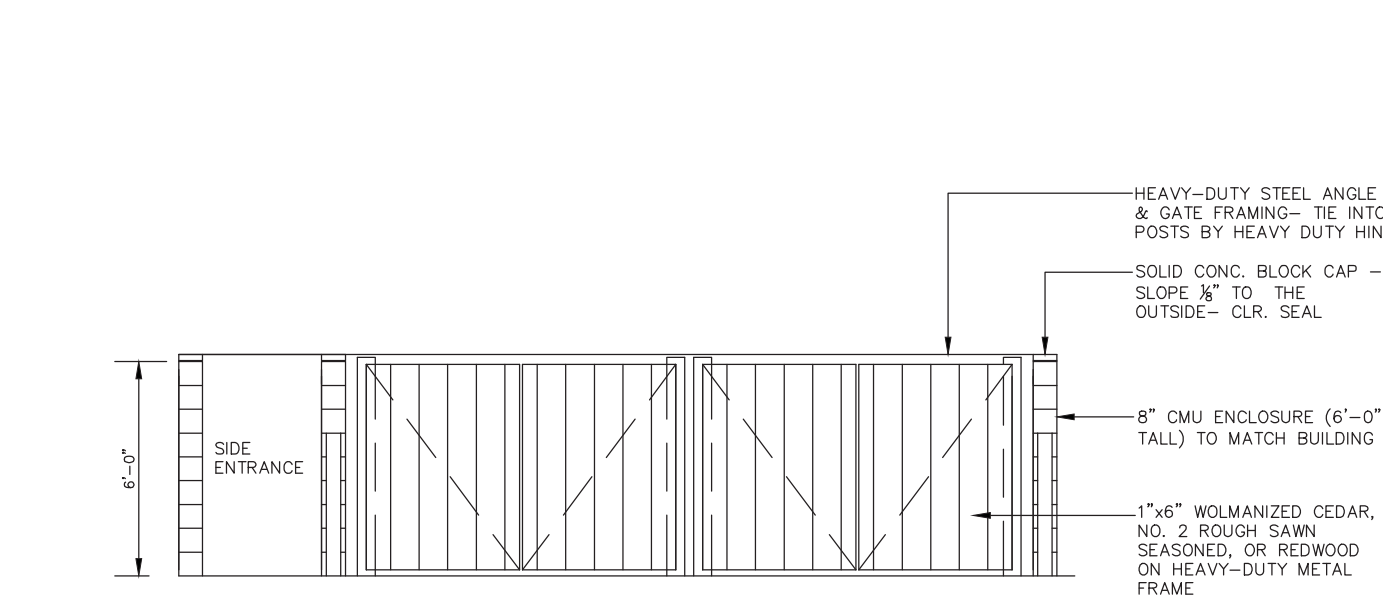
**ASPHALT APRON FOR CATCH BASIN IN PARKING LOT (OWNER OPTION)**  
NOT TO SCALE



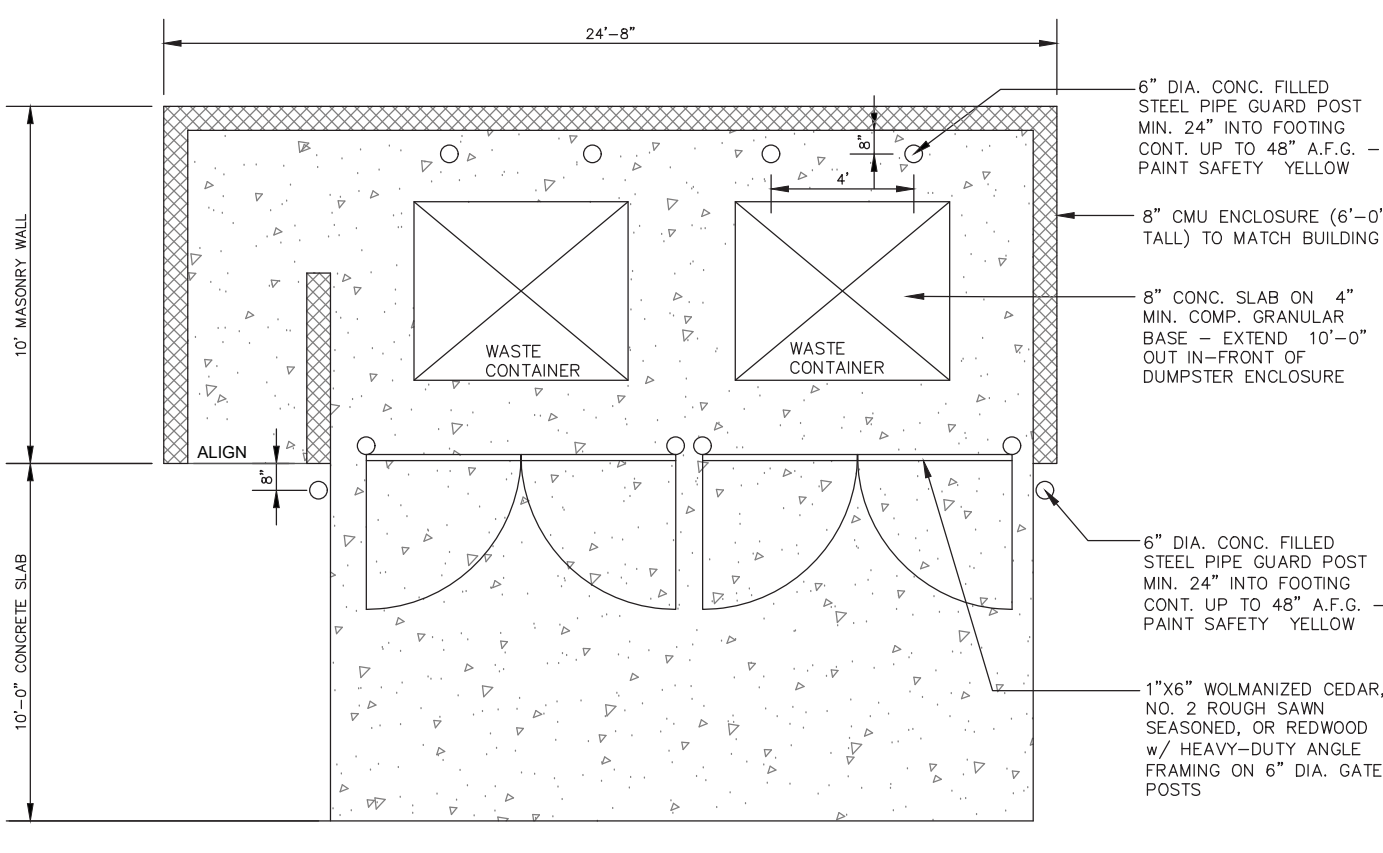
**TYPICAL GUARD POST SECTION**  
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**DUMPSTER ENCLOSURE SECTION**  
NOT TO SCALE



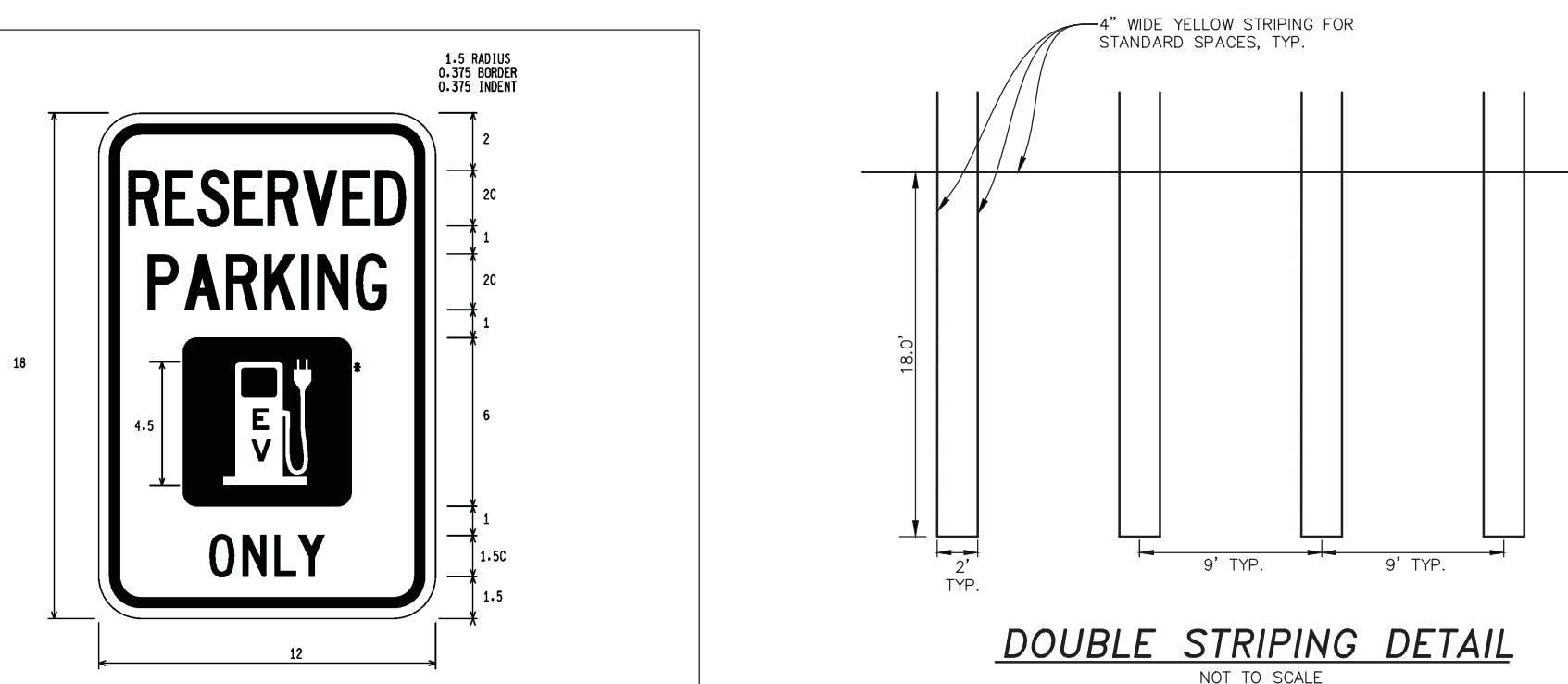
**DUMPSTER ENCLOSURE ELEVATION**  
NOT TO SCALE



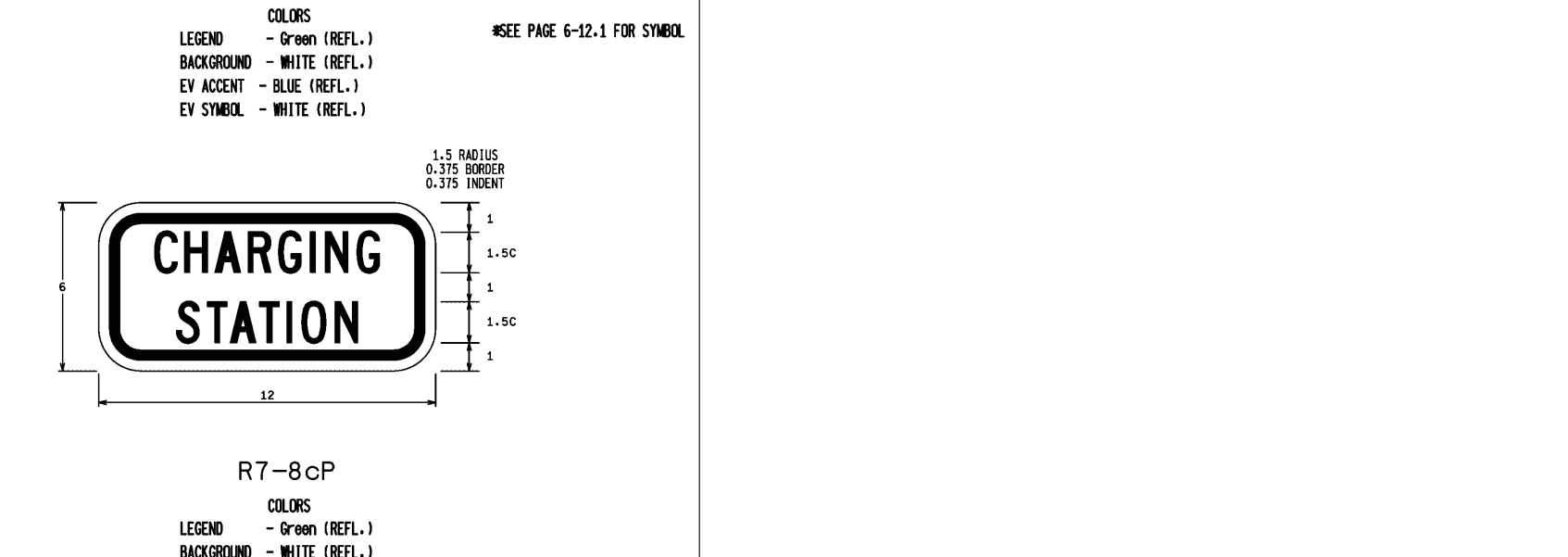
**DUMPSTER ENCLOSURE PLAN**  
NOT TO SCALE



**ILLUSTRATIVE GATE DETAIL**  
NOT TO SCALE



**DOUBLE STRIPING DETAIL**  
NOT TO SCALE



**CHARGING SIGN DETAIL**  
NOT TO SCALE

**VIPER S**  
SMALL VIBRATOR LUMINAIRE

**BEACON**

**PRODUCT IMAGES**

**INSTALLATION**

**MAINTENANCE**

**ORDERING INFORMATION**

**STOCK ORDERING INFORMATION**

**LITEPAK SERIES**  
LUMINAIRE

**HUBBELL Outdoor Lighting**

**PRODUCT IMAGES**

**INSTALLATION**

**MAINTENANCE**

**ORDERING INFORMATION**

**STOCK ORDERING INFORMATION**

**ALPINE ENGINEERING, INC.**  
ONE ENGINEERS & LAND SURVEYORS

**COMMERCIAL**  
SITE ENGINEERING  
INDUSTRIAL & MULTI-UNIT  
LAND SURVEYING  
CONSTRUCTION LAYOUT

**SURVEYING**  
ALTA SURVEYS  
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TOPOGRAPHIC SURVEYS  
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**RESIDENTIAL**  
SUBDIVISIONS  
SITE CONDOMINIUM  
MULTI-FAMILY  
LOT PLANS  
CONSTRUCTION LAYOUT

**811**  
Know what's below  
Call before you dig.

**DEMS DEVELOPMENT, INC.**

**SITE DETAILS**

**CLIENT:**

**REVISED**

**DATE:** 2019-03-06

**DRAWN BY:** TG

**CHECKED BY:** SD/TG

**FBK:**

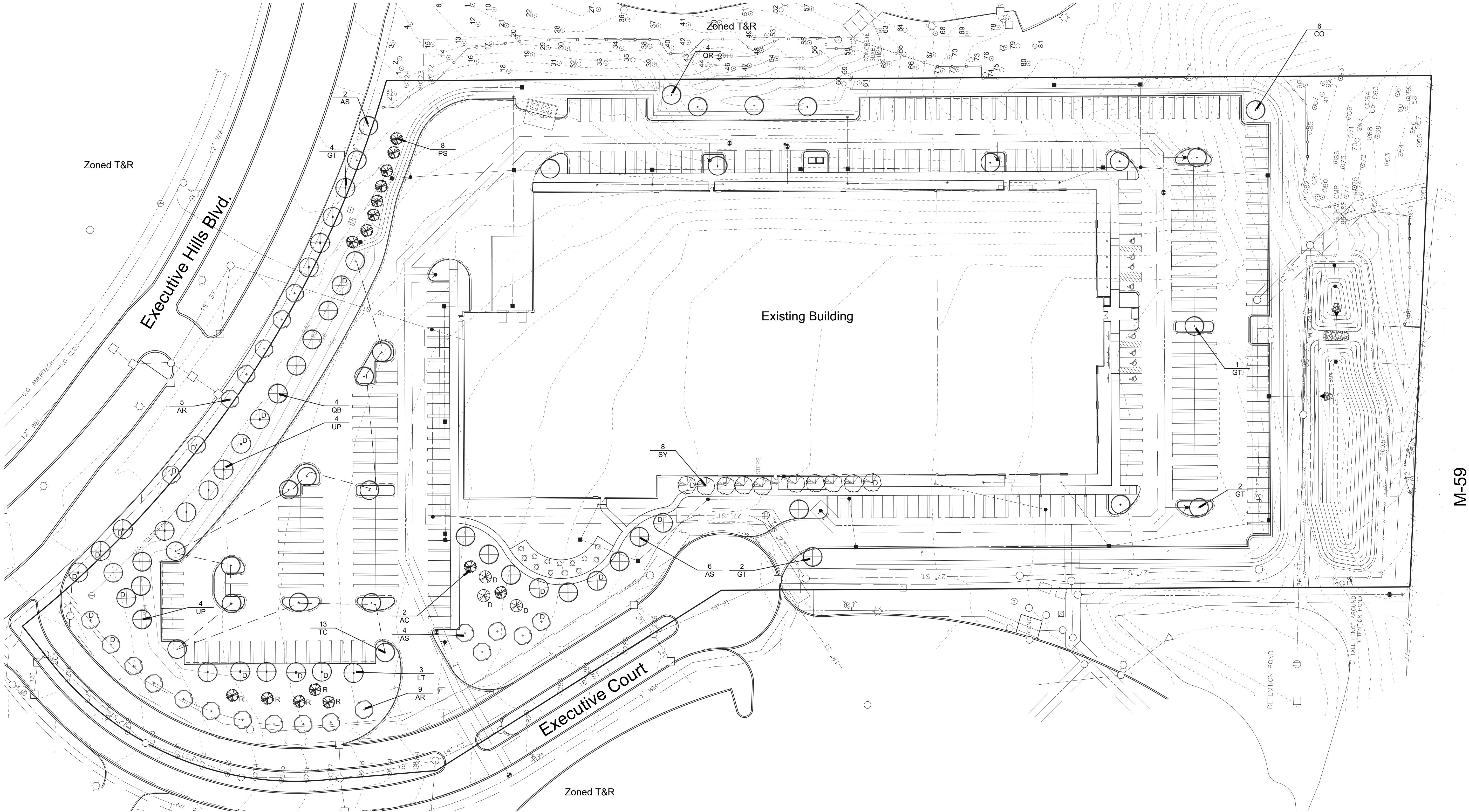
**CHP:**

**SCALE:** HOR 1" = 100 FT.  
VER 1" = 10 FT.

**SP-5**

**18-345**



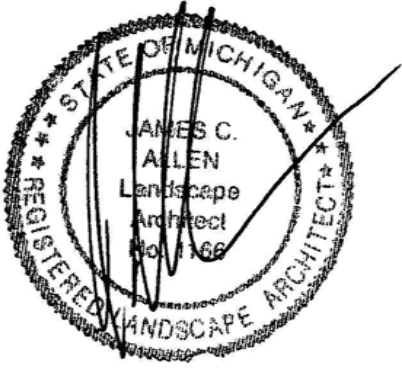


Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height
AR	14	Acer rubrum 'October Glory'	October Glory Maple	2.5"	as shown	B&B	
AS	12	Acer saccharum	Sugar Maple	2.5"	as shown	B&B	
CO	6	Celtis occidentalis	Northern Hackberry	2.5"	as shown	B&B	
GT	9	Gleditsia triacanthos Var. Inermis	Honeylocust	2.5"	as shown	B&B	
LT	3	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
QB	4	Quercus bicolor	Swamp White Oak	2.5"	as shown	B&B	
QR	4	Quercus rubra	Red Oak	2.5"	as shown	B&B	
TC	13	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	as shown	B&B	
UP	8	Ulmus x. 'Pioneer'	Pioneer Elm	2.5"	as shown	B&B	
AC	2	Abies concolor	White Fir		as shown	B&B	8'
PS	8	Pinus strobus	White Pine		as shown	B&B	8'
83	Total Landscape Trees						

- Notes:
- Site Walk Conducted on March 26, 2024.
  - "D" Denotes Dead and to be Replaced. These Trees are not Counted in the As-built and Replacements are Shown on Sheet L-2.
  - "R" Denotes Tree to be Removed.

Seal:



Title:

As-Built

Project:

Unit 10  
Auburn Hills, Michigan

Prepared for:

Alpine Engineering, Inc.  
46892 West Road, Suite 109  
Novi, Michigan 48337  
248.926.3701

Revision:

Review  
Revised  
Revised

Issued:

April 16, 2024  
April 22, 2024  
April 30, 2024

Job Number:

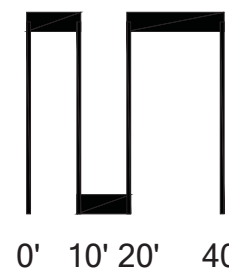
19-020

Drawn By:

jca

Checked By:

jca

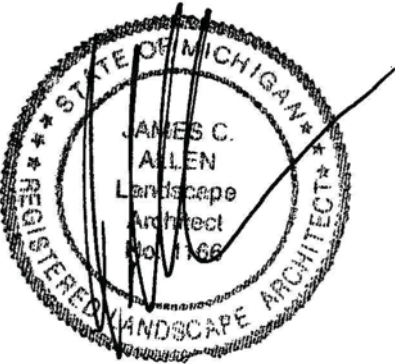


Sheet No.

L-1



Seal:



Title:

Landscape Plan

Project:

Unit 10

Auburn Hills, Michigan

Prepared for:

Alpine Engineering, Inc.  
46892 West Road, Suite 109  
Novi, Michigan 48337  
248.926.3701

Revision:

Review  
Revised  
Revised  
Revised

Issued:

April 11, 2024  
April 16, 2024  
April 22, 2024  
April 30, 2024

Job Number:

19-020

Drawn By:

jca

Checked By:

jca



NORTH  
1"=40'

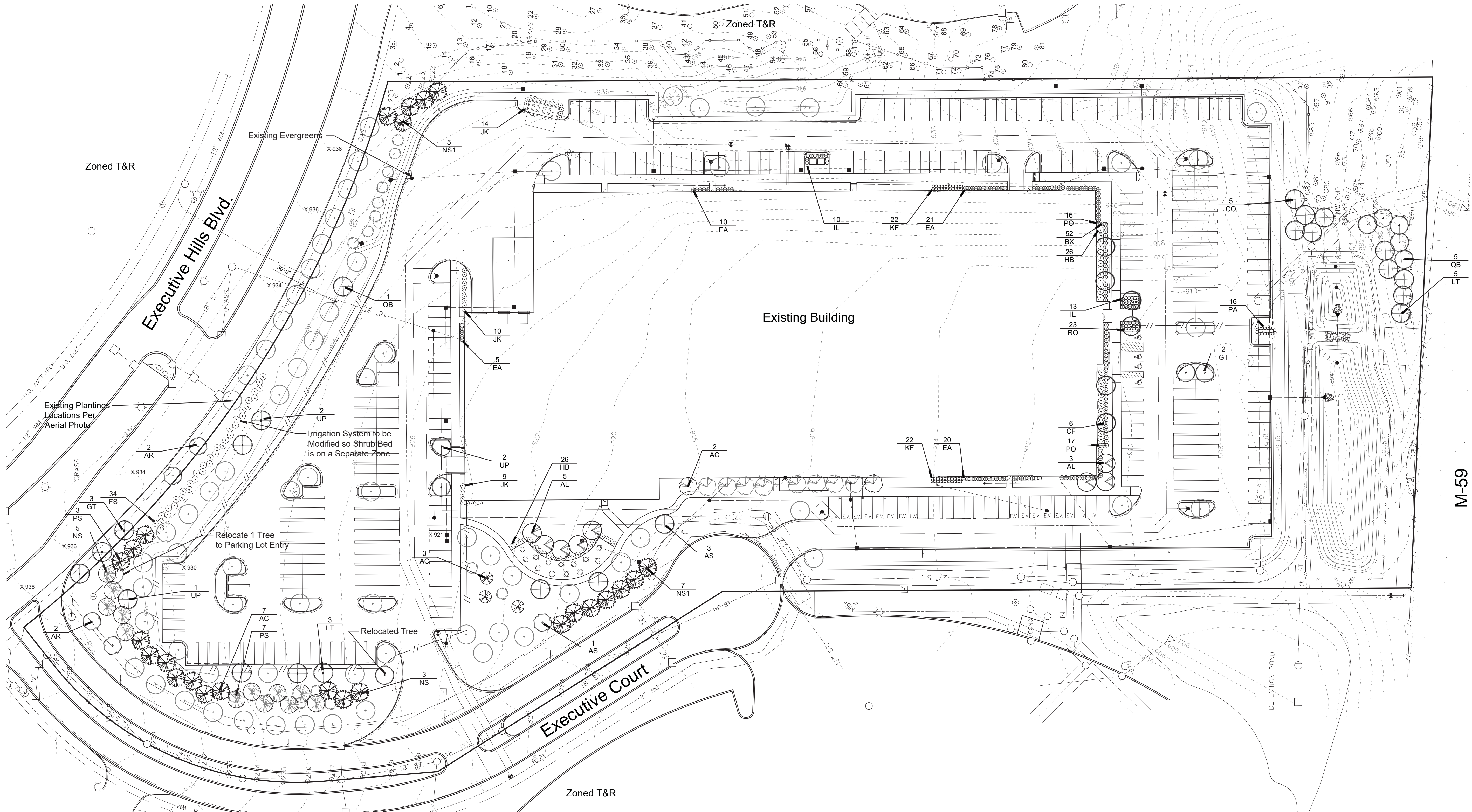
Sheet No.

L-2



Know what's below.  
Call before you dig.

Not for Construction



## Landscape Comparison

Total Site Area		10.1 acres Gross and Net
Requirement	Required	Provided
Net Landscape Area	10.1 acres x 20% = 2.52 ac or 109,771 s.f.	130,880 s.f. (29.7%) Exclusive of Detention
Site Area Landscaping	109,771 s.f. / 1,000 s.f. = 109 Trees	109 Trees
Frontage Landscaping	Executive Hills Blvd. - 526 / 30 = 18 Trees Executive Court - 707 / 30=24 Trees M-59-441 / 30 = 15 Trees	18 Trees (2 are Existing and in good condition) 24 Trees 15 Trees
Parking Interior Landscaping	10 Islands = 10 Trees	10 Trees
Total Landscape Trees	176 Required	176 Provided
Total Replacement Trees	700 Trees Required	176 Trees Provided
		524 Trees to be Paid into City Tree Fund 524 x \$380 = \$199,120

Note:

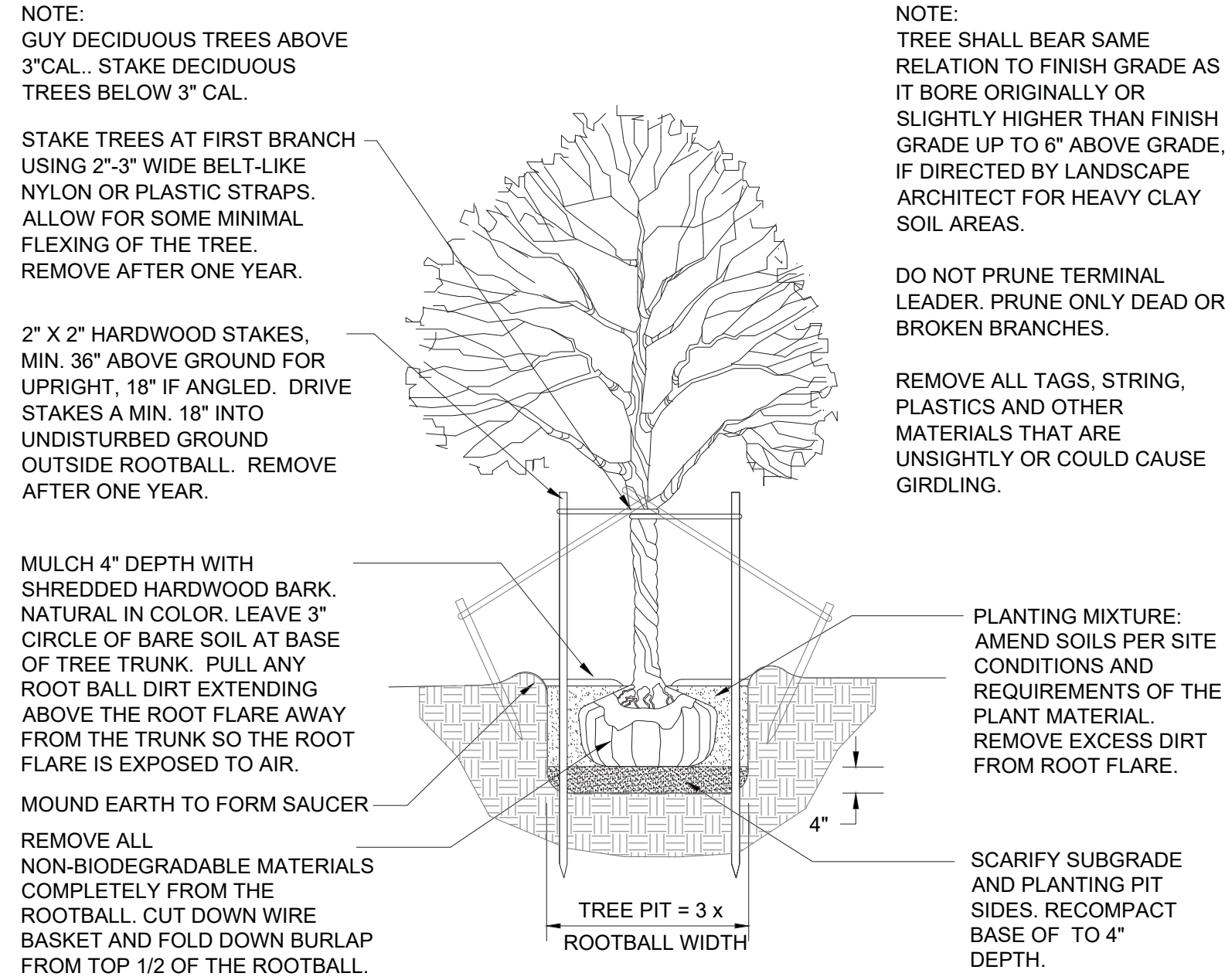
Owner is Responsible for Replacing Plant Material within Utility Easements that are Damaged or Removed as a Result of Maintenance.

## Plant List

Trees									
sym.	qty.	botanical name	common name	caliper	spacing	root	height	Percentage Species	Genus
AL	8	Amelanchier laevis	Shadblow	2.0"	as shown	B&B		5%	5%
AR	4	Acer rubrum 'October Glory'	October Glory Maple	2.5"	as shown	B&B		9%	19%
AS	4	Acer saccharum	Sugar Maple	2.5"	as shown	B&B		9%	19%
CF	6	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2.5"	as shown	B&B		3%	3%
CO	5	Celtis occidentalis	Northern Hackberry	2.5"	as shown	B&B		6%	6%
LT	8	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B		6%	6%
QB	6	Quercus bicolor	Swamp White Oak	2.5"	as shown	B&B		6%	8%
OT	5	Gleditsia triacanthos Var. inermis	Honeylocust	2.5"	as shown	B&B		8%	8%
UP	5	Ulmus x 'Pioneer'	Pioneer Elm	2.5"	as shown	B&B		7%	7%
AC	12	Abies concolor	White Fir		as shown	B&B	12'-14'	8%	8%
NS1	12	Picea abies	Norway Spruce		as shown	B&B	8'	11%	11%
NS	8	Picea abies	Norway Spruce		as shown	B&B	12'-14'	11%	11%
PS	10	Pinus strobus	White Pine		as shown	B&B	12'-14'	10%	10%
As-Built Trees									
14	Acer rubrum 'October Glory'	October Glory Maple	2.5"	as shown	B&B			10%	19%
12	Acer saccharum	Sugar Maple	2.5"	as shown	B&B			7%	19%
6	Celtis occidentalis	Northern Hackberry	2.5"	as shown	B&B			6%	6%
9	Gleditsia triacanthos Var. inermis	Honeylocust	2.5"	as shown	B&B			8%	8%
3	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B			6%	6%
4	Quercus bicolor	Swamp White Oak	2.5"	as shown	B&B			6%	8%
4	Quercus rubra	Red Oak	2.5"	as shown	B&B			2%	8%
13	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	as shown	B&B			7%	7%
8	Ulmus x 'Pioneer'	Pioneer Elm	2.5"	as shown	B&B			7%	7%
2	Abies concolor	White Fir		as shown	B&B		8'	8%	8%
8	Pinus strobus	White Pine		as shown	B&B		8'	10%	10%
176	Total Landscape Trees								

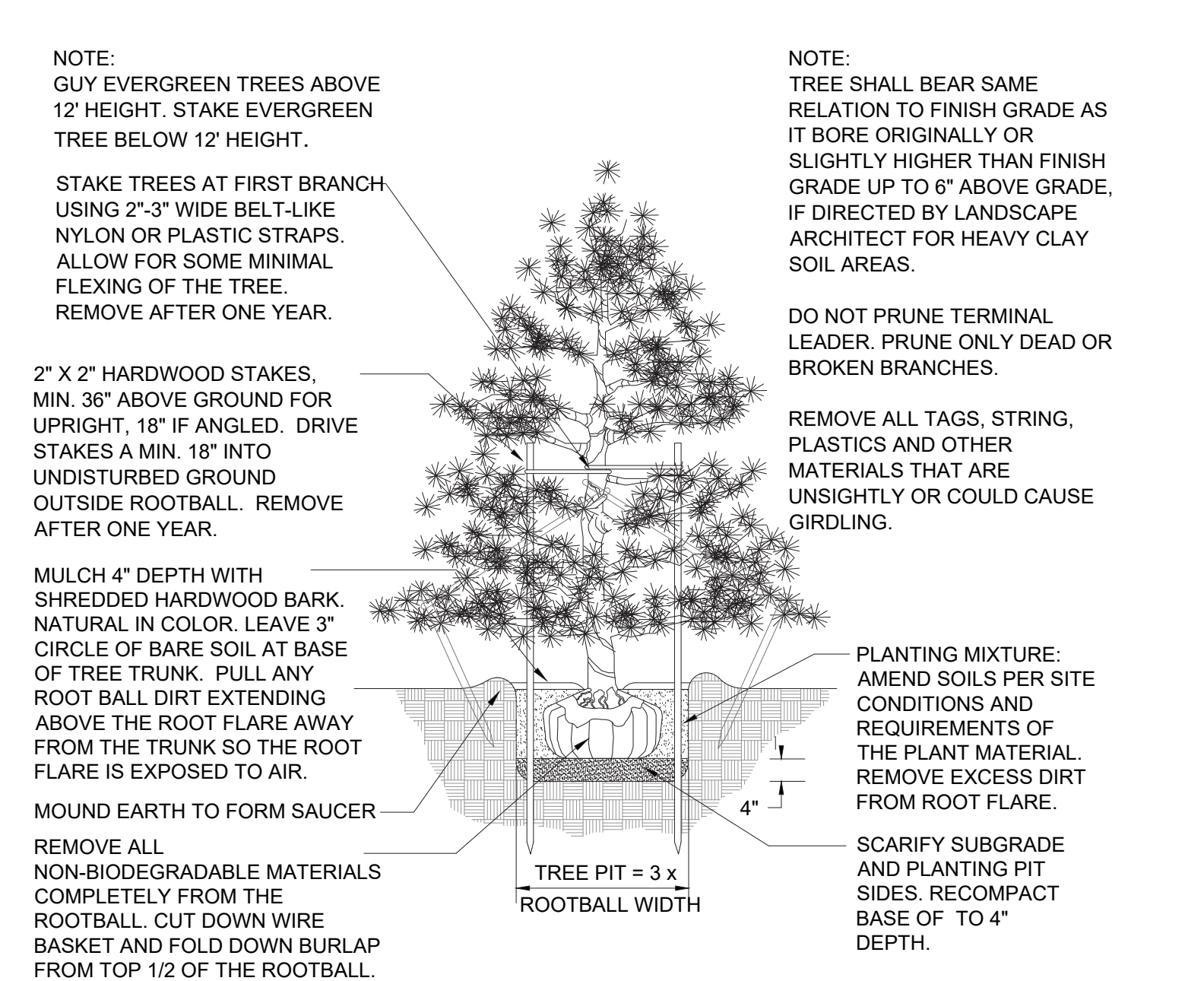
Shrubs and Perennials									
sym.	qty.	botanical name	common name	caliper	spacing	root	height		
BX	52	Buxus x 'Green Velvet'	Green Velvet Boxwood		as shown		24"		
EA	56	Euonymus alata 'Compacta'	Burning Bush		as shown		24"		
FS	34	Forsythia x 'Show Off'	Show Off Forsythia		as shown	B&B	36"-42"		
HB	52	Hydrangea paniculata 'Inkberry'	Bobo Hydrangea		as shown	B&B	36"		
IL	23	Ilex glabra 'Nordic'	Nordic Inkberry		as shown		24"		
JK	33	Juniperus 'Keteleeri'	Keteleeri Juniper		as shown	B&B	5'		
KF	44	Calamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown		2 gal		
PA	16	Pennisetum a 'Hamel'	Dwarf Fountain Grass		as shown		2 gal		
PO	33	Physocarpus opulifolius 'Coppertina'	Coppertina Ninebark		as shown	B&B	36"		
RO	23	Rosa 'Drift'	Drift Rose		as shown		3 gal		
366	Total Shrubs and Perennials								





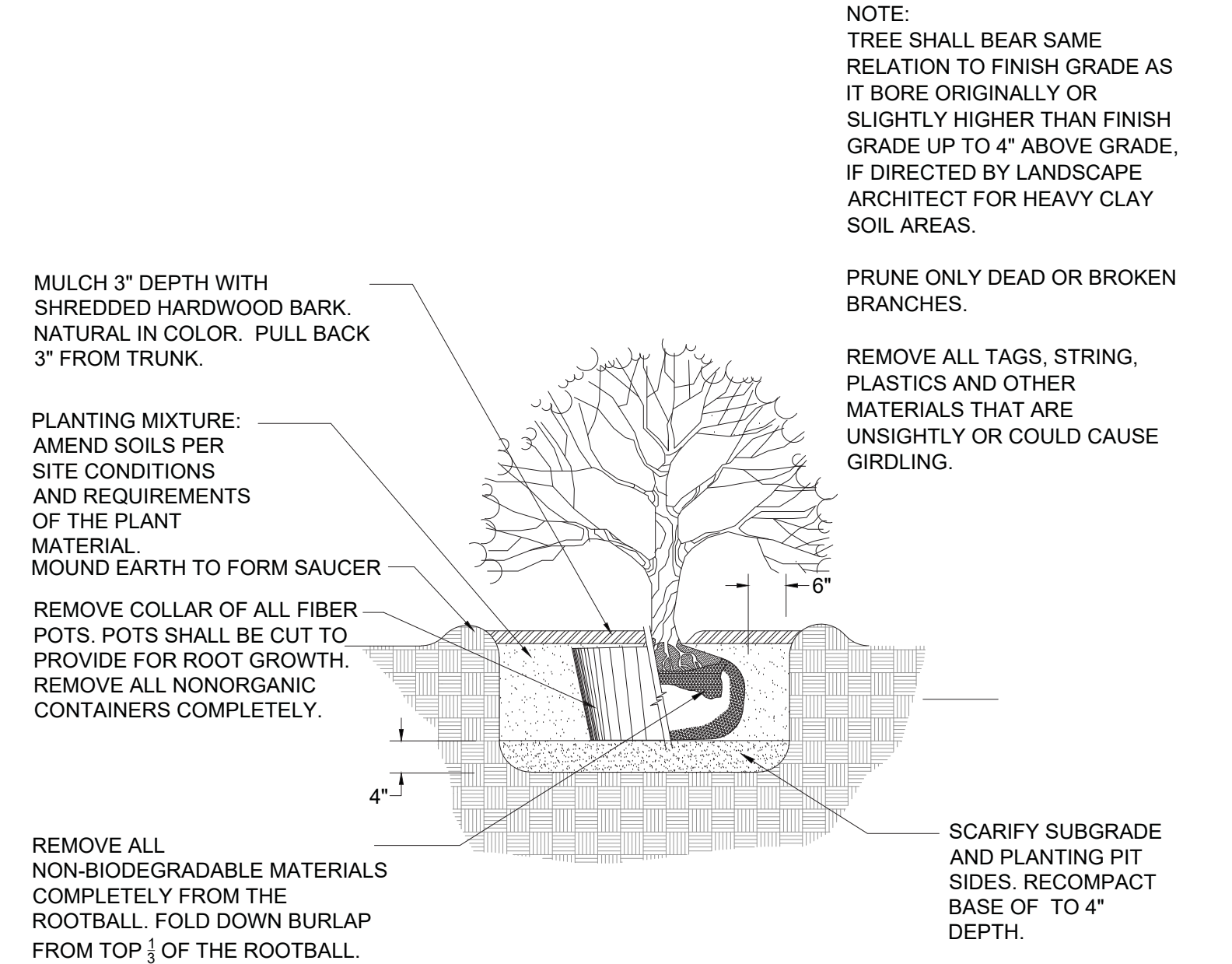
## DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



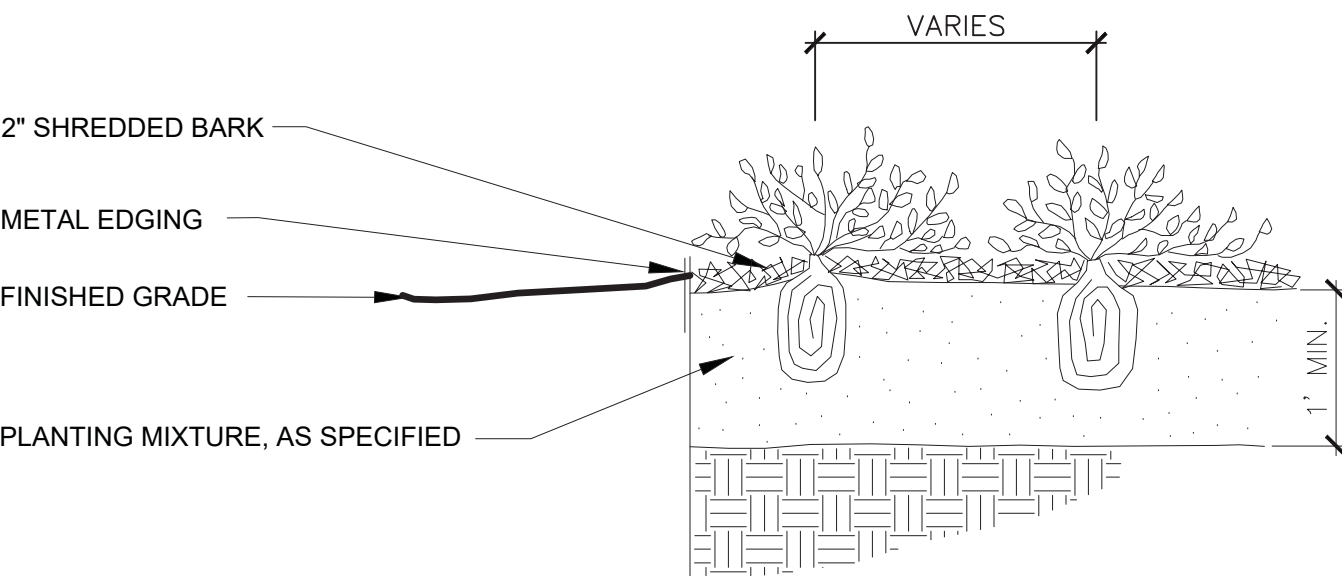
## EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



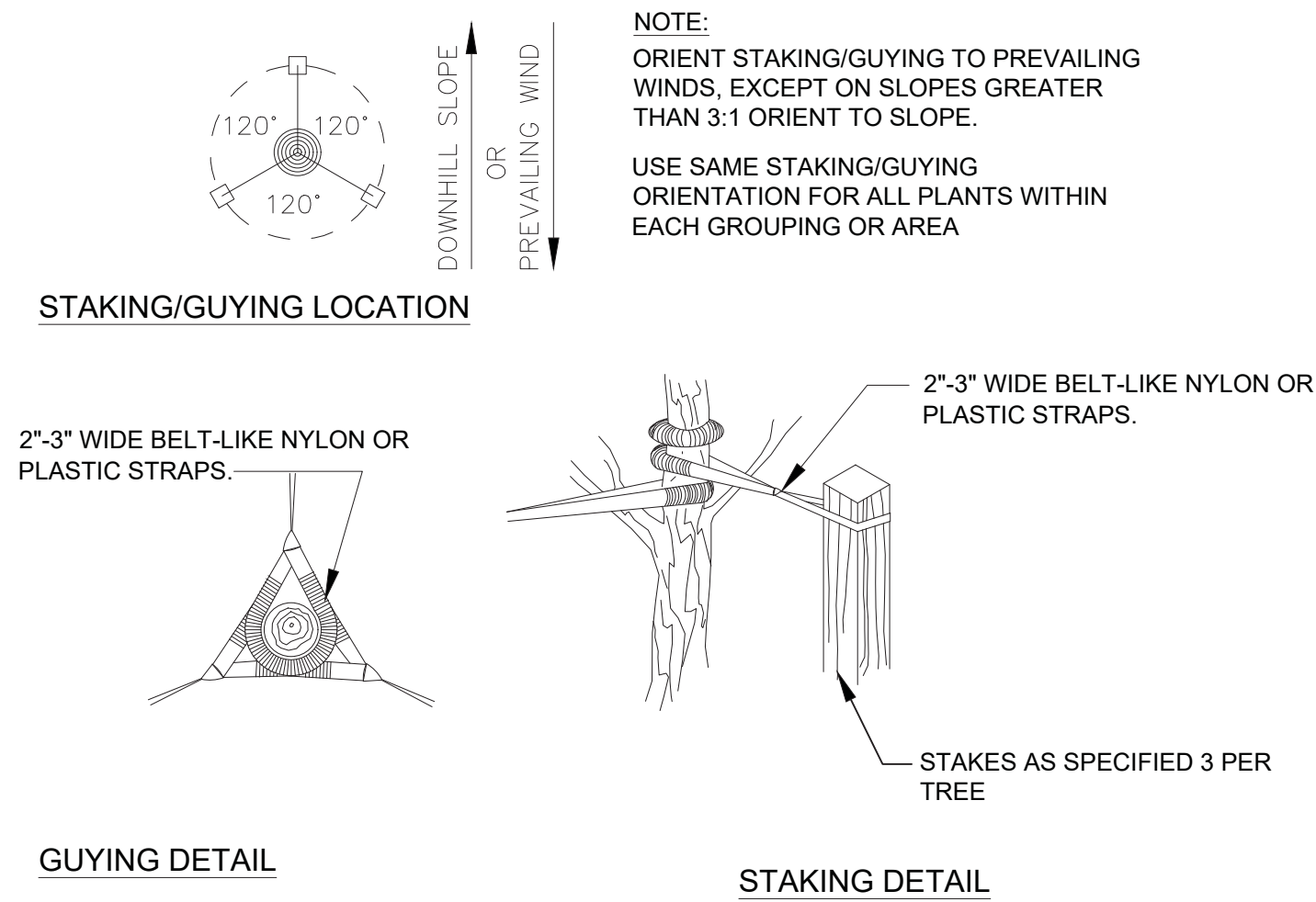
## SHRUB PLANTING DETAIL

NOT TO SCALE



## PERENNIAL PLANTING DETAIL

Not to scale



## TREE STAKING DETAIL

Not to scale

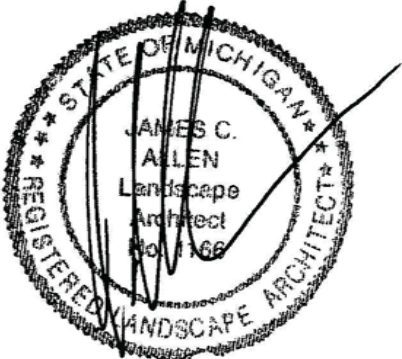
## LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- Sod shall be two year old "Baron/Cheridaph" Kentucky Blue Grass grown in a sod nursery on loam soil.

## LANDSCAPE NOTES

- All Installed Trees Shall Have a Straight Trunk.
- All Installed Trees Shall be Northern Grown.
- All Installed Trees Shall be State Department of Agriculture Grade No. 1 or Better.
- All Replacement Trees are Considered Protected Regardless of Size.
- All Trees Shall be Guaranteed for a Minimum of Two Years.
- All Landscaped Areas Shall be Irrigated with and Underground Irrigation Sprinkler System.

Seal:



Title:

Landscape Details

Project:

Unit 10

Auburn Hills, Michigan

Prepared for:

Alpine Engineering, Inc.  
46892 West Road, Suite 109  
Novi, Michigan 48337  
248.926.3701

Revision:

Review  
Revised  
Revised

Issued:

April 16, 2024  
April 22, 2024  
April 30, 2024

Job Number:

19-020

Drawn By:

jca

Checked By:

jca

Sheet No.





OCCUPANCY CALCULATIONS

APPLICABLE CODES:

- 2015 MICHIGAN BUILDING CODE (MBC)
- 2018 MICHIGAN PLUMBING CODE (MBP)
- 2015 MICHIGAN MECHANICAL CODE (MMC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2015 MICHIGAN ENERGY CODE
- MICHIGAN BARRIER FREE DESIGN LAW (PA 1 OF 1966 AS AMENDED) INCORPORATING THE 2015 MICHIGAN BUILDING CODE WITH ICC/ANSI A -117.1,2009
- NFPA 13-2013, FIRE SPRINKLER SYSTEM
- NFPA 72-2013, FIRE ALARM SYSTEM

OCCUPANCY CLASSIFICATION:

- USE GROUP 'B' (BUSINESS) / 'S-1' (STORAGE)
- NON SEPARATED MIXED USES - THE MOST RESTRICTIVE 'S-1' SHALL BE APPLIED TO ENTIRE BUILDING

CONSTRUCTION CLASSIFICATION:

- TYPE IIB

FIRE SUPPRESSION:

- BUILDING WILL BE COMPLETELY PROTECTED BY AN (ESFR) APPROVED AUTOMATIC FIRE SUPPRESSION SYSTEM

BUILDING AREA:

FIRST FLOOR

- OFFICE = 5,896 S.F.
- HIGH BAY (STORAGE) = 108,470 S.F. GROSS (89,464 SF USABLE)
- TOTAL FIRST FLOOR = 114,366 S.F. GROSS

ALLOWABLE BUILDING AREA: USE MORE RESTRICTIVE 'S-1' USE FOR ENTIRE BUILDING

- AREA ALLOWED = TABULAR AREA + FRONTAGE INCREASE  
= TABULAR AREA AT + (AT x IF)
- TABULAR AREA (AT) ALLOWED (MBC TABLE 506.2, 'S-1' USE, 'II' B' CONSTRUCTION = 62,000 S.F.
- FRONTAGE INCREASE (IF) ALLOWED (MBC 506.2)

$$\begin{aligned} &100' \text{ OPEN PERIMETER} - 0.25' \frac{W}{\text{TOTAL PERIMETER}} \times 30 \\ &100' \frac{1,490'-0" \text{ L.F.} - 0.25' \times 30}{1,490'-0" \text{ L.F.}} \times 30 = 100 [0.75] (1) = 75\% \text{ INCREASE ALLOWED} \end{aligned}$$

-SPRINKLER INCREASE (IS) ALLOWED (MBC 506.3) : 200%

$$\text{TOTAL AREA ALLOWED} = 70,000 \text{ S.F.} + (17,500 \times 0.75) = 70,000 \text{ S.F.} + 13,125 = 83,125 \text{ S.F. PER FLOOR}$$

TOTAL AREA ALLOWED = 83,125 S.F. + 108,470 PROPOSED S.F. - BUILDING WILL BE CLASSIFIED AS UNLIMITED AREA BUILDING PER MBC SECTION 507

ALLOWABLE BUILDING HEIGHT:

- ALLOWABLE BUILDING HEIGHT = 75'-0", 3-STORIES
- PROPOSED BUILDING HEIGHT = 32'-0"

OCCUPANCY:

- PER MBC (MBC TABLE 1004.1.2)

FIRST FLOOR OFFICE OCCUPANCY:

- 5,896 S.F. GROSS MINUS 140 S.F. PERIMETER WALL THICKNESS = 5,756 S.F.
- GENERAL OFFICE AREA: 5,759 S.F. / 100 S.F. PER OCC. = 58 OCC.

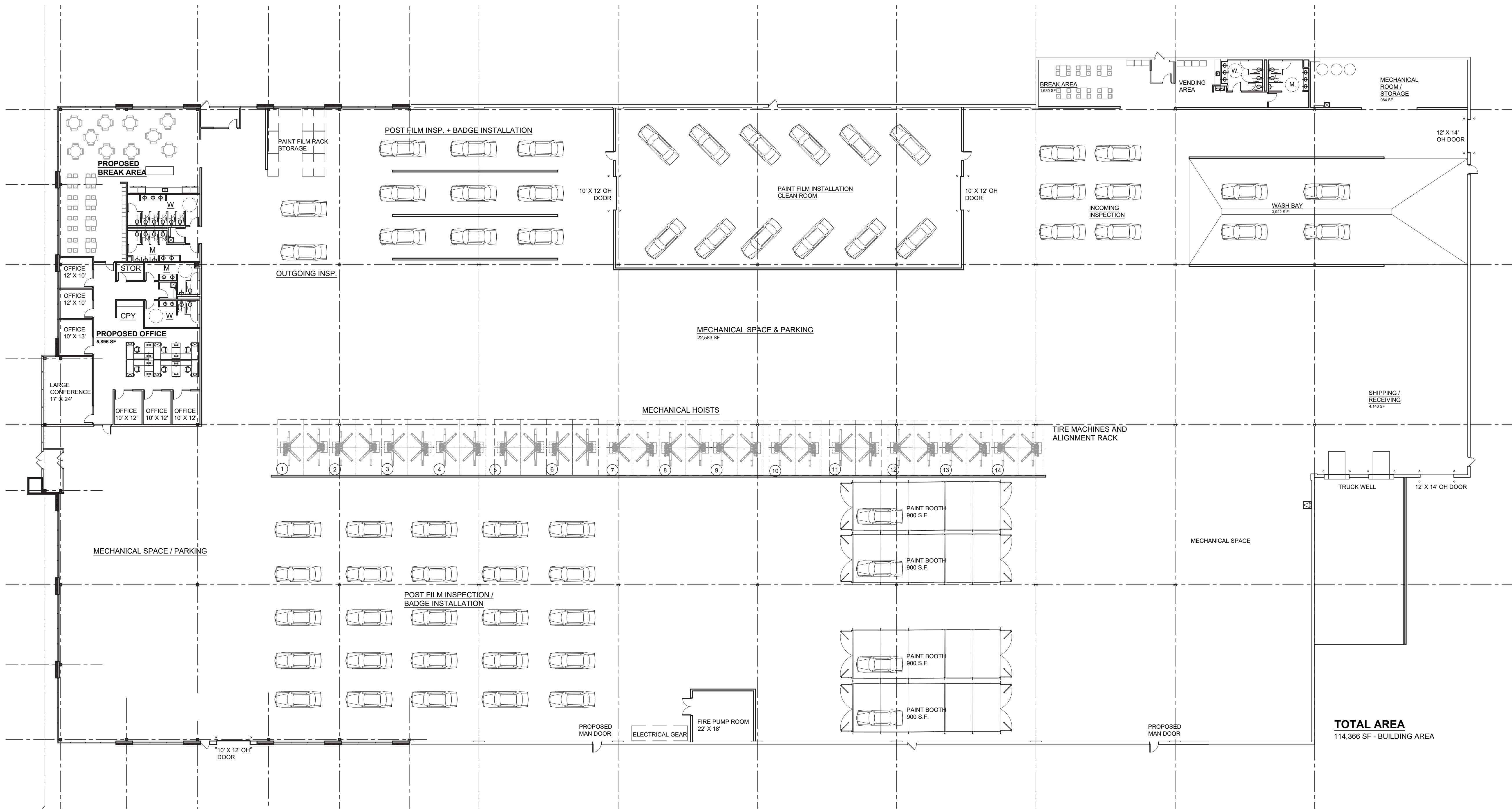
HIGH BAY AREA OCCUPANCY:

- 108,470 S.F. GROSS MINUS 1000 S.F. PERIMETER WALL THICKNESS = 107,470 S.F.
- STORAGE USE: 107,470 S.F. / 500 S.F. PER OCC. = 215 OCC.

- TOTAL BUILDING OCCUPANCY: = 273 OCC.

MINIMUM NUMBER OF EXITS:

- 273 OCCUPANTS = 2 EXITS REQUIRED (MBC TABLE 1006.3.1)
- 7 EXITS PROVIDED



PROPOSED FLOOR PLAN

SCALE: 1:20



1

PROJECT NAME:

**PENSKE VEHICLE SERVICE**  
EXECUTIVE HILLS BLVD, LOT 10  
AUBURN HILLS, MICHIGAN

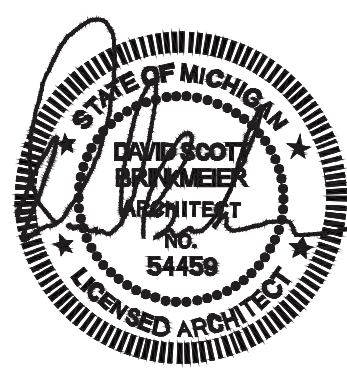
DATE: ISSUED FOR:

4-30-24 PRELIMINARY SITE PLAN

DRAWING DATE:  
4-30-24

PROJECT NUMBER:  
24034

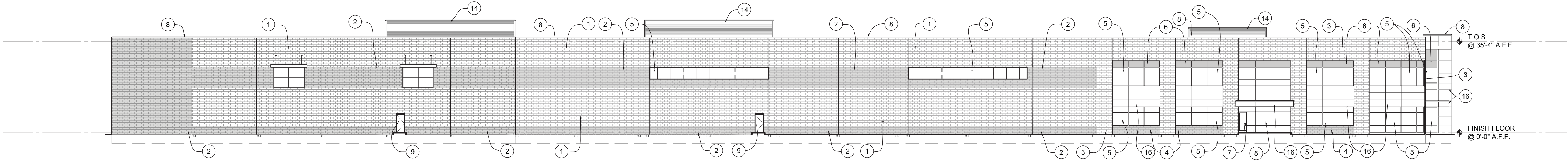
SHEET NUMBER:  
PFP-4



**F.A.studio**  
design to inspire  
25261 Evergreen Road, Suite #123  
Southfield, MI 48076 | 248.619.2354







4

\*ANY MODIFICATIONS TO THE FACADE PLAN (INCLUDING COLOR) MUST BE RESUBMITTED TO THE CITY OF AUBURN HILLS FOR REVISED APPROVAL. THE USE OF NEON, FLAGS, OR ANY OTHER TYPE OF UNAPPROVED SIGNAGE SHALL BE PROHIBITED PER SITE PLAN REVIEW" FROM CITY OF AUBURN HILLS SITE PLAN CHECKLIST

**AUBURN HILLS ZONING ORDINANCE**  
SECTION 1811. SIGNS: SECTION 3D, ITEM e-2

**SIGNAGE CALCULATIONS**

ALLOWABLE SIGNAGE AREA:  
TOTAL SIGNAGE TO NOT EXCEED EIGHT (8) S.F. FOR EACH TEN (10) FEET OR FRACTION THEREOF OF LOT FRONTAGE, OR 80 S.F. PER NET ACRE FOR SITE LARGER THAN ONE (1) ACRE.

BASED ON FRONTAGE:  
535.16 L.F. EXECUTIVE HILLS BLVD FRONTAGE  
411.02 L.F. M-59 FREEWAY FRONTAGE  
+ 694.92 L.F. EXECUTIVE HILLS CT.  
**1,641.10 L.F. TOTAL FRONTAGE**

1641.1 L.F. x 8 S.F. = 1312.88 S.F. ALLOWABLE  
10

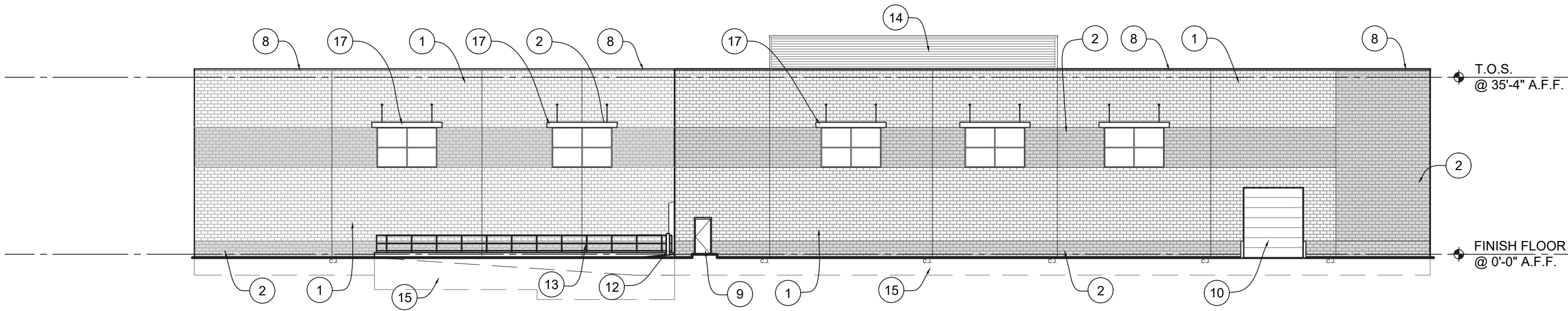
1312.88 S.F. TOTAL ALLOWABLE SIGNAGE AREA

PROPOSED SIGNAGE AREA:  
NO ONE SIGN CAN EXCEED 150 S.F. IN SIZE

144 S.F. EACH SIGN  
144 S.F. < 150 S.F.

(3) TOTAL SIGNS PROPOSED = 144S.F. x 3 = 432 S.F.

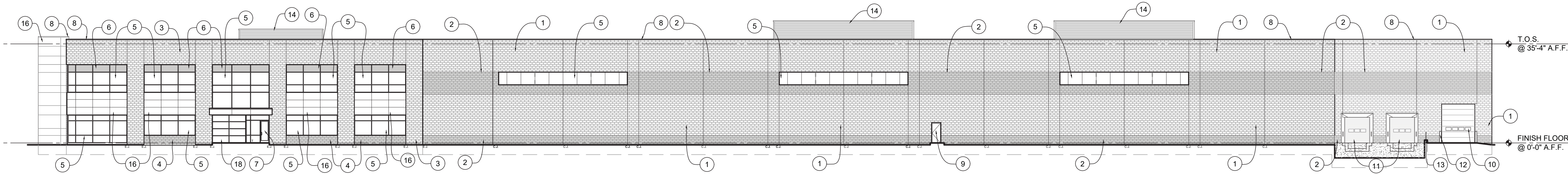
432 S.F. PROPOSED < 1312.88 S.F. ALLOWABLE



**PROPOSED NORTH ELEVATION**

SCALE: 1:20

3



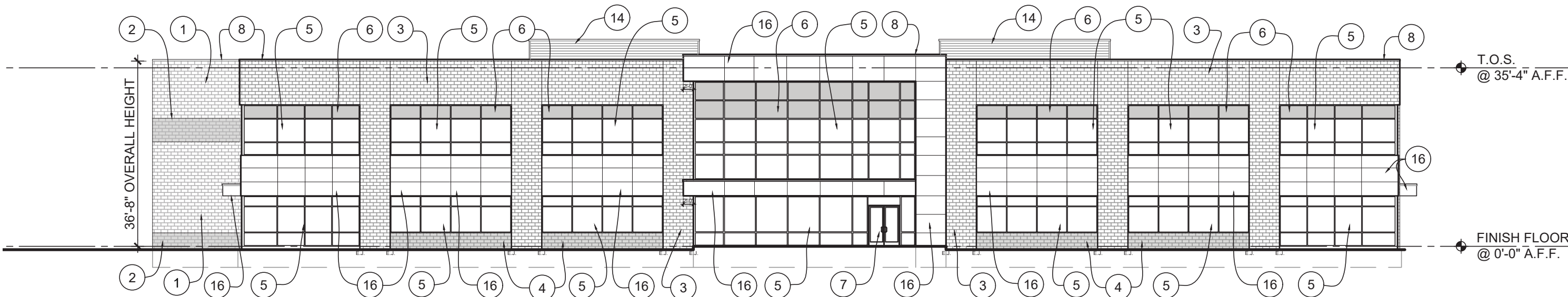
**PROPOSED EAST ELEVATION**

SCALE: 1:20

2

**EXTERIOR MATERIAL SCHEDULE**

1	8" SPLIT CMU, COLOR: FIELD	10	12"x14" SECTIONAL INSULATED OVERHEAD GRADE DOOR w/ MOTOR OPERATED OPENER & INSULATED
2	12" SPLIT-FACE CMU, COLOR : ACCENT	11	9"x10' SECTIONAL INSULATED OVERHEAD TRUCK DOCK DOOR w/ DOCK LEVELER, & SHELTER/SEAL
3	8" SPLIT-FACE CMU ACCENT COLOR	12	6" DIA. CONC. FILLED STEEL GUARD POSTS
4	ALUMINUM COMPOSITE METAL PANEL SYSTEM (ACM)	13	1½" dia. PAINTED STEEL PIPE GUARDRAIL
5	1" LOW 'E' INSUL. GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES	14	FLUSH METAL PANEL SIDING (ROOF SCREENING)
6	1" TINTED INSULATED SPANDREL GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES	15	CONC. TRENCH FOOTING BELOW
7	CLEAR ANOD. ALUM. ENTRY DOOR W/ TEMPERED GLASS	16	DASHED LINE DENOTES EXTENT OF PROPOSED BUILDING SIGNAGE. SEE NOTES FOR MORE INFORMATION.
8	PREFINISHED METAL COPING	17	DECORATIVE CANOPY
9	H.M. DOOR AND FRAME PAINTED TO MATCH ADJACENT WALL COLOR	18	12"x10' GLASS O.H. DOOR



**PROPOSED SOUTH ELEVATION**

SCALE: 1:20

1



PROJECT NAME:

**PENSKE VEHICLE SERVICE**  
EXECUTIVE HILLS BLVD, LOT 10  
AUBURN HILLS, MICHIGAN

DATE: 4-30-24  
ISSUED FOR: PRELIMINARY SITE PLAN

DRAWING DATE:  
4-30-24

PROJECT NUMBER:  
**24034**

SHEET NUMBER:  
**PE-1**





# CITY OF AUBURN HILLS

## PLANNING COMMISSION AGENDA

MEETING DATE: MAY 8, 2024

AGENDA ITEM NO 5b.

COMMUNITY DEVELOPMENT

**To:** Chairperson Greg Ouellette and the Planning Commission  
**From:** Steven J. Cohen, AICP, Director of Community Development  
**Submitted:** May 2, 2024  
**Subject:** Joslyn Road Fueling Station (Mobil)  
Public Hearing / Motion – Recommendation to City Council for combined PUD Step One – Qualification / Step Two – Site Plan and Tree Removal Permit approval

### INTRODUCTION

This is a request from Bill Saad Properties, LLC, for Planned Unit Development Option (PUD) approval to construct a Mobil-branded passenger and commercial vehicle fueling station and convenience store on a 5.07-acre parcel, zoned B-2, General Business District. The site is generally located west of Joslyn Road, south of Great Lakes Crossing Drive.

The proposed development will consist of a passenger vehicle fueling area with 16 fueling positions in the front adjacent to Joslyn Road, a commercial vehicle area with three (3) fueling positions designed to accommodate semi-trucks in the rear adjacent to the landfill, and a 4,608-square-foot convenience store.

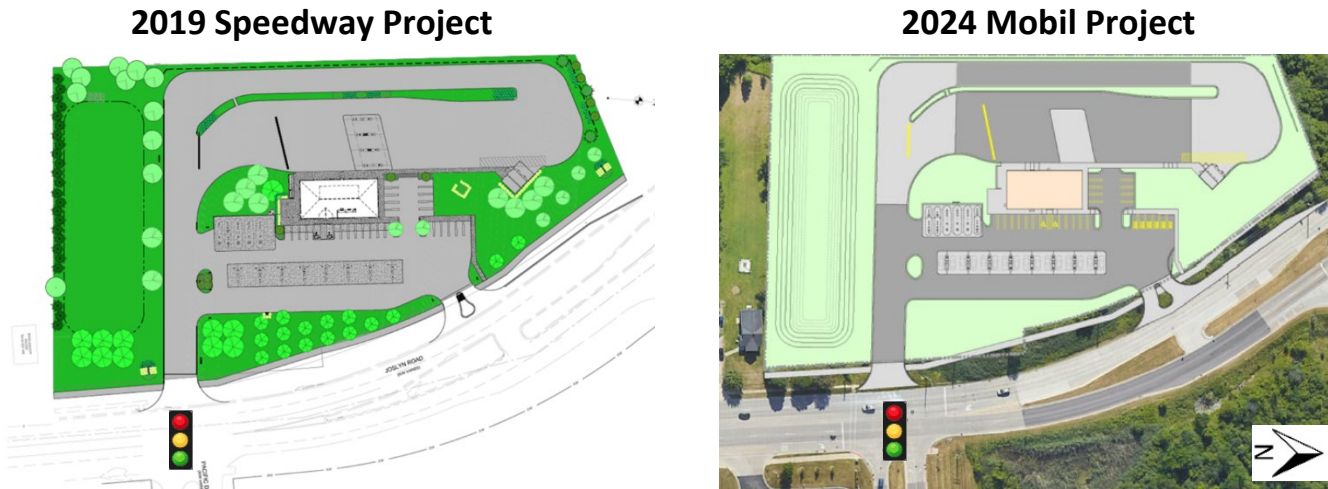


*Aerial photo of site location*

Construction on this project is expected to begin in Fall 2024 and be completed by Summer 2025. The overall investment is estimated at \$4 million.

### INTRODUCTION (cont.)

This Mobil project proposed by Bill Saad Properties, LLC mirrors the site design of the Speedway fueling station project, which the City Council previously approved for the property on January 14, 2019, but has since expired.



*Side by side comparison of the PUD proposals for the property*

The development of the property has been delayed for the past five years because Speedway elected not to proceed with construction after learning the costs associated with the environmental cleanup of the land. This property abuts a sanitary landfill to the west, historically called the Joslyn Road Landfill (3951 Joslyn Road). The landfill, which closed in 1983, is unlined and was utilized between 1966 and 1979 for the acceptance of industrial waste and general refuse from Pontiac Motors, Fisher Body, and the Cities of Detroit and Pontiac. The landfill has had negative environmental impacts on this property, as it was found to be contaminated by methane from the landfill and other chemicals. Bill Saad Properties, LLC obtained the property in early 2023. Mr. Saad came forward to the City with this proposal to construct a similar designed project to the one previously approved for Speedway under the Mobil brand.

On May 16, 2023, the Auburn Hills Brownfield Redevelopment Authority approved a Brownfield Plan to facilitate the Mobil project. Under the Brownfield Plan agreement, Bill Saad Properties, LLC will incur the costs for the cleanup and be reimbursed by the City/Authority when eligible tax revenues are available. The reimbursable costs are \$572,337, and the planned payback is 30 years long.

### PUD OPTION USED TO IMPLEMENT THE PROPOSED PROJECT

Like the previous Speedway proposal, staff recommends the PUD Option as the best mechanism for implementing the proposed Mobil project. **Two deviations from the Zoning Ordinance are required for this project:**

1. Allow a commercial vehicle fueling (semi-trucks) at a B-2 zoned fueling station.
2. Allow the outside sales of merchandise within a screened enclosure south of the retail store.

To meet the PUD qualification requirements, Bill Saad Properties, LLC has agreed to meet the conditions of the previous Speedway approval, including the commitment to donate \$100,000 to the Auburn Hills Community Foundation to be used by the City for public purposes.



**PUD OPTION USED TO IMPLEMENT THE PROPOSED PROJECT (cont.)**

This project benefits the City by facilitating the construction of a tax-producing business within this transitional commercial strip of land between the Joslyn Road Landfill and Joslyn Road. It is noted that the development will help implement the vision of the City's Non-Motorized Pathway Plan by providing an eight-foot-wide pathway along Joslyn Road. The semi-truck/commercial vehicle fueling component will also benefit several of the businesses within the City by providing a close and convenient location to fuel their fleet vehicles and delivery trucks. Lastly, the proposed project will include installing three (3) dual dispenser electric vehicle charging stations for six (6) fueling spaces.

Below are renderings of the proposed Mobil fueling station from a motorist's perspective as viewed from Joslyn Road.



*Rendering of the proposed project looking south from Joslyn Road*



*Rendering of the proposed project looking north from Joslyn Road*

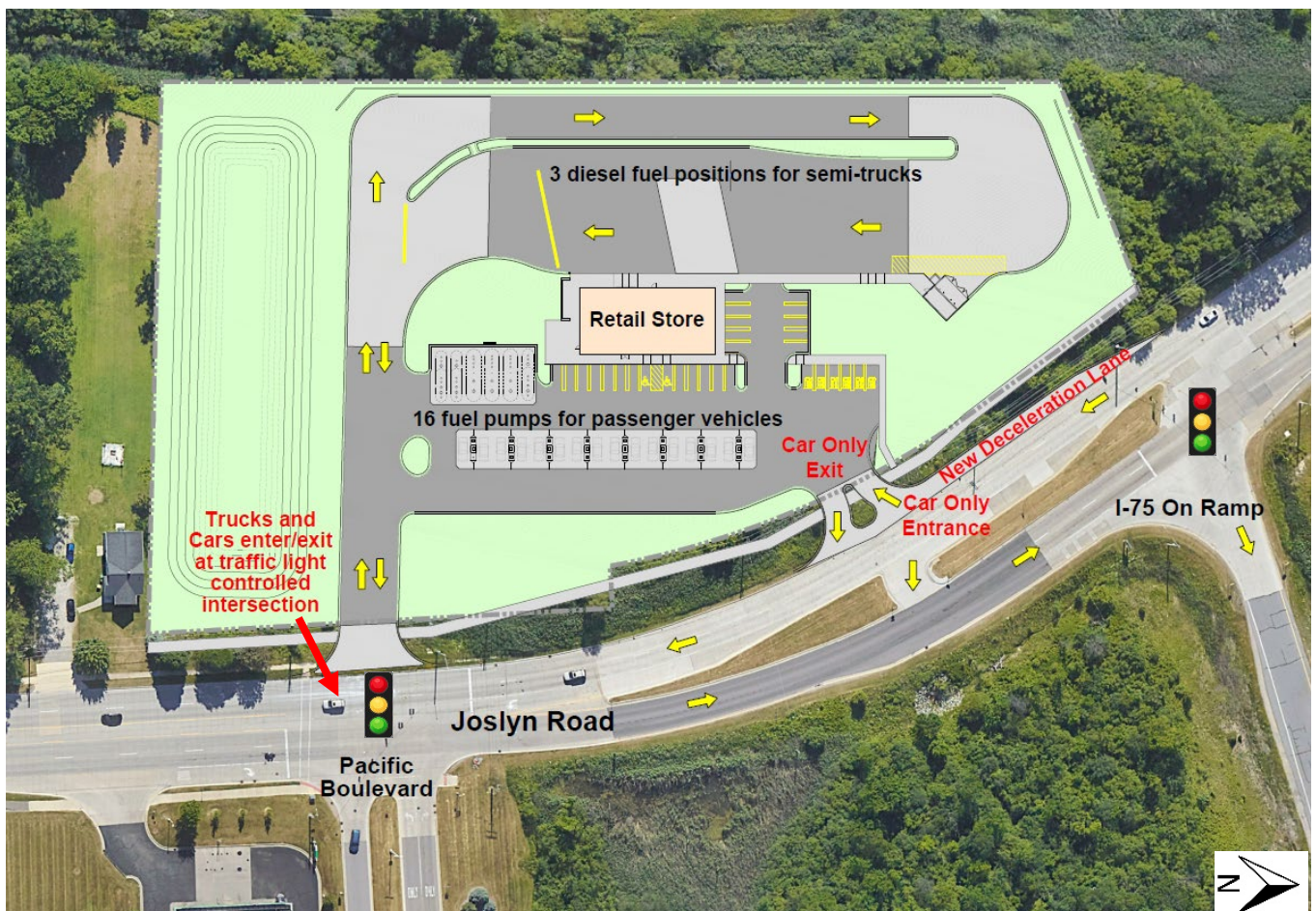


## KEY ISSUES

### 1. Traffic Safety Review – Joslyn Road

**The driveways for this project will outlet to Joslyn Road. Joslyn Road is under the jurisdiction of the Road Commission for Oakland County (RCOC).** A traffic study was conducted as part of the development process in 2018/2019 and submitted to the RCOC, Police Department, and OHM Advisors for review. At the request of RCOC, a directional island was added to the northernmost drive to help ensure vehicles exiting the site at this drive turn right only. The same conditions will apply to this updated project. Bill Saad Properties, LLC will be required to work with the RCOC to ensure all access points meet their design requirements, including potential upgrades to the traffic signal at the intersection of Joslyn Road and Pacific Boulevard.

It is noted that during the November 2018 review of the Speedway project by the Planning Commission, concerns were raised about the location of the proposed gas station and the safety of vehicles entering and leaving the site. At that time, the Police Department and OHM Advisors took an additional look at these concerns. They physically surveyed the area on-site and found the project's design was acceptable from a traffic safety standpoint. The City Council accepted their findings and approved the project in January 2019. **With this updated Mobil project, the Police Department and the traffic engineers at OHM Advisors continue to find that the proposed site design is acceptable from a traffic safety standpoint.**



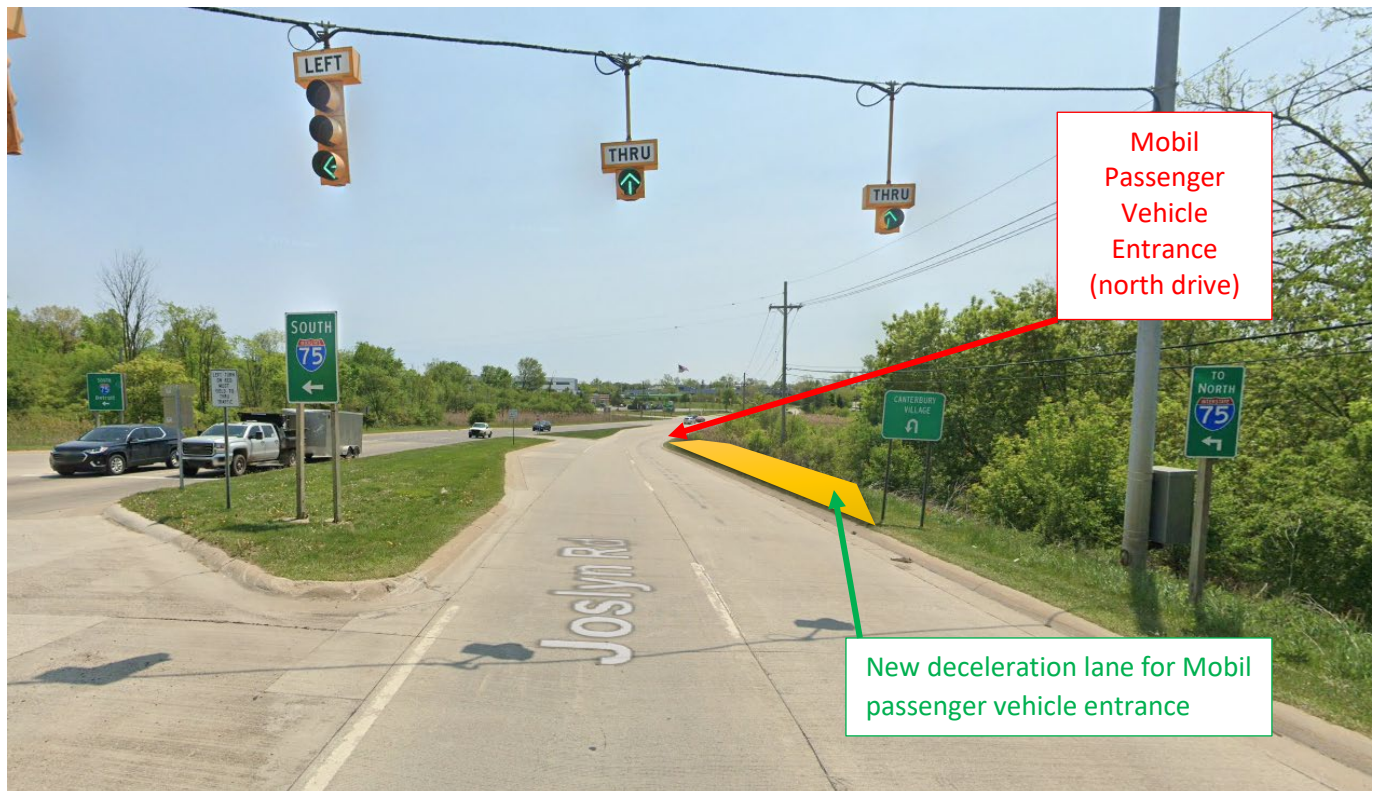
*Diagram showing vehicle movements at the proposed fueling station*



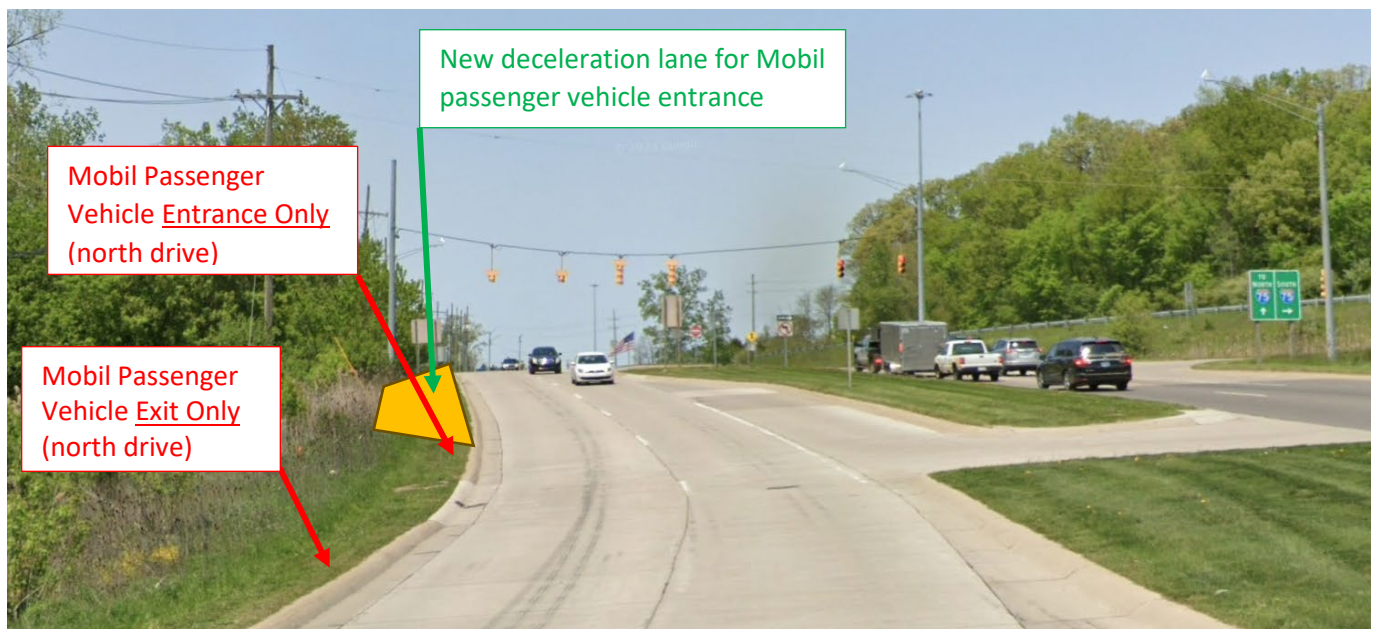
## KEY ISSUES (cont.)

### 1. Traffic Safety Review – Joslyn Road (cont.)

The RCOC, Police Department, and OHM Advisors have determined that adequate site distance will be provided along Joslyn Road after tree clearing and the addition of a new deceleration lane. These improvements will allow motorists to safely enter and exit the fuel station at the restricted Mobil North Drive (the design only allows a right turn at the site's north drive exit to minimize conflicts) and the traffic-controlled intersection at Pacific Boulevard and Mobil South Drive.



*Google street view of the southbound approach into the Mobil passenger vehicle North Drive*



*Google street view looking north at southbound traffic approaching the Mobil passenger vehicle North Drive*

### **KEY ISSUES (cont.)**

#### **2. Commercial Vehicle Fueling Station (accommodates semi-trucks)**

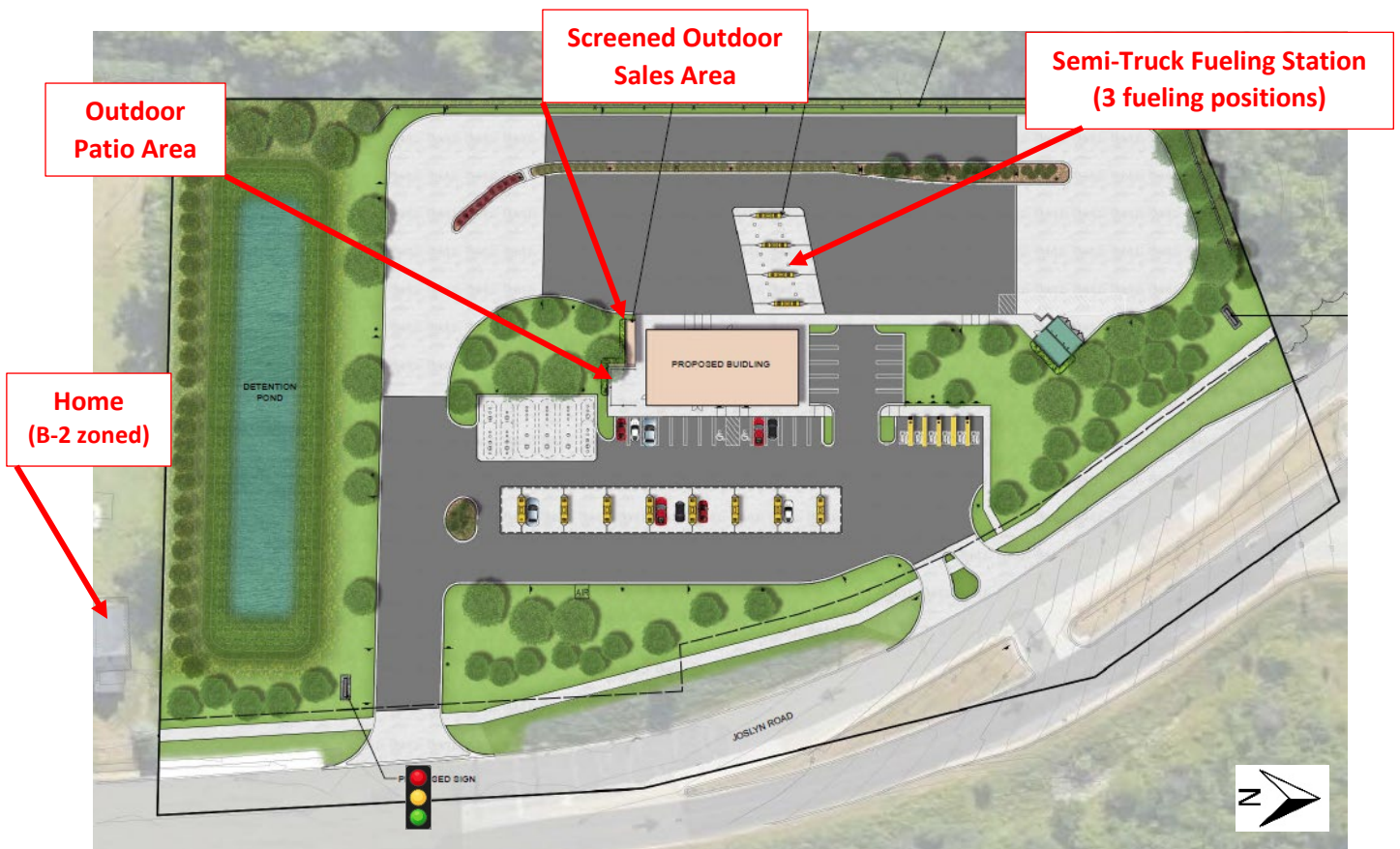
As discussed previously, the Zoning Ordinance prohibits combining passenger vehicle fueling and truck fueling operations on the same site in the B-2 District, and PUD approval is sought to allow the proposal. The site has been designed to separate the passenger vehicle fueling area from the commercial vehicle fueling area. The site is also designed to limit truck traffic to the southernmost drive. Staff find the proposed joint passenger and commercial fueling operation to be acceptable since the two fueling areas are separated by the proposed convenience store, which will help reduce conflicts between passenger vehicles and trucks. Overnight parking will be prohibited at the site.

#### **3. Outdoor Sales Area and Patio**

The plans identify an outdoor sales area located on the south side of the building. Items stored in the area will be screened from the south, east, and west by an enclosure and north by the convenience store. The walls of the enclosure are designed to match the building facade. Items stored within the enclosure are limited to ice chests and propane tanks. A small patio area is adjacent to the sales area.

#### **4. Buffer for Adjacent Home**

To help ensure the current residential home to the south, which is also zoned B-2 District, is not negatively impacted by the proposed development, the detention pond and a row of evergreen trees are proposed along the south property. The vehicle/truck access drive is located 135 feet from the south property line, which, in addition to the screening, should help reduce impacts on the home.



*Illustrated site plan*



### **STAFF RECOMMENDATION**

**Please be advised that the City's Administrative Site Plan Review Team has reviewed this project and recommended approval.**

We recommend Approval of the PUD Step One – Concept Plan and offer the following discretionary findings of fact:

1. The project is eligible for the PUD option because it provides a recognizable net public benefit to the health, safety, and welfare of the residents of the City of Auburn Hills and accomplishes the following:
  - a. Permits flexibility in the regulation of land development.
  - b. Encourages innovation in land use and variety in design, layout, and type of structures constructed.
  - c. Achieves economy and efficiency in the use of land, natural resources, energy, and the provision of public services and utilities.
  - d. Encourages useful open space.
  - e. Provides employment and shopping opportunities suited to the needs of the residents of the City of Auburn Hills.
2. The concept plan contains sufficient basic information required for a recommendation.
3. The PUD Concept Plan promotes the land use goals and objectives of the City of Auburn Hills.
4. There are adequate means of disposing of sanitary sewage and of supplying the development with water.
5. The road system and stormwater drainage system are adequate.

We recommend Conditional Approval of the PUD Step Two - Site Plan and Tree Removal Permit and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
  - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
  - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to Joslyn Road.
  - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
  - d) A satisfactory and harmonious relationship will exist between the proposed development and surrounding area.
  - e) The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel, or the adjacent area.
3. Based on the convenience store's square footage, 30 parking spaces are required, and 30 parking spaces are depicted. In addition, one space is provided for each fuel pump per the Zoning Ordinance.
4. The parking layout meets minimum requirements, and barrier-free parking spaces are provided (two are required, and two are provided). One space is van accessible.
5. Building, canopy, and parking setback requirements will be met.
6. Greenbelts will be provided.
7. Landscape requirements will be met, and calculations have been submitted.
8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. Light poles shall not be taller than the proposed height of 22 feet from grade.



**STAFF RECOMMENDATION (cont.)**

9. A note indicates the canopy light fixtures will be recessed with the bottom of the canopy. A note indicates the fascia of the canopy will not be illuminated per the Zoning Ordinance.
10. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
11. A note indicates that parking spaces shall be double-striped.
12. Ground-mounted and roof-mounted mechanical equipment will be screened.
13. A note indicates that no outside storage, including pallet storage, overnight vehicles, or trailer storage, will be allowed except as outlined in Item 14.
14. A note indicates that all material, merchandise, and equipment shall be stored within the building, except merchandise stored outside within the designated merchandise enclosure area. Bill Saad Properties, LLC shall be responsible for ensuring that the items stored within the outside sales area shall not extend above or beyond the walls of the merchandise enclosure and in a manner to properly screen the contents from view from the road. Items stored within the enclosure are limited to ice chests and propane tanks unless otherwise approved by the Community Development Department and documented in the project file.
15. A note indicates that the sale or rental of new cars or used cars, trucks, trailers, and any other vehicles on the premises shall be prohibited.
16. Guard rails and pedestrian fall protection adjacent to the retaining walls shall be installed as determined necessary by the Building Official and OHM Advisors and shall meet City standards and aesthetic expectations.
17. A note indicates an underground grease containment/trap and internal oil/grease management system (closed loop) will be utilized for the convenience store kitchen. Above-ground grease containment systems shall be prohibited on the site.
18. An eight-foot-wide pathway will be installed along Joslyn Road. Complete Streets considerations were made as part of the site design, and the development will provide a sidewalk connection between the pathway and the convenience store.
19. A Tree Removal Permit is required - 14 replacement trees are required, and 95 replacement trees are proposed.
20. Six (6) electric vehicle charging station spaces (served by three dual units) will be installed during construction. Bill Saad Properties, LLC shall obtain appropriate permits from the City and comply with City electric vehicle station signage and pavement marking standards.

**Conditions**

1. Bill Saad Properties, LLC agrees to enter into a Development Agreement with the City as the project's Developer, which will outline the conditions of PUD approval. Within seven days from the date that all parties have executed and signed the Development Agreement, Bill Saad Properties, LLC shall pay the Auburn Hills Community Foundation a one-time lump sum payment of \$100,000 to be used for public purposes at the sole discretion and decision of the Auburn Hills Community Foundation Board of Directors.
2. Bill Saad Properties, LLC understands that the City does not permit the facility to operate as a truck stop or rest area, nor shall it be permitted to accommodate the prolonged standing/idling/parking of commercial or passenger vehicles. Bill Saad Properties, LLC shall ensure that overnight vehicle parking, including semi-truck and trailer storage, does not occur at the site. In addition, signs approved by the Community Development Department shall be posted and maintained on the site by Bill Saad Properties, LLC, outlining this condition of approval.

**STAFF RECOMMENDATION (cont.)**

3. Bill Saad Properties, LLC shall comply with the requirements of Section 2007. Performance Guarantees of the Zoning Ordinance.
4. Bill Saad Properties, LLC shall apply to the Assessing Department for a land combination to create the site.
5. Site plan approval shall be based on Bill Saad Properties, LLC's representations, as documented in this report, submittal materials, and the public meeting minutes.
6. Bill Saad Properties, LLC agrees to complete the construction and development of the Joslyn Road Fuel Station by November 1, 2025.

**RECOMMENDED ACTION**

***“Move to recommend to City Council approval of the combined PUD Step One – Concept Plan and PUD Step Two – Site Plan and Tree Removal Permit for the Joslyn Road Fuel Station subject to the conditions of the City’s Administrative Review Team.”***



# Development Application

**Project Name:** Joslyn Road Fuel Station

**General Project Location:** NW corner of Joslyn  
Road and Pacific Drive

**Parcel Size:** 5.07 Acres **Zoning:** B-2  
14-04-451-023, -024, -025

**Sidwell Number(s):** & -026

**Project Description:** Construction of C-Store  
with 8 auto + 3 commercial fuel lanes

**Building Size (sq. ft.):** 4608

## City Use Only

**Address:**

4 parcels

**Date Received:** 2/9/24

**Fees Paid:** 6818.50

**SP #:** \_\_\_\_\_

**SLU #(s):** \_\_\_\_\_

**LD/LE/SUB #:** \_\_\_\_\_

**RZ #:** \_\_\_\_\_

**PUD #:** 240001

**ZBA #:** \_\_\_\_\_

PTR240001

## Check requested review(s)

- ☐ Site Plan
- ☒ Tree Removal Permit
- ☐ Special Land Use Permit(s) \_\_\_\_\_

- ☐ Land Division
- ☐ Land Exchange

- ☐ Subdivision
- ☒ Planned Unit Development - Step 1/Step 2/Combined
- ☐ Rezoning \_\_\_\_\_ to \_\_\_\_\_
- ☐ ZBA Variance or Interpretation  
(see supplemental application)
- ☐ Other \_\_\_\_\_

Applicant

**Name:** Bill Saad **Signature:** [Signature]

**Business Name and Address:** Bill Saad Properties, LLC 1 West Jefferson

**City:** Trenton **State:** MI **Zip Code:** 48183 **Phone Number:** 734-692-2700

**Fax Number:** \_\_\_\_\_ **Alt. Phone Number(s):** 313-350-0777

Property  
Owner(s)

**Name:** Same As Applicant **Signature:** \_\_\_\_\_

**Business Name and Address:** \_\_\_\_\_

**City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip Code:** \_\_\_\_\_ **Phone Number:** \_\_\_\_\_

(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department,  
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939  
[www.auburnhills.org](http://www.auburnhills.org)





April 26, 2024

Planning Commission  
City of Auburn Hills  
1827 North Squirrel Road  
Auburn Hills, MI 48326

Dear Planning Commission:

The new build project at the intersection of Joslynn Rd. & Pacific Dr. consists of constructing a Speedway gas station with a 4608-sf convenience store with eight auto dispensers and three commercial fueling lanes (CFL). The commercial fueling lanes are intended to service local trucks. The scope of work doesn't include the installation of trucker facilities (showers) within the building and the scope of work will not include truck parking spaces. There is a location for a truck to pull forward after fueling to briefly run into Speedway to get a coffee and/or use the restroom. It is not intended for any long-term parking of commercial vehicles.

The public benefit of this project will be the increase of revenue in the city and the addition of approximately 34 new jobs to the area. We are also beautifying underdeveloped property that currently has challenges with the existing grading and with existing soil conditions.

Sincerely,

Bill Saad  
President/CEO  
Michigan Fuels, Inc.

BS:ldh



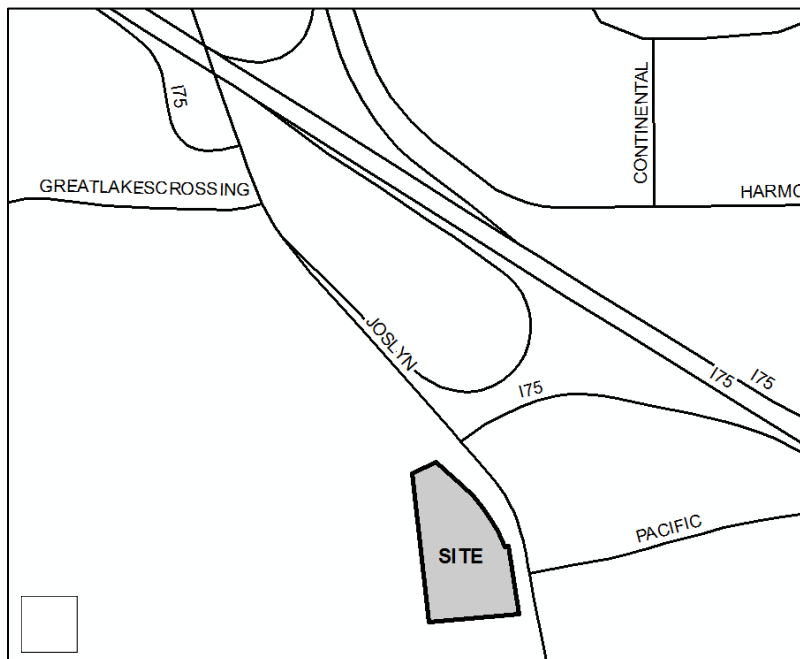
# Planning Commission Public Notice

Meeting Date, Time, and Location:	<b>Wednesday, May 8, 2024 at 7:00 p.m.</b> City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Joslyn Road Fuel Station
General Property Location:	Generally located west of Joslyn Road, between Great Lakes Crossing Drive and Pacific Boulevard. Sidwell Nos. 14-04-451-023, 14-04-451-024, 14-04-451-025 and 14-04-451-026.
Applicant:	Bill Saad, Bill Saad Properties, LLC - 734-692-2700
Nature of the Request:	Recommendation to City Council for combined PUD Step One – Qualification / Step Two – Site Plan and Tree Removal Permit approval to construct a passenger vehicle and truck fueling station and convenience store.
City Staff Contact:	Steven J. Cohen, AICP Director of Community Development - 248-364-6900

Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application can be inspected before the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.

People wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Steven J. Cohen, Director of Community Development, at the above address.

Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours prior to the meeting. Staff will be pleased to make the necessary arrangements.



**LOCATION MAP**

May 1, 2024

Mr. Steven Cohen, AICP  
Director of Community Development  
CITY OF AUBURN HILLS  
1827 North Squirrel Road  
Auburn Hills, Michigan 48326

RE: Joslyn Road Fuel Station (3681 Joslyn Road)  
Site Plan 1<sup>st</sup> Review

Dear Mr. Cohen:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on April 30, 2024 was prepared by PEA Group. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.
- N.P.D.E.S. permit from E.G.L.E.
- Water main extension permit from E.G.L.E.
- Right-of-way construction and signing permit from R.C.O.C.
- Permit or waiver from O.C.W.R.C. for discharge into a county controlled drain

GENERAL:

The site is located west of the Joslyn Road and Pacific Drive intersection at 3681 Joslyn Road in Section 4 of the City of Auburn Hills. The applicant is proposing to construct a gas station with eight (8) standard fuel pumps, four (4) truck fueling stations and an approximately 4,600 square-foot convenience store. The proposed facility will span four parcels, currently zoned P.U.D Overlay (P). The adjacent parcel to the west is zoned Landfill Recreational (LF-11), the adjacent parcel to the north is zoned One Family Residential (R-1), and the adjacent parcel to the south is zoned General Business (B-2). A complete legal description of the parcel is shown on the plans. The City of Auburn Hills Standard Notes and Fire Department Notes are included on the plans. A landscape plan was included in the plan set and appears to be acceptable. The City of Auburn Hills Standard Details were not included in the plan set and will need to be included in the engineering review submittal. Furthermore, a soil erosion and sedimentation control plan is needed for engineering review.

MUNICIPAL UTILITIES:

There is an existing 12-inch water main located along the west side of Joslyn Road, on the east side of the site. The applicant is proposing to tap the existing 12-inch and extend 8-inch public main on to the site in two locations. Two (2) fire hydrant assemblies are proposed to provide adequate coverage for the site. It appears the building service leads are proposed to extend from the north side of the building and connect to the proposed 8-inch on-site public water main on the north side of the site. The size and material type of the proposed water main shall be labeled for engineering review. A 12-foot-wide easement shall be shown centered on all public water main not located within the right-of-way (including hydrant leads).





A 10-inch sanitary sewer extends along the west side of Joslyn Road, on the east side of the site. The applicant is proposing a 6-inch sanitary lead to serve the building, connecting on the north side. The sanitary lead is proposed to tap the existing sanitary structure to the north of the northern drive approach. The material type and slope of the proposed sanitary sewer lead shall be labeled for engineering review.

#### STORM SEWER AND DETENTION:

The storm sewer system is comprised of a series of catch basins and manholes located around the parking area and drive aisles that surround the building. Storm water runoff will be collected through this system and routed to a water quality unit before discharging into the detention pond on the south side of the site. The detention pond will then ultimately outlet into the Sinking Bridge Drain. Preliminary detention calculations were provided on the plan and appear to meet City requirements. Additional details of the stormwater management system will be needed for the engineering review including the site C-factor, storm sewer sizing calculations, profiles, hydraulic grade lines, orifice/restricted outlet sizing, etc. A water quality unit has been provided on the plans prior to the storm water entering the underground detention system. The water quality unit shall conform to City standards and additional details and calculations for the water quality unit will be needed for the engineering review.

#### PAVING:

The plans indicate concrete curb and gutter throughout the site and pavement cross-sections were included on the plans meeting City standards. Pavement sections include standard duty asphalt (4 inches of asphalt on 8 inches of aggregate), heavy duty asphalt (4.5 inches of asphalt on 10 inches of aggregate), standard duty concrete (6 inches of concrete on 6 inches of aggregate), heavy duty concrete (8 inches of concrete on 6 inches of aggregate), concrete sidewalk (4 inches of concrete on 4 inches of sand), and asphalt pathway (3 inches of asphalt on 4 inches of aggregate). A pavement cross-section for the Road Commission for Oakland County (RCOC) right-of-way approaches shall be included at engineering review.

The applicant is proposing 30 parking spaces including 2 handicap parking spaces and 6 future electric vehicle parking spaces. A loading area and dumpster enclosure are proposed in the northwest corner of the site. A 7-foot-wide concrete sidewalk has been provided around the proposed building and connects to the 8-foot-wide asphalt pathway proposed along Joslyn Road on the east side of the site. An easement will be required for the portion of pathway that is located outside the Joslyn Road right-of-way.

#### GRADING:

Existing and proposed grades are shown with contours and spot elevations. The site generally slopes from Joslyn Road on the east side of the site towards the County drain located on the west edge of the site. The proposed improvements do not substantially alter the drainage pattern. Any slopes exceeding the City maximum of 1:4 shall be revised to remain at or below 1:4 at engineering review. Perimeter site slopes appear to match into existing contours prior to all abutting property lines. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalk and pathway slopes shall comply with ADA standards.

There are two segmented retaining walls proposed as part of this project on the north and west side of the site. Design details and computations (sealed by a licensed engineer) will need to be submitted and approved during the engineering review for all walls greater than one (1) foot in height. Any retaining walls over 2.5 feet in height are required to be fenced. A generic segmented retaining wall detail with a fence has been included on the plan.

#### TRAFFIC:

Currently, there are no existing drive approaches located on site. The applicant is proposing two new approaches onto Joslyn Road. The south approach will be directly in line with the intersection of Joslyn Road and Pacific Drive. There is a traffic signal at the intersection and the applicant will need a permit from the RCOC in order to add their proposed driveway as a fourth leg to the intersection. A second approach is proposed approximately 300 feet further



north. This approach is proposed with a 4-inch mountable median (required by the County) to direct drivers exiting the site into a right turn only and dissuade them from directly entering a cross over near the approach. Consideration should be given to widening the approach so that incoming trucks (fuel trucks, fire trucks, etc.) will not need to traverse the median to enter the site.

It is our understanding that a traffic concern was raised during a previous development proposed for this site related to southbound traffic on Joslyn Road being able to see vehicles entering/exiting the site. The proposed site is located on a curve in Joslyn Road and existing vegetation within the right-of-way and on the site currently reduce sight distance approaching the existing signal at Pacific Drive. Based on our field review, the existing sight distance is approximately 350 feet. The minimum required sight distance based on the design speed of the roadway is 446 feet. As part of the development, the existing vegetation will be removed and sight distance along the curve will be improved. It appears that the sight distance to the signal after the development is complete will be approximately 640 feet.

The proposed north driveway to the development has been designed with a deceleration lane for southbound traffic entering the site at this location. This driveway also only allows right turn on exit of the site to minimize conflicts. The south driveway to the development will be located at the existing signal at Pacific Drive. With the vegetation clearing, there will be adequate sight distance for all approaches to this intersection.

It should be noted that Joslyn Road is under the jurisdiction of the RCOC. The applicant will need to obtain a permit approval from the RCOC and ensure all access points meet the County requirements, including potential upgrades to the signal at Joslyn and Pacific. A traffic study was prepared for the previous gas station development proposed for this site in 2018, which was reviewed by the City and the RCOC. An updated study has not been completed.

#### RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements and has been stamped "Approved" by our office. We ask that the site plan approval acknowledge the following:

1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
2. The developer must post a performance guarantee, in accordance with the City's requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities, pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.

If you have any questions or are in need of any further information, please feel free to contact our office.

Sincerely,  
OHM Advisors

Hannah Driesenga, P.E.

Transmitted via e-mail to Steven Cohen: May 1, 2024  
cc: File



**POLICE DEPARTMENT**  
1899 North Squirrel Road  
Auburn Hills, MI 48326

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## MEMORANDUM

TO: Mr. Steve Cohen  
FROM: Lieutenant Brandon Hollenbeck  
DATE: April 26, 2024  
SUBJECT: **Site Plan Review for Joslyn Fuel Station - Mobil (Joslyn/Pacific)**

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I have reviewed the site plans for the proposed Mobil gas station development, located on the northwest corner of Joslyn Road and Pacific Drive. Due to the location of this proposed development and traffic concerns that were raised, I have also physically surveyed the area at the site.

The development has two driveways (north and south) to provide access from Joslyn Road. The north entrance/exit has a deceleration lane on southbound Joslyn Road, which allows ample notice and turn lane distance/sight distance for vehicles to safely turn into the business. Any cars exiting the property utilizing the north exit will only be allowed to turn right, thus turning into the flow of traffic onto southbound Joslyn Road. The exit structure does not allow for vehicles to cut across the median to the turnaround on Joslyn Road. The south entrance/exit will be utilized for truck traffic as well as cars. This entrance/exit will be placed at the traffic signal at Pacific Drive and has adequate stopping/sight distance. Trucks and cars will be able to utilize this exit to turn left onto northbound Joslyn Road with the reconfiguration of the traffic signal.

We have no objections to the building project as presented in the plans.





# AUBURN HILLS FIRE DEPARTMENT



## Official Memorandum

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**To:** Steve Cohen, Director of Community Development  
**From:** Fred Solomon, Fire Inspector  
**Date:** April 29, 2024  
**Re:** Site Plan Review

PROJECT: Joslyn Fuel Station

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No Comments

Fred Solomon  
Fire Inspector  
Auburn Hills Fire Department

May 1, 2024

Steve Cohen, Director Community Development  
City of Auburn Hills, Community Development Department  
1827 North Squirrel Road  
Auburn Hills, MI 48326

Subject: Woodlands Ordinance Review for Joslyn Road Fuel Station, Auburn Hills, MI

Dear Mr. Cohen,

The submittals regarding the above-mentioned project were reviewed and site visit made to correlate information. See the tree detail chart below indicating the trees on-site being removed and required replaments.

**TREE DATA TABLE**

DESCRIPTION	TOTAL TREES	Required/REPLACEMENT TREES
Total Trees Surveyed	36	NA
Removed Regulated Trees	4	4
Non-regulated Trees Surveyed/Removed	29	0
Removed Landmark Trees	2 = 97" DBH	10
<b>TOTAL Required Replacement Trees</b>		<b>14 Trees</b>

Applicant is removing 4 regulated tree species, and 2 Landmark trees (97"). Total replacement trees required to satisfy the Woodlands Ordinance is 14. The landscape plans provide 41 full-canopied deciduous trees, 30 evergreens, and 24 ornamental trees which satisfies the Woodland Protection Ordinance and required City Zoning Ordinances.

This project is approved based on the tree data above and associated landscape plans.

Best regards,



Julie Stachecki

City of Auburn Hills Woodland Consultant  
ISA Certified Arborist; Tree Risk Assessment Qualified;  
MI Oak Wilt Qualified



Site Specific, Inc.

JULIE STACHECKI, ISA Certified Arborist MI-0650, TRAQ, MI Oak Wilt Qualified  
Howell, MI 48843 ♦ 810.599.0343 ♦ stachec1@me.com

# PEA GROUP



1849 Pond Run  
Auburn Hills, MI 48326

844.813.2949  
peagroup.com



April 12, 2024

RE: Citizen Participation Letter Related to the Development Application for Joslyn Road and Pacific Drive, Auburn Hills, MI (New Mobil Gas Station and Convenience Store)

Dear Neighbor:

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we are notifying you on behalf of our client (Bill Saad Properties, LLC), that a development application has been submitted to the City of Auburn Hills for the proposed development of a Mobil Gas Station located at the NW corner of Joslyn Road and Pacific Drive. It is the intent of this project to construct an eight-dispenser canopy for auto fueling, three lane commercial fueling canopy, and 4,608 square foot convenience store.

This project has been designed to be aesthetically pleasing and will be in keeping with the character of the rest of the developments within the surrounding area.

The City of Auburn Hills' Planning Commission is scheduled to review the development application on Wednesday May 8, 2024. If you have any questions, concerns, or comments, please do not hesitate to contact me directly at 248-689-9090. If you wish to speak to a City Representative, please contact Steve Cohen, Director of Community Development, at 248-364-6900.

Sincerely,

James P. Butler, PE  
Project Executive/Principal

Enclosure: Landscape Plan  
Renderings

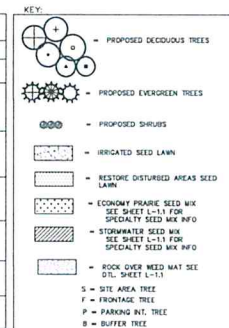


CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
<b>DECIDUOUS TREES</b>						
AG21	1	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
BN23	3	BETULA/PAPAVER NEMO BIRCH	25' CAL.	860	PEL PER PLAN	
CA22	3	CARYOPUS COCA/BLACK PINE/BLACK PINE	25' CAL.	860	PEL PER PLAN	
CAQ23	3	CAROLINA OXALIS/SHAGBARK HICKORY	25' CAL.	860	PEL PER PLAN	
CE23	3	CELESTIA TRACATA/WHITE BIRCH/SHAGBARK HICKORY	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE32	1	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE33	1	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE34	1	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE35	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE36	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE37	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE38	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE39	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE40	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE41	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE42	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE43	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE44	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE45	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE46	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE47	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE48	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE49	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE50	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE51	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE52	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE53	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE54	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE55	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE56	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE57	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE58	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE59	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE60	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE61	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE62	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE63	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE64	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE65	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE66	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE67	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE68	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE69	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE70	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	
CE71	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	SINGLE TREE
CE72	4	CELESTIA KURUMI ARISTODENDRUM ARISTODENDRUM BIFLORUM	25' CAL.	860	PEL PER PLAN	

PLANT SCHEDULE						
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	
<b>SHRUBS</b>						
JUN	14	JUNIPERUS CHINENSIS 'HETZELCOLUMNARIS' / HETZEL COLUMNAR JUNPER	6 HT.	548	36" D.C.	
TOSS	18	THUJA OCCIDENTALIS 'SMARAGO' / EMERALD GREEN ARBORVITAE	6 HT.	548	30" D.C.	
	32	SUBTOTAL				

LANDSCAPE CALCULATIONS PER CITY OF AUBURN HILLS: ZONED P-RUD OVERLAY		
TOTAL SITE AREA		5.67 ACRES (221,067 SF) NET AND GROSS
REQUIREMENT	REQUIRED	PROVIDED
NET LANDSCAPE AREA	221,067 SQ FT. $K = 0.20 = 44,214$ SQ FT. REQ.	104,900 SQ FT. LANDSCAPE AREA (47.5%)
SITE AREA LANDSCAPE COV'T TOWARDS REPLACEMENT TREES)	$44,214 / 1,000 = 45$ TREES REQ	45. TOTAL TREES PROVIDED
		(14 SITE TREES COV'TED TOWARDS REPLACEMENT TREES)
FRONTAGE LANDSCAPE COV'T TOWARDS REPLACEMENT TREES)	JOSLYN RD: 7815/30 = 27 TREES	27 TREES PROVIDED
PARKING INTERIOR LANDSCAPE	1 TREE PER 20 SPACES IN A ROW NOT IMMEDIATELY ADJACENT TO LANDSCAPE COV'TED BUTTER, 1 PER ISLAND	11 TOTAL TREES PROVIDED
BUFFER AREA LANDSCAPE: ADA TO R-3 (NORTH)	MIN. 15'FT. MUD BUTTER WITH 1 TREE PER 20 FT. $154$ FT. NORTH $154 / 20 = 8$ TREES	8 PROPOSED TREES TO THE NORTH
TOTAL LANDSCAPE TREES	81 TREES REQUIRED PER PREVIOUS SUBMITTED PLANS/ CALCULATIONS	81. NEW TREES
TOTAL REPLACEMENT TREES	14 REPLACEMENT TREES REQUIRED PER PREVIOUSLY SUBMITTED TREE INVENTORY AND REMOVAL CALCULATIONS	14 REPLACEMENT TREES ARE ACCOUNTED FOR BY USING SITE AREA

PREVIOUSLY SUBMITTED TREE INVENTORY AND REARIVAL CALCULATION			
DESCRIPTION	ACTUAL TREES		
TOTAL TREES	36	VERIFIED	REPLACEMENT TREES
REGULATED - REMOVED	4		4
LANDSCAPE REMOVED	2 (P)		10
NOTIN REGULATED REMOVED	29		0
SAVED TREES	3		
TOTAL REQUIRED REPLACEMENT TREES			14



ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM.

IF EVERGREEN TREES ARE IN MULCHED BEDS, PROVIDE SEPARATE ZONE FROM LAWN. AVOID OVERHEAD SPRAY

FOR TREE DIVERSITY REQUIREMENTS PER CITY:	
1 TO 10 TREES:	N/A
11 TO 50 TREES:	25% SPECIES AND 50% GEN
51 TO 100 TREES:	20% SPECIES AND 40% GEN
101+ TREES:	10% SPECIES AND 50% GEN

GENERAL PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS, AND MEET WITH OWNER AND ARCHITECT TO DISCUSS PROJECT. IN CASE OF DISCREPANCY BETWEEN PLANT AND PLANT MATERIAL SPECIFICATIONS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES (ELECTRIC, GAS, WATER, SEWER, CABLE, ETC.) PRIOR TO ANY CONSTRUCTION. CALLING 800-4-A-UTILITY (800-428-8884) PRIOR TO ANY DIGGING IS REQUIRED. CONTRACTOR SHALL COORDINATE ALL UTILITIES WITH THE CITY OF CHICAGO. CONTRACTOR SHALL BE RESPONSIBLE FOR UNDESIRABLE AND CONDITIONS TO OWNERS PRIOR TO ANY CONSTRUCTION.
3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK, STANDARD FOR NURSERY STOCK, ALL QUANTITIES LANDSCAPE MATERIAL, WITH NO OPEN GRAFTS.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO BEGINNING THE WORK.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANT MATERIAL, AND TO REQUEST REPLACEMENT WITHIN 14 DAYS.
6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND NO CRACKS OR WOUNDS.
7. ALL THRU-TRUNK SHADE TREES TO HAVE A CENTRAL LEADER, TRUNKS WITH FORKS OR BRIGLAD TRUNKS WILL NOT BE ACCEPTED.
8. ALL WILT STEM TREES SHALL BE HEAVY BRANCHED AND HAVE NO CRACKS OR WOUNDS. CRACKS OR WOUNDS IN TRUNKS OR OPEN CRACKS WILL NOT BE ACCEPTED.
9. ALL THRU-TRUNK TREES SHALL HAVE HEAVY BRANCHED AND NO CRACKS OR WOUNDS. CRACKS OR WOUNDS IN TRUNKS OR OPEN CRACKS WILL NOT BE ACCEPTED.
10. TREES TO BE PLANTED ON CLAY OR LOAM SOILS, TREES WITH SAND SOILS WILL BE REJECTED.
11. MACHINERY IS TO BE USED WITHIN THE ONE-LEAF OF EXISTING TREES. EXISTING TREES AND ALL LAWN AREAS TO BE PROTECTED FROM DAMAGE TO EXISTING TREES AND LAWN MATERIAL.
12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND SUBJECT TO THE APPROVAL OF THE ARCHITECT PRIOR TO ANY INSTALLATION OF PLANT MATERIAL.
13. LANDSCAPE CONTRACTOR SHALL PROTECT DRAINAGE FROM ANY BUILDINGS.
14. ALL PLANTING BEDS SHALL RECEIVE 2" SHIELDED HARDWOOD SHEDDED PINE AND 6" O.D. MULCH. ALL LAWN AREAS TO RECEIVE SHIELDED PINE AND 6" O.D. MULCH WILL NOT BE ACCEPTED.
15. ALL LANDSCAPED AREAS SHALL RECEIVE 2" COMPOSTED TOPSOIL.
16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, AND NOTES. SPECIFICATIONS AND NOTES TAKE PRECEDENCE OVER DRAWINGS.
17. FOR NON-LAWN AREAS SEE MYA AREAS, AS NOTED ON PLANT BRUSH, SHOW ONE QUANTITY FOR PLANKS SPECIES CONTROL.
18. CONTRACTOR SHALL NOT REMOVE ANY EXISTING TREES OR OVERLAPPING AND SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY EXISTING TREES ARE TO BE REMOVED.
19. TREES SHALL NOT COMPOST, BURN OR PROPOSED REGULATORY TREE SHALL BE REMOVED. TREES, ADJACENT TO LIGHT

**PEA**  
**GROUP**  
t: 844.813.2949  
[www.peagroup.com](http://www.peagroup.com)



**CAUTION**

CLIENT  
**BILL SAAD  
PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.

PROJECT TITLE  
**JOSLYN ROAD  
FUEL STATION**  
3681 JOSLYN ROAD  
B-10-B-10-04, L-1, S-1

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REVISIONS

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REVISION NO. DATE REVISION BY

ORIGINAL ISSUE DATE  
FEBRUARY 12, 2024

DRAWING TITLE  
**PRELIMINARY  
LANDSCAPE  
PLAN**

PEA JOB NO.	22-1561
P.M.	JMB
DN.	CL
DES.	JLE
DRAWING NUMBER	

NOT FOR CONSTRUCTION  
SIDWELL # 14-04-451-023, 14-04-451-024, 14-04-451-025, 14-04-451-026

L-1.0











# PEA GROUP



1849 Pond Run  
Auburn Hills, MI 48326

844.813.2949  
peagroup.com

April 29, 2024

Steve Cohen, AICP  
Community Development Director  
City of Auburn Hills Community Development Department  
1827 Squirrel Road  
Auburn Hills, Michigan 48326

RE: Citizen Participation Letter Related to the Development Application for Joslyn Road and Pacific Drive, Auburn Hills, MI (New Mobil Gas Station and Convenience Store)

Mr. Cohen

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we have mailed the Citizen's Participation letter related to the development application for New Mobil Gas Station to the mailing labels provided by the Community Development Department. The letters were postmarked April 12, 2024. We have not received any responses to these letters provided.

Sincerely,

**PEA Group**

A handwritten signature in blue ink, appearing to read 'JPBtu', written over the printed name of James P. Butler.

James P. Butler, PE  
Principal/Project Executive





CITY OF AUBURN HILLS  
PLANNING COMMISSION  
MINUTES  
EXCERPT

November 14, 2018

**CALL TO ORDER:** Chairperson Ouellette called the meeting to order at 7:00 p.m.

**ROLL CALL:** Present: Beidoun, Hitchcock, Mendieta, Moniz, Ouellette, Pederson and Pierce  
Absent: Ochs, Shearer  
Also Present: City Planner Keenan and Recreation Director Marzolf  
Guests: 15

**LOCATION:** City Council Chamber, 1827 N. Squirrel Roads, Auburn Hills, MI 48326

**5. PETITIONERS**

**5b. Speedway Vehicle Fueling Station and Convenience Store (7:16 p.m.)**

**Public Hearing / Motion – Recommendation to City Council for combined PUD Step One – Qualification / Step Two – Site Plan and Tree Removal Permit approval to construct a passenger vehicle and truck fueling station and convenience store.**

Mr. Keenan introduced the request from Speedway, LLC for approval to construct a passenger and commercial vehicle fueling station and convenience store on a 5.07-acre parcel, zoned B-2, General Business District. The site is generally located on the west side of Joslyn Road between Great Lakes Crossing Drive and Pacific Boulevard. He explained the current condition and challenges associated with developing the former landfill site to the west make the subject site well suited for the proposed vehicle and truck fueling station and convenience store.

Mr. Keenan explained the proposed Planned Unit Development (PUD) will consist of an automobile fueling area with 16 fueling positions and canopy in the front; a commercial vehicle area with three fueling positions and canopy in the back, and a 4,608 square foot convenience store. The development is providing an eight-foot-wide pathway along Joslyn Road in accordance with the City's pathway plan. A donation in the amount of \$100,000 will be made to the Auburn Hills Community Foundation to be used for public purposes.

Mr. Keenan noted two of the four key issues, the first related to combining the automobile and truck fueling stations on the site. The Zoning Ordinance prohibits combining passenger vehicle fueling and tractor-trailer truck fueling operations on the same site. He explained the site design separates the passenger vehicle fueling area from the commercial vehicle fueling area. The site is also designed to limit truck traffic to the southernmost drive. Mr. Keenan noted that staff finds the proposed joint passenger and commercial fueling operation to be acceptable since the two fueling areas are separated by the proposed convenience store, which will help reduce conflicts between passenger vehicles and trucks.

Mr. Keenan explained the second issue relates to the outdoor sales area located on the south side of the building. The sales space has a 6'-4" high wall to screen items from the south, east and west and the building should screen the items from the north by the convenience store. The walls of the enclosure are designed to match the building facade. Items stored within the enclosure include ice chests and propane tanks.

Mr. Keenan stated construction for this project is expected to begin in August 2019 with completion taking place in April 2020. The overall investment is estimated at \$3,057,000.

**Mr. Al Chakonas with Speedway LLC, 730 Joliet Street, Dyer, IN and Mandy Gauss with CESO, Inc., 13060 Old US 27, Dewitt, MI 48220 introduced themselves.** Ms. Gauss stated although it is a difficult site to work with in regards to grading, they are excited about making it work. They will be installing multiple retaining walls to deal with the issues. There will be eight pumps allowing for sixteen fueling positions for autos with a dive-in configuration as opposed to a stacked configuration which allows for better traffic flow. As for the commercial fueling, the trucks will travel in a one-way pattern to the west side of the property with a master dispenser and a satellite dispenser which allows for fueling on either side of the vehicle and maintain one-way traffic. There are three fueling positions. They can pull up to the stop bar after fueling to run into the



convenience store, but this is not a typical truck stop. No long-term parking or showers are provided. The facility is intended for local day-to-day drivers, not long haul drivers. The autos and trucks will have clearly marked separate entrances, and there will be a new traffic control signal installed. The Speedy Café will offer a variety of quickly made foods. There will be an 8-foot wide pathway constructed along Joslyn Road.

Mr. Chakonas thanked Mr. Keenan for being very detail oriented and easy to work with. He wanted to reiterate that this location will not be considered a typical truck stop. Mr. Chakonas stated he conducted a car and truck count on I-75 and Joslyn for the location and the counts make this location ideal for what is being proposed. He stated they would not consider this \$4 million investment if they didn't believe they would get a return on their investment. He believes the addition of the traffic control light will alleviate any traffic concerns. Environmentally, there have been great improvements over the years with the use of double wall fiberglass tanks as opposed to the old steel tanks. There will be automatic shutoffs that detect any breach in the system. Mr. Chakonas noted that methane is coming from the adjacent property to the west. He hopes the owner will be willing to clean up the property with the incentive of Brownfield funds, if possible.

Ms. Gauss stated that the whole site would be marked with directional signage, so there are no traffic issues.

Mr. Hitchcock asked if there would be any signage stating that there is no overnight parking.

Ms. Gauss stated there are no parking fire lanes signs positions throughout the site along the drive lanes and that if it ever became a problem, they would look into it. There is not any room for trucks to park onsite if they are not getting fuel or just running into the café for a quick visit.

Mr. Hitchcock then asked what steps are taken to remedy fuel spillage.

Ms. Gauss stated the canopies are designed so water flows away from the fueling areas and that the catch basin is positioned a good distance away from every fueling position.

Mr. Beidoun questioned the site next to the location that needs to be cleaned-up. He thought they were asking for the City's help in cleaning up the property.

Mr. Chakonas clarified that he would ask the City to help the current owner of the former landfill site in obtaining whatever funds may be available to them through certain programs. He is not asking for the City's help in paying for anything.

Mr. Beidoun asked if the current property owner had been contacted yet regarding any clean-up possibilities.

Mr. Chakonas stated there has been no contact and stated his confidence the issue will get resolved.

Mr. Moniz is very concerned with the location of the site, which is at the curve on Joslyn Road. He mentioned people drive fast through that area. He is also wary that the City will receive complaints from residences about trucks parking on the site at night.

Mr. Chakonas stated that all their managers are trained to be aware of anyone taking too long in the lot whether it is a truck or a car. There will be a PA system in use for the staff that will enable them to communicate with drivers who may be having any kind of an issue.

Mr. Mendieta asked a sign will be located along I-75.

Mr. Chakonas stated their location would be on the blue service signs before the exit, that identify the restaurants and gas stations located off the exit. He also stated no towering sign would be placed along I-75.

Mr. Mendieta asked if the pathway along Joslyn Road will be connected to anything

Mr. Keenan answered yes and explained it would connect to the existing pathway to the south along Joslyn Road.

Mr. Ouellette opened the public hearing at 7:49 p.m.



**Ms. Sheryl Stubblefield, 1461 Vinewood, Auburn Hills, MI 48326** stated her concerns about the dangers of driving that stretch of Joslyn Road where the curve and the hill located in front of this location. She thinks the added traffic light will create more delays during busy commute times. She mentioned her home is still connected to a well and she is very concerned about a gas station causing environmental problems.

Mr. Ouellette closed the public hearing at 7:53 p.m.

**Mr. Hitchcock moved to recommend to City Council approval of the Combined PUD Step One – Concept Plan and PUD Step Two – Site Plan and Tree Removal Permit for the Speedway Passenger and Commercial Vehicle Fueling Station and Convenience Store subject to the conditions of the administrative review team**

**Supported by Mr. Pierce.**

**VOTE: Yes: Beidoun, Hitchcock, Ouellette, Pederson, Pierce**  
**No: Moniz, Mendieta**

**Motion Carried (5-2)**



**EXCERPT**  
**CITY OF AUBURN HILLS**  
**BROWNFIELD REDEVELOPMENT AUTHORITY MEETING**

**December 18, 2018**

**CALL TO ORDER:** Chairman Capen called the meeting to order at 6:10 p.m.

<b>ROLL CALL:</b>	Present:	Capen, Douglas, Hawley, Slocum
	Absent:	Knight
	Also Present:	Brandon Skopek, Director of Authorities; Kirstie Hardy, AKT Peerless; Mary Hoeh, AKT Peerless
	Guests:	1

**LOCATION:** Auburn Hills City Hall, Administrative Conference Room, 1827 N. Squirrel Road, Auburn Hills, MI 48326

**DIRECTOR UPDATES**

Mr. Skopek updated the Board on a proposed Speedway gas station on property adjacent to 3951 Joslyn Road. The development has received a recommendation of approval from the Planning Commission to City Council and the development team has reached out to staff inquiring about brownfield funding assistance.

He informed the development team for Speedway that there is funding available, but that the Board has not historically participated in redevelopment projects for gas stations and that the Board would need to approve funding. He requested that Speedway send him a letter of intent to seek brownfield assistance and that he would gauge the interest of the Board.

Staff does not know the full extent of current issues on the site, but staff has received a Phase II Environment Site Assessment conducted by Speedway.

Ms. Hoeh stated that she reviewed the Phase II Environment Site Assessment that was conducted on the site and that there had been traces of methane identified in the soil.

Mr. Skopek asked if the Board would be interested in exploring funding assistance for the proposed development.

Chairman Capen stated the developer is welcome to put a brownfield plan together and make a presentation and request to the Board. He requested that the developer supply to staff all environmental reports they have on the property.

Mr. Skopek stated he will convey the information to the development team at Speedway.



## CITY OF AUBURN HILLS

Regular City Council Meeting

Minutes - **EXCERPT**

January 14, 2019

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**CALL TO ORDER:** Mayor McDaniel at 7:00 p.m.

**LOCATION:** City Council Chamber, 1827 N. Squirrel Road, Auburn Hills, MI 48326

Present: Mayor McDaniel, Council Members Burmeister, Hammond, Knight, Moniz, and Verbeke

Absent: Council Member Kittle

Also Present: City Manager Tanghe, City Attorney Beckerleg, Assistant City Manager Grice, City Clerk Pierce, Police Chief Baker, Fire Chief Taylor, Director of Community Development Cohen, Senior Services Director Adcock, City Assessor Griffin, DPW Director Melchert, Deputy DPW Director Stahly, Director of Authorities Skopek

11 Guests

#### **4. NEW BUSINESS**

**9a. Motion – Approval of Combined PUD Step One – Concept Plan and PUD Step Two – Site Plan and Tree Removal Permit / Speedway Passenger and Commercial Vehicle Fueling Station and Convenience Store**

Mr. Cohen presented the requested PUD permit from Speedway for a passenger and commercial vehicle fueling station, located west of Joslyn road. The permit would be specifically for semi-truck fueling purposes. The projected construction time frame will extend from August 2019 – April 2020. A donation of \$100,000 was made to the Auburn Hills Community Foundation by Speedway for public purposes. Attorney Beckerleg clarified that the donation is being given to the Auburn Hills Community Foundation and their board will decide where the money is distributed.

Mr. Cohen explained that at the November 14, 2018 Planning Commission meeting, the members shared their concerns with this development. Their concerns were regarding traffic safety and sight distance, the finding of methane gas from the property located next to this development at the address of 3951 Joslyn road, as well as the concern that this establishment could become a truck stop. After review by the Police Department and OHM these issues were negated and it was stated that no long term parking would be allowed at this location.

Mr. Al Chakonas of Speedway LLC, 730 Lincoln Highway, Dyer, In and Mandy Gauss with CESO, Inc, 13060 Old US 27, DeWitt, Mi were present.

There was discussion regarding the ability for large trucks to make the necessary turns, the survival of this business at this location and the known methane gas leak on the adjacent property, 3951 Joslyn road. It was stated that the City does not want any responsibility for the clean-up of the methane gas located at the property next to the property in question. Mr. Skopek, Director of Authorities, stated that the Brownfield Redevelopment Authority conducted phase one of the property and does not want to continue with any additional research or testing at 3951 Joslyn beyond the Phase I because it is not a City owned property. It was stated that the MDEQ is looking through their files to determine who the liable party would be, there was no indication of who the liable party would be from the information gathered from Phase I.



Ms. Verbeke stated that she was not opposed to this company joining our community, but had concerns with the location due to traffic, entering and exiting of the property, the close proximity of other gas stations, and the methane gas issue.

**Moved by Burmeister, Seconded by Hammond.**

**RESOLVED: To accept the Planning Commission's recommendation and approve the Combined PUD Step One – Concept Plan and PUD Step Two – Site Plan and Tree Removal Permit for the Speedway Passenger and Commercial Vehicle Fueling Station and Convenience Store subject to the conditions of the administrative review team.**

**VOTE: Yes: Burmeister, Hammond, Knight, McDaniel**

**No: Moniz, Verbeke**

**Resolution No. 19.01.06**

**Motion Carried (4 - 2)**



**CITY OF AUBURN HILLS**  
**BROWNFIELD REDEVELOPMENT AUTHORITY MEETING**  
**EXCERPT**

**May 16, 2023**

**CALL TO ORDER:** Mr. Knight called the meeting to order at 6:19 p.m.

<b>ROLL CALL:</b>	Present:	Knight, Hopper, Schaar and Slocum (arrived at 6:28 p.m.)
	Absent:	Douglas
	Also Present:	Stephanie Carroll, Economic Development Manager
	Guests:	Brian Westhoff and Samantha Seimer, AKT Peerless Neil Silver, Dawda, Mann, Mulcahy & Sadler, PLC

**LOCATION:** Auburn Hills City Hall, Administrative Conference Room-1827 North Squirrel Road, Auburn Hills, MI 48326

**NEW BUSINESS**

**Item 7a. Brownfield Plan-Bill Saad Properties, LLC; Four Parcels at Joslyn and Pacific Roads**

Ms. Carroll provided an introduction and history of the site. She outlined the proposed development of the vacant parcels and the eligible activities cost summary.

Ms. Carroll reminded the group that what is being proposed is a traditional brownfield plan. The developer will incur the costs for the work and be reimbursed when eligible tax revenues are available. The developer is not asking for any up-front incentives for this project. She noted that the plan does include the last five years of capture for the Local Site Remediation Revolving Fund (LSRRF) in an estimated amount of \$207,718.

**Moved by Mr. Knight to approve the Brownfield Plan for Bill Saad Properties, LLC. That includes four parcels at Joslyn Road and Pacific (Parcels 02-14-04-451-023, 02-14-04-451-024, 02-14-04-451-025 and 02-14-04-451-026) as presented and forward the plan to City Council for review and approval. Furthermore, authorize the executive director to execute the reimbursement agreement on behalf of the Brownfield Redevelopment Authority.**

**Seconded by Mr. Schaar.**

<b>Yes:</b>	<b>Knight, Slocum, Hopper and Schaar</b>
<b>No:</b>	<b>None</b>

**Motion Carried**



March 14, 2023  
Ms. Stephanie Carroll  
Economic Development Manager

Subject: Environmental Summary  
3681 Joslyn Road,  
Auburn Hills, Michigan

The subject property, which is proposed to be developed with a new gasoline filling station and convenience store, consists of four contiguous parcels at Joslyn Road (Parcels 02-14-04-451-023, 02-14-04-451-024, 02-14-04-451-025, and 02-14-04-451-026), Auburn Hills, Oakland County, Michigan, and totals approximately 4.67-acres of land.

Previous environmental investigation activities have been conducted at the subject property that include the following:

***2003 Baseline Environmental Assessment (BEA) prepared by 21<sup>st</sup> Century Resources Group, LLC (21<sup>st</sup> Century)***

In October 2003, 21<sup>st</sup> Century completed a BEA for the subject property, identified as 3681 Joslyn Road, that was submitted to the State in January 2004. At the time of the BEA, the subject property was noted to be vacant with the exception of an empty residential garage; however, formerly contained a residential dwelling.

According to the BEA, Michigan Department of Transportation (MDOT) completed environmental work in November 1991 and 21<sup>st</sup> Century completed a Phase I Environmental Site Assessment (ESA) and Phase II ESA in September 2003, all conducted as a response to a reported heating oil above ground storage tank (AST) spill. It was reported that a heating oil AST was found to be leaking at the site associated with a former residential dwelling in 1991. According to 21<sup>st</sup> Century, in November 1991, MDOT conducted excavation activities for contaminated soil and collected confirmation samples for laboratory analysis. Reportedly, one water sample identified benzene, ethylbenzene, and xylenes above criteria established at that time.

Although specific information pertaining to 21<sup>st</sup> Century's Phase I ESA were not provided, in September 2003, 21<sup>st</sup> Century completed two soil borings at the subject property to address the former leaking heating oil AST and a noted western adjoining landfill. One soil sample and one groundwater sample were submitted for laboratory analysis. Metals were reportedly detected in soil below the Statewide Default Background Levels (SDBLs) for soil and below the residential drinking water standard for groundwater.

21<sup>st</sup> Century's BEA, utilizing MDOT's 1991 data, identified benzene, ethylbenzene, xylenes, arsenic, barium, cadmium, total chromium, and lead as *facility* level contamination at the subject property, despite metals being noted to be below SDBLs and established drinking water criteria. However, AKT Peerless notes that the November 1991 MDOT excavation appears to have been associated with an abandoned underground storage tank (UST) discovered beneath a utility trench box in the area of the Joslyn Road and I-75 South Bound Exit Ramp, and area considered a northern adjoining property. Further, AKT Peerless notes that 21<sup>st</sup> Century appended the four legal descriptions of the four subject property parcels to their 2003 BEA report as identifiers for

their property area, indicating that all four parcels were included in the classification of the subject property as a *facility* at that time.

***2018 Phase II ESA prepared by ATC Group Services LLC (ATC)***

In August 2018, ATC completed a Phase II ESA of the subject property. According to ATC's Phase II ESA Report, a Phase I ESA was completed in June 2018 that identified recognized environmental conditions (RECs) associated with (1) a former BEA filed in 2004, (2) buried concrete, odor, and discolored soils noted during a geotechnical investigation, and (3) the historical operation of the western adjoining property as a landfill.

ATC completed a geophysical survey that did not identify anomalous areas at the subject property. ATC reportedly identified volatile organic compounds (VOCs), semi-VOCs (SVOCs), polynuclear aromatic hydrocarbons (PNAs), metals, and/or methane in soil, groundwater, and/or soil gas at concentrations exceeding the Michigan department of Environment, Great Lakes, and Energy (EGLE) Part 201 Criteria and/or the Vapor Intrusion Interim Action Screening Levels (established at that time). ATC Concluded that the subject property met the definition of a *facility* as defined in Part 201 of the Natural Resources and Environmental Protection Act (NREPA).

***2022 Phase I ESA prepared by AKT Peerless***

AKT Peerless completed a Phase I ESA of the subject property in September 2022. At the time of the assessment, the subject property consisted of vacant vegetated (grassy and shrub) land. AKT Peerless' Phase I ESA identified the following RECs in connection with the subject property:

- In April 1991, an AST containing heating oil was found to be leaking adjacent to a former on-site residential structure located on the southeastern portion of the subject property. Heating oil was reported to have leaked within the crawl space of the former residential structure and on to off-site properties. The AST was removed from the property in 1991; however, confirmation sampling was not conducted subsequent to its removal.
- In 2003, a subsurface investigation was conducted on the subject property that identified concentrations of arsenic, barium, and chromium within on-site groundwater exceeding the EGLE Part 201 Residential Cleanup Criteria (RCC). A BEA was subsequently prepared and submitted to EGLE.
- In 2018, a subsurface investigation conducted on the subject property identified soil, groundwater, and soil gas contamination at the subject property. Concentrations of select PNAs and metals were detected within on-site soil and/or groundwater exceeding the EGLE Part 201 RCC. Further, concentrations of methane were detected within soil gas samples exceeding the EGLE Action Level.
- In November 1991, during road construction activities, a UST was found beneath a utility trench box adjacent to Joslyn Road on the northern adjoining property. Upon its removal, groundwater verification samples collected identified concentrations of petroleum compounds exceeding the EGLE Part 201 RCC.
- The western adjoining property (3951 Joslyn Road) historically operated as a landfill from at least 1966 to 1979. The landfill was reported to have been unlined and utilized for the acceptance of industrial waste and general refuse from Pontiac Motors, Fisher



Body, and the City of Detroit. By 1987, the site was reported to be contaminated and presented the potential for offsite contamination.

***2023 Supplemental Phase II ESA prepared by AKT Peerless***

To further evaluate the RECs identified in AKT Peerless' September 2022 Phase I ESA and to assist with evaluation of due care obligations associated with potential future redevelopment activities, AKT Peerless completed a supplemental subsurface investigation of the subject property in February 2023.

The results of the investigation identified metals, VOCs, and PNAs in soil at concentrations exceeding EGLE Part 201 Criteria. Additionally, VOCs and PNAs were detected in soil at concentrations exceeding the EGLE September 2020 Non-Residential Volatilization to Indoor Air Pathway (VIAP) Screening Levels, and methane screening identified concentrations of methane gas above the EGLE Action Level, representing a potential vapor intrusion concern (VIC).

Based on laboratory analytical results, all four parcels of the subject property meet the definition of a *facility*, as defined in Part 201 of NREPA. AKT Peerless recommended future owner(s)/operator(s) prepare a BEA report for liability protection and comply with due care obligations.

***Proposed Redevelopment***

The proposed redevelopment of the site will be similar to the Speedway reviewed by Auburn Hills Planning Commission in November 2018. At that time, the Planning Commission recommended Auburn Hills City Council approved the PUD Step One – Concept Plan and PUD Step Two – Side Plan and Tree Removal Permit...subject to the conditions of the administrative review team.

The environmental conditions as described above cause a barrier to the redevelopment of this site. Due to the known contamination, the redevelopment of this property has extenuating costs that exceed the cost to redevelop a greenfield site. The Developer is seeking support of the Auburn Hills Brownfield Redevelopment Authority (AHBRA) for a Brownfield Plan to assist in the repayment of brownfield eligible activities. This Brownfield Plan and associated costs will be presented to the AHBRA at their April meeting for review and consideration of the Plan.

Should you have any questions concerning this project, please feel free to contact me at (248) 506-6216.

Sincerely,



**AKT Peerless**  
Kyle Sayyae  
Project Manager

**JOSLYN ROAD FUEL STATION (MOBIL)**  
**PUD DEVELOPMENT AGREEMENT**

This Development Agreement (the “Agreement”) dated \_\_\_\_\_, 2024 by and between the City of Auburn Hills, a Michigan Municipal Corporation (“City”), and Bill Saad Properties, LLC, a Michigan limited liability company (“Developer”), is entered into to confirm certain rights and obligations relating to the development and use of an approximately 5.07 acre parcel of property located in the City of Auburn Hills, Michigan, and more particularly described on the attached Exhibit A hereto (the “Property” and/or the “Subject Property”).

**BACKGROUND**

A. The Developer is the owner of the approximately 5.07 acre parcel of property located on the west side of Joslyn Road between Pacific Boulevard and Great Lakes Crossing Drive in Auburn Hills, Michigan, as legally described and depicted on Exhibit A which is attached hereto and incorporated herein by reference.

B. Pursuant to Section 1830 of the Auburn Hills Zoning Ordinance, the Developer has applied for approval of the Site Plan on file with the Auburn Hills Community Development Department (the “Site Plan”), which is part of the PUD process for the development to be known as the Joslyn Fuel Station, which development will include, among other things, a passenger and commercial vehicle fueling station, a convenience store, sixteen fuel dispensers and canopy for



passenger vehicle fueling, and three lane commercial vehicle fueling area with three commercial vehicle fuel dispensers and canopy (“Joslyn Fuel Station”) and on \_\_\_\_\_, 2024 the Auburn Hills City Council approved combined PUD Step 1 – Qualification and PUD Step 2 – Site Plan Approval (“Site Plan and PUD approval”), along with the associated tree removal permit, for the Joslyn Fuel Station subject to several conditions including, but not limited to, the condition that the Developer and the City enter into a Development Agreement. The City-approved Site Plan is on file with the Auburn Hills Community Development Department and is incorporated by reference in this Agreement.

C. It is the purpose of this Agreement to confirm the rights and obligations of the Developer and the City with respect to the development and use of the Subject Property.

NOW, THEREFORE, for good and valuable consideration given, the receipt of which is hereby acknowledged by the parties, it is agreed as follows:

1. The City approved Site Plan and PUD approval, tree removal permit and the terms of this Agreement shall govern the development and use of the Subject Property. Among other things, the City approved Site Plan and PUD approval, tree removal permit and this Agreement shall establish landscaping, tree removal and replacement, drainage, setbacks, building elevation and design, building footprint, building height, building size and density, water course buffer, open space, greenbelt, parking lot, landscape, utilities, pathways, parking and parking spaces number, size and location, traffic lanes, driveways and drive isle requirements and location and curb cuts, and location, number and size of fuel dispensers and canopies for both passenger vehicle fueling and commercial vehicle fueling. The City approved Site Plan and PUD approval and this Agreement shall also establish the architectural style of the building that may be built at the Joslyn

Fuel Station. The Property shall be developed only in accordance with the City approved Site Plan and PUD approval, including all materials and plans submitted and approved with the City approved Site Plan, City approved grading, utility and engineering plans, City approved tree removal permit, this Agreement, City Ordinances in effect on the date of this Agreement which are not in conflict with the City approved Site Plan, PUD approval and this Agreement, including, but not limited to, the Auburn Hills Zoning Ordinance, and other applicable laws, regulations, requirements, and Ordinances (collectively referred to as the “Approval Requirements”). The City approved Site Plan and PUD approval, the City approved tree removal permit, the City approved grading, utility, landscaping and engineering plans, this Agreement and the Approval Requirements shall be deemed to satisfy all land use and other requirements of the City, including, without limitation, the City’s requirements and impositions, if any, under Ordinances relating to size, setbacks, density and height of the building, wetlands, woodlands, tree preservation, storm water management, parking, walkway, drive, drive isle and roadway configuration and geometry, handicapped access, fire protection and fire department design criteria, building elevations and the like. In the event of any conflict between the City approved Site Plan and PUD approval and this Agreement on the one hand, and City Ordinances on the other, the City approved Site Plan and PUD approval and this Agreement shall control. To the extent that there are any construction or development issues that are not addressed by the City approved Site Plan and PUD approval and this Agreement, the City Administration shall determine such matters (and issue administrative waivers, if necessary) in order to reasonably achieve the goals and objectives articulated in the City approved Site Plan, PUD approval and this Agreement.

2. Roads/driveways and curb cuts, public sanitary sewer service, public water service, storm water drainage, detention and retention facilities, gas and electric utilities, parking facilities



and parking spaces, open space area, sidewalks, pathways, retaining walls, greenbelts, landscaping and trees shall be completely constructed, installed and provided by and at the sole expense of Developer to service the Joslyn Fuel Station in accordance with the Approval Requirements. The Developer shall be responsible and obligated for the perpetual maintenance, repair and replacement of the roads/driveways, drive isles, parking areas and spaces, sidewalks, pathways, retaining walls, fuel dispensers and fuel dispenser canopies, drainage facilities, greenbelts, landscaping, irrigation, trees and open space areas and all other improvements shown on the City approved Site Plan.

3. The Developer in accordance with the Approval Requirements shall at its own cost, develop, install and construct on the Property a Joslyn Fuel Station consisting of one building containing a 4,608 square foot convenience store, as well as sixteen fuel dispensers and a canopy for passenger vehicle fueling and a three lane commercial vehicle fueling area with three commercial vehicle fuel positions and a canopy, as well as the drive isle, driveway, curb cuts and parking and other improvements on the Subject Property as shown on the City approved Site Plan. The building to be constructed on the Property shall be one story tall and shall have a height not exceeding that shown on the City approved Site Plan. The Developer shall, at its own cost, install, maintain and locate parking on the Property in accordance with the City approved Site Plan. There shall be no overnight parking of commercial vehicles and/or passenger vehicles and/or other vehicles on the Subject Property and the sale or rental of vehicles and/or trailers and the advertising thereof shall be prohibited. There shall be no outside storage on the Subject Property including, but not limited to, no outside pallet storage and no outside vehicle and/or trailer storage on the Subject Property. The Developer shall utilize an underground grease containment/trap and internal oil/grease management system (closed-loop) for the kitchen. Above-ground grease containment

systems shall be prohibited on the site. The Developer shall be allowed to construct, install, maintain and locate on the Subject Property a small propane/ice storage structure to be surrounded by a screening enclosure, in accordance with and subject to the City approved Site Plan. Pole and wall mounted lighting shall be shielded and directed downward and lamp bulbs and lens shall not extend below the light Fixture Shields and said pole and wall mounted lighting shall be constructed and installed by Developer, at its own cost, with the location, dimensions, height and specifications of said lighting to be in accordance with City approved Site Plan and Approval Requirements. All ground mounted and roof mounted mechanical equipment will be constructed, installed and screened from view by Developer, at its own cost, in accordance with the Approval Requirements. The Developer shall locate, construct and install at Developer's own cost an eight foot wide paved recreational pathway for use by the City and the general public, with said pathway to be located along Joslyn Road and to be in accordance with and as shown on the City approved Site Plan. The pathway once constructed shall be maintained by Developer, at its own cost. The Developer will complete the construction and development of the Joslyn Fuel Station no later than November 1, 2025.

4. The architecture, design and façade of the Joslyn Fuel Station shall be as set forth in the City approved Site Plan, PUD approval and this Agreement.

5. Developer shall be obligated to design, completely construct, finance and provide financial assurances in accordance with the Approval Requirements for the completion of all the improvements and landscaping shown on the City approved Site Plan and PUD approval of the Joslyn Fuel Station. Financial assurances required by the City shall be in the form and in the amounts required in the City's Ordinances; provided, however, that the City agrees that the Developer may satisfy all financial assurances required for the Joslyn Fuel Station by escrowing



funds with a title company satisfactory to the City, pursuant to an escrow arrangement that is satisfactory to the City. In all instances in which the City utilizes the proceeds and the financial assurances given to ensure completion of the improvements pursuant to City Ordinances and the City approved Site Plan and PUD approval, the City and its contractors and agents shall be permitted, and are hereby granted authority, to enter upon the Property for the purpose of completing said respective improvements.

6. The foundation permits will be available upon the City approval of the grading to serve the Joslyn Fuel Station building. Building permits for the Joslyn Fuel Station building and other improvements shall be issued when water mains, sewer lines and other utilities are installed to service the Joslyn Fuel Station building and have been accepted by the City and/or the appropriate utility companies and paved road/driveway access is available. The Developer shall, at its own cost, install, construct and locate the curb cuts and paved road/driveway access, which curb cuts and paved road/driveway access shall be constructed, installed and located in accordance with the Approval Requirements.

7. The City approved Site Plan and PUD approval include a final landscaping plan and landscaping details and the Developer shall, at its own cost, install, plant and locate all of said landscaping, including trees, shrubs and bushes, in accordance with the final landscaping plan and shall, at Developer's own cost, maintain said landscaping including trees, shrubs and bushes and shall replace any landscaping, including trees, shrubs and bushes that die.

8. The City and Developer agree that all matters related to the use of signage on the Joslyn Fuel Station property shall be governed by the City Zoning Ordinance and that under no circumstances shall there be any high rise signs or signs that have a height taller than twenty feet located on the Property.

9. Based on the development and the use of the Subject Property by the Developer, and the Developer's construction of the Joslyn Fuel Station on the Subject Property, pursuant to the Auburn Hills Woodlands Preservation Ordinance, the Subject Property requires 14 replacement trees and the Developer agrees to and shall, at its own cost, plant 95 replacement trees on the subject Property at the locations shown on the City approved Site Plan and City approved landscaping plan, with said replacement trees to be of the height, diameter, breast height, kind and species shown on the City approved Site Plan and City approved landscaping plan, with the Developer planting all of the 95 replacement trees on the Subject Property prior to a Certificate of Occupancy being issued for the Joslyn Fuel Station on the Subject Property. The Developer, at its own cost, shall be responsible for the perpetual maintenance and if necessary, replacement, of the 95 replacement trees planted on the Subject Property. The Developer shall, at its own cost, pay all applicable fees necessary and required with respect to obtaining the tree removal permit from the City.

10. The Developer shall within seven days from the date that all parties have executed and signed this Agreement, pay to the Auburn Hills Community Foundation a one-time lump sum payment of One Hundred Thousand Dollars (\$100,000.00) to be used for public purposes at the sole discretion and decision of the Auburn Hills Community Foundation Board of Directors.

11. The Developer's rights to complete the Joslyn Fuel Station as described herein are fully vested on the execution of this Agreement by all parties. This Development Agreement shall run with the land constituting the Subject Property, and shall be binding upon and inure to the benefit of the Developer and the City, and their respective heirs, successors, assigns and transferees, and immediately upon execution of this Development Agreement by all of the parties, a Memorandum of this Development Agreement, or the Development Agreement itself, shall be



recorded with the Oakland County Register of Deeds. This Development Agreement shall be interpreted and construed in accordance with Michigan law, and shall be subject to enforcement only in Michigan Courts. The parties understand and agree that this Development Agreement is consistent with the intent and provisions of the Michigan and U.S. Constitutions and all applicable law.

12. The Developer has negotiated the terms of this Development Agreement with the City, and such documentation represents the product of the joint efforts and agreement of the Developer and the City. The Developer fully accepts and agrees to the final terms, conditions, requirements and obligations of this Development Agreement. The Developer understands that this Agreement is authorized by applicable local, state and federal laws, ordinances and constitutions and the Developer shall be estopped from taking a contrary position in the future, and the City shall be entitled to injunctive relief to prohibit any actions by the Developer that are inconsistent with the terms and provisions of this Agreement.

13. The Developer may request modifications to the City approved Site Plan as follows:

(a) The Community Development Department may approve modifications to the City approved Site Plan that do not:

(i) materially change the parking layout or;

(ii) materially increase the total square footage or density of the proposed buildings.

(b) Modifications proposed by the Developer pursuant to this Agreement shall be consistent with the City approved Site Plan and Approval Requirements and shall not adversely affect the character or quality of the development and;

(c) Modifications to the City approved Site Plan that the Community Development Department in its sole discretion deems material shall be reviewed for approval by the City Council.

14. This Agreement constitutes the entire Agreement between the parties and may not be modified, amended or terminated except in writing executed by all of the parties hereto.

THIS AGREEMENT is executed by the respective parties on the date specified with the notarization with their names.

BILL SAAD PROPERTIES, LLC,  
a Michigan limited liability company

By: \_\_\_\_\_

Its: \_\_\_\_\_

CITY OF AUBURN HILLS,  
a Michigan Municipal corporation

By: \_\_\_\_\_  
Brian Marzolf

Its: Mayor

and

By: \_\_\_\_\_  
Laura Pierce

Its: Clerk



STATE OF MICHIGAN    )  
  )  
COUNTY OF OAKLAND )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2018, by \_\_\_\_\_, the \_\_\_\_\_ of Bill Saad Properties, LLC, a Michigan limited liability company, on behalf of said company.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
Acting in \_\_\_\_\_ County, Michigan  
My commission expires: \_\_\_\_\_

STATE OF MICHIGAN    )  
  )  
COUNTY OF OAKLAND )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2018, by Brian Marzolf as Mayor, and Laura Pierce, as Clerk, on behalf of the City of Auburn Hills, a Michigan Municipal Corporation, on behalf of the corporation.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
Acting in \_\_\_\_\_ County, Michigan  
My commission expires: \_\_\_\_\_

DRAFTED BY AND WHEN RECORDED RETURN TO:

Derk W. Beckerleg, Esq.  
Secrest Wardle  
2600 Troy Center Drive  
P.O. Box 5025  
Troy, MI 48007-5025  
(248) 851-9500  
[dbeckerleg@secrestwardle.com](mailto:dbeckerleg@secrestwardle.com)

## EXHIBIT A

### LEGAL DESCRIPTION

#3681 JOSLYN ROAD, AUBURN HILLS, MI, 48326 (VACANT)

PARCEL 1: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1 CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4 , N06°24'17"W 509.16 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING N06°24'17"W 130.00 FEET (CALCULATED), (129.67 FEET, RECORD); THENCE N62°48'48"E 273.16 FEET; THENCE S41°56'57"E 190.00 FEET; THENCE S20°18'47"E 14.75 FEET; THENCE S74°40'13"W 373.91 FEET (CALCULATED), (373.92 FEET RECORD), TO THE POINT OF BEGINNING. CONTAINING: 51,621 SQUARE FEET---1.185 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-023. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.

PARCEL 2: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1 CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4 , N06°24'17"W 199.43 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING N06°24'17"W 309.73 FEET, CALCULATED, (309.72 FEET, RECORD); THENCE N74°40'13"E 373.92 FEET; THENCE S20°18'47"E 279.52 FEET; THENCE S09°32'27"E 107.26 FEET; THENCE S84°58'43"W 442.58 FEET (CALCULATED), (442.50 FEET RECORD), TO THE POINT OF BEGINNING. CONTAINING: 143,334 SQUARE FEET---3.290 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-024. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.

PARCEL 3: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1 CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4 , N06°24'17"W 99.72 FEET, TO THE POINT OF BEGINNING; THENCE N84°58'43"E 447.97 FEET, CALCULATED, (448.06 FEET, RECORD); THENCE N09°32'27"W 100.00 FEET; THENCE S84°58'43"W 442.50 FEET; THENCE S06°24'17"E 99.72 FEET, TO THE POINT OF BEGINNING. CONTAINING: 44,385 SQUARE FEET---1.019 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-025. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.

PARCEL 4: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1 CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET, TO THE ALONG THE NORTH-SOUTH 4 POINT OF BEGINNING; THENCE CONTINUING N84°58'43"E 453.53 FEET; THENCE N09°32'27"W 100.00 FEET; THENCE S84°58'43"W 448.06 FEET; THENCE S06°24'17"E 99.72 FEET, TO THE POINT OF BEGINNING. CONTAINING: 44,939 SQUARE FEET---1.032 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-026. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.





# SITE PLAN











STEP ONE & TWO PUD/SITE PLANS

JOSLYN ROAD FUEL STATION

(MOBIL)  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
2/12/2024		SITE PLAN APPROVAL

<b>LEGAL DESCRIPTION</b> #3681 JOSLYN ROAD, AUBURN HILLS, MI, 48326 (VACANT) PARCEL 1: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N04°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4, N06°24'17"W 500.16 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING N06°24'17"W 130.00 FEET (CALCULATED), (129.67 FEET, RECORD); THENCE N62°48'48"E 273.16 FEET; THENCE S41°56'57"E 190.00 FEET; THENCE S20°18'47"E 14.75 FEET; THENCE S74°40'13"W 373.91 FEET (CALCULATED), (373.92 FEET RECORD), TO THE POINT OF BEGINNING. CONTAINING: 51,621 SQUARE FEET--1.185 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-023. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.  PARCEL 2: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N04°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4, N06°24'17"W 199.43 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING N06°24'17"W 309.73 FEET, CALCULATED, (309.72 FEET, RECORD); THENCE N74°40'13"E 373.92 FEET; THENCE S20°18'47"E 279.52 FEET; THENCE S09°32'27"E 107.26 FEET; THENCE S84°58'43"W 442.58 FEET (CALCULATED), (442.50 FEET RECORD), TO THE POINT OF BEGINNING. CONTAINING: 143,334 SQUARE FEET--3.290 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-024. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.  PARCEL 3: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N04°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4, N06°24'17"W 99.72 FEET, TO THE POINT OF BEGINNING; THENCE N04°58'43"E 447.97 FEET, CALCULATED, (448.06 FEET, RECORD); THENCE N09°32'27"W 100.00 FEET; THENCE S84°58'43"W 442.50 FEET; THENCE S06°24'17"E 99.72 FEET, TO THE POINT OF BEGINNING. CONTAINING: 44,395 SQUARE FEET--1.019 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-025. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.  PARCEL 4: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 986.74 FEET, COMMENCING AT THE SOUTH 4 1 LINE OF SAID SECTION 4; THENCE N04°58'43"E 51.38 FEET, TO THE ALONG THE NORTH-SOUTH 4 POINT OF BEGINNING; THENCE CONTINUING N04°58'43"E 453.53 FEET; THENCE N09°32'27"W 100.00 FEET; THENCE S84°58'43"W 448.06 FEET; THENCE S06°24'17"E 99.72 FEET, TO THE POINT OF BEGINNING. CONTAINING: 44,339 SQUARE FEET--1.032 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER:# 02-14-04-451-026. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.
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INDEX OF DRAWINGS	
NUMBER	TITLE
	CIVIL PLANS
	COVER SHEET
C-1.0	EXISTING CONDITIONS
C-3.0	DIMENSIONAL SITE PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	ENGINEERING SITE PLAN
C-6.1	DETENTION BASIN CALCULATIONS
C-9.0	NOTES AND DETAILS
C-9.1	DETAILS
C-9.2	DETAILS
C-10.0	FIRE TURNING MOVEMENT
	LANDSCAPE PLANS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
T-1.0	TREE SURVEY PLAN
	ARCHITECTURAL PLANS
A-1	FLOOR PLAN
A-2	BUILDING ELEVATIONS
A-3	BUILDING ELEVATIONS
CN-1	CANOPY ELEVATIONS
CN-2	CANOPY ELEVATIONS
PROJECT DESCRIPTION:	
THE PROPOSED PROJECT CONSIST OF CONSTRUCTING A MOBIL GAS STATION WITH A 4608 SF CONVENIENCE STORE, EIGHT AUTO FUELING DISPENSERS, AND THREE COMMERCIAL FUELING LANES (CFL). THE CFL LANES ARE INTENDED TO SERVICE LOCAL TRUCKS. THERE ARE NOT TRUCK FACILITIES (SHOWERS) WITHIN THE BUILDING AND THERE ARE NO TRUCK PARKING SPACES. THERE IS A LOCATION FOR A TRUCK TO PULL FORWARD AFTER FUELING IN ORDER TO RUN INTO MOBIL TO GET A COFFEE AND USE THE RESTROOM. IT IS NOT INTENDED FOR ANY LONG TERM PARKING OF COMMERCIAL VEHICLES.	

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
BILL SAAD PROPOERTIES, LLC 1 WEST JEFFERSON TRENTON, MICHIGAN 48183 CONTACT: BILL SAAD PHONE: (734)-692-0777 EMAIL: BILLSAAD@MICHIGANFUELS.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
G SQUARED DESIGN BUILD, INC 5119 HIGHLAND ROAD - SUITE 197 WATERFORD, MICHIGAN 48327 CONTACT: JOSEPH DEMSKI PHONE: (248)-703-5075 EMAIL: JDEMSKI@G2SQUARED.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	2/12/2024
REVISED SITE PLAN LAYOUT	4/30/2024





NOTES

UTILITY INFORMATION AS SHOWN HEREIN ARE COMPILATION OF FIELD OBSERVATION AND CITY'S RECORDS. THEREFORE NO GUARANTEE COULD BE GIVEN AS TO THEIR EXACT LOCATION AND DEPTH. AN EXCAVATION MIGHT BE NEEDED IN ORDER TO DETERMINE UTILITY POSITION. ALL MEASUREMENTS AS SHOWN HEREIN ARE EXISTING.  
-ALL SYMBOLS AS SHOWN HEREIN ARE NOT TO SCALE.  
-CLIENT/CONTRACTOR SHALL OBTAIN ALL PERTINENT PERMITS WHEN CONNECTING TO PUBLIC UTILITIES AND COMPLY TO CITY'S REQUIREMENTS.  
-ALL MEASURED ELEVATIONS ARE EXPRESSED IN NORTH AMERICAN VERTICAL DATUM AS OF 1988. (NAVD88)  
-WETLANDS AS SHOWN HEREON ARE DELINEATED TO THE BEST OF OUR KNOWLEDGE.  
-CLIENT/CONTRACTOR MUST HIRE A WETLAND SPECIALISTS IN ORDER TO DETERMINE THEIR EXACT LOCATION.  
LEGAL DESCRIPTION AS CONTAINED WITHIN TITLE COMMITMENTNO.: VT-2022-11583, ISSUED ON JUNE 24, 2022, DOES NOT DESCRIBE THE EXCEPTED ROAD AREAS FROM ALL 4 PARCELS, THEREFORE, SAME R-O-W WIDTH CANNOT BE DEPICTED AS THIS MOMENT. AN ALTA SURVEY BY COMMUNITY ENGINEERING, NO. E-07-097, DATED ON 09-09-2016, DOES CALL FOR 'ADDITIONAL DOCUMENTS', PROVIDED TO THEM IN REGARDS OF THE MORT RIGHT-OF-WAY THAT MAY CONTAIN INFORMATION OF SAID RIGHT-OF-WAY LOCATIONS AND SAID DOCUMENTS ARE RECORDED IN: L8140, P.735; L8140, P.741 AND L8140, P.753.  
-TITLE COMMITMENT AS CITED HEREON DOES NOT DISCLOSE ANY:  
-SANITARY SEWER EASEMENT  
-WATER MAIN EASEMENT NOR  
-OVERHEAD WIRE AND CABLE TV EASEMENT, AS ALL BEING SHOWN HEREON.  
-AB-SB LAND SURVEY, P.C. RETAINS THE SOLE OWNERSHIP OF THIS DOCUMENT AS AN INSTRUMENT OF SERVICE AND IT CAN NOT BE REUSED NOR REPRODUCED WITHOUT WRITTEN PERMISSION AND ADDITIONAL COMPENSATION.  
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FLOOD NOTE:

SUBJECT PROPERTY AS DEPICTED HEREIN, DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA (SFHA), ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) NO. 260093, PANEL NO. 0359, SURFV. 7, BEING EFFECTIVE AS OF SEPTEMBER 29, 2006.

LEGAL DESCRIPTION

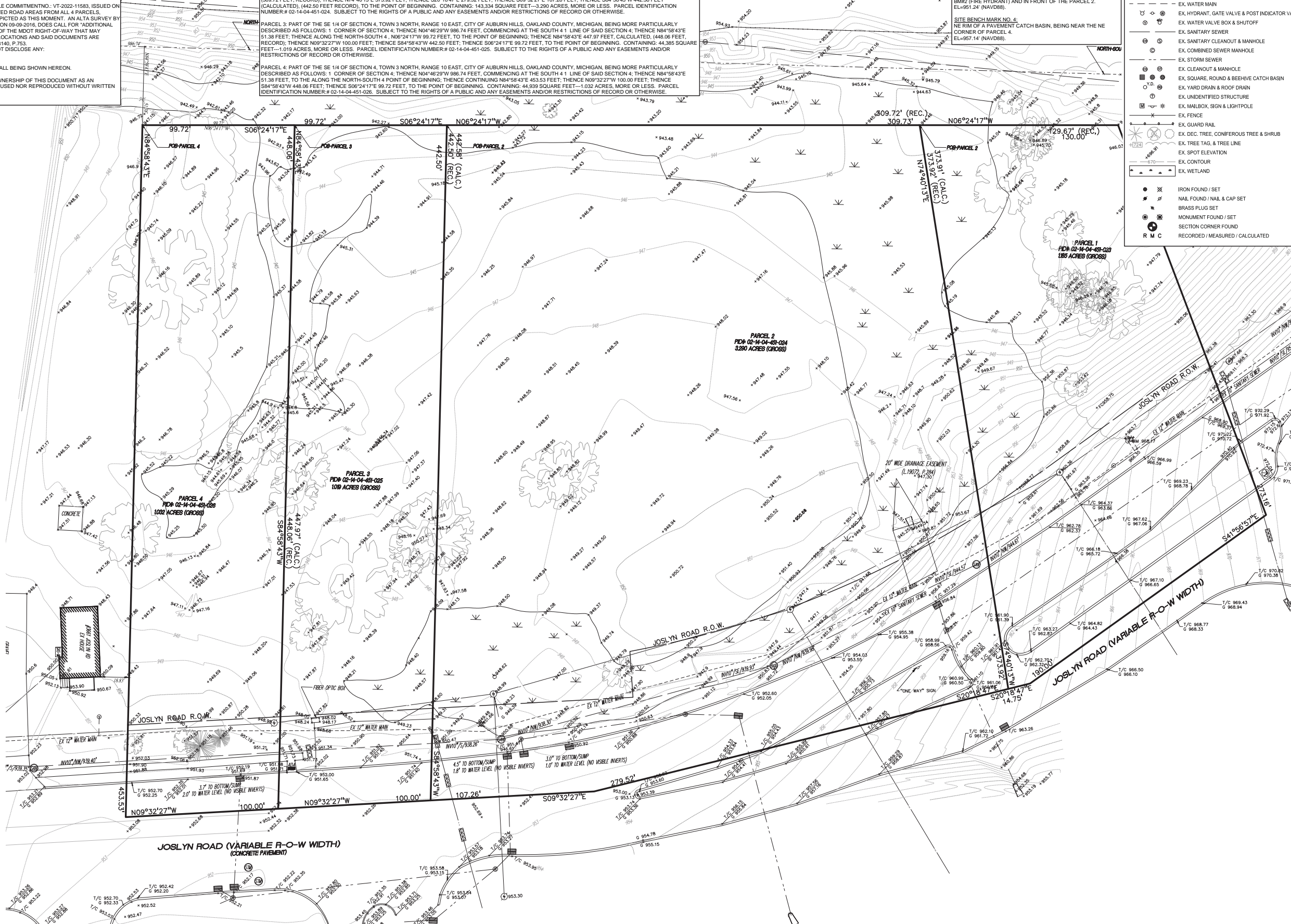
#3681 JOSLYN ROAD, AUBURN HILLS, MI, 48326 (VACANT)  
PARCEL 1: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 886.74 FEET, COMMENCING AT THE SOUTH 4 1/4 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4, N06°24'17"W 159.43 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING N06°24'17"W 130.00 FEET (CALCULATED), (128.67 FEET, RECORD); THENCE N62°48'48"E 273.16 FEET; THENCE S20°18'47"E 14.75 FEET; THENCE S74°40'13"W 373.91 FEET (CALCULATED), (373.92 FEET RECORD), TO THE POINT OF BEGINNING. CONTAINING: 51.621 SQUARE FEET—1.185 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER# 02-14-04-451-023. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.  
PARCEL 2: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 886.74 FEET, COMMENCING AT THE SOUTH 4 1/4 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4, N06°24'17"W 159.43 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING N06°24'17"W 309.73 FEET, CALCULATED, (309.72 FEET, RECORD); THENCE N74°40'13"E 373.92 FEET; THENCE S20°18'47"E 279.52 FEET; THENCE S09°32'27"E 107.26 FEET; THENCE S84°58'43"W 442.58 FEET (CALCULATED), (442.50 FEET RECORD), TO THE POINT OF BEGINNING. CONTAINING: 143.334 SQUARE FEET—3.290 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER# 02-14-04-451-024. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.  
PARCEL 3: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 886.74 FEET, COMMENCING AT THE SOUTH 4 1/4 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET; THENCE ALONG THE NORTH-SOUTH 4, N06°24'17"W 99.72 FEET, TO THE POINT OF BEGINNING. THENCE N84°58'43"E 447.97 FEET, CALCULATED, (448.06 FEET, RECORD); THENCE N09°32'27"W 100.00 FEET; THENCE S84°58'43"W 442.50 FEET; THENCE S06°24'17"E 99.72 FEET, TO THE POINT OF BEGINNING. CONTAINING: 44.385 SQUARE FEET—1.019 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER# 02-14-04-451-025. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.  
PARCEL 4: PART OF THE SE 1/4 OF SECTION 4, TOWN 3 NORTH, RANGE 10 EAST, CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: 1. CORNER OF SECTION 4; THENCE N04°46'29"W 886.74 FEET, COMMENCING AT THE SOUTH 4 1/4 LINE OF SAID SECTION 4; THENCE N84°58'43"E 51.38 FEET, TO THE ALONG THE NORTH-SOUTH 4 POINT OF BEGINNING; THENCE CONTINUING N84°58'43"E 453.53 FEET; THENCE N09°32'27"W 100.00 FEET, THENCE S84°58'43"W 448.06 FEET; THENCE S06°24'17"E 99.72 FEET, TO THE POINT OF BEGINNING. CONTAINING: 44.939 SQUARE FEET—1.032 ACRES, MORE OR LESS. PARCEL IDENTIFICATION NUMBER# 02-14-04-451-026. SUBJECT TO THE RIGHTS OF A PUBLIC AND ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD OR OTHERWISE.

BENCHMARKS:

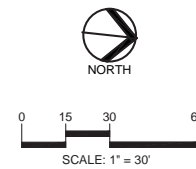
Site Bench Mark No. 1:  
NW RIM OF A PAVEMENT CATCH BASIN WITHIN THE WEST SIDE OF JOSLYN ROAD AND IN FRONT OF THE PARCEL 4.  
EL=951.87 (NAVD88).  
SITE BENCH MARK NO. 2:  
TOP OF NUT OF FIRE HYDRANT IN FRONT OF THE PARCEL 2.  
EL=951.68 (NAVD88).  
SITE BENCH MARK NO. 3:  
NE RIM OF A PAVEMENT CATCH BASIN, BEING 27.7' NWLY FROM BM#2 (FIRE HYDRANT) AND IN FRONT OF THE PARCEL 2.  
EL=951.24' (NAVD88).  
SITE BENCH MARK NO. 4:  
NE RIM OF A PAVEMENT CATCH BASIN, BEING NEAR THE NE CORNER OF PARCEL 4.  
EL=957.14' (NAVD88).

LEGEND:

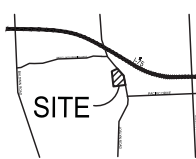
- OH-ELEC-W-W- EX. OH. ELEC. POLE & GUY WIRE
- UC-CATV- EX. U.G. CABLE TV & PEDESTAL
- UC-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UC-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- - - - - EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- - - - - EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- - - - - EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- - - - - EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG & TREE LINE
- EX. SPOT ELEVATION
- - - - - EX. CONTOUR
- - - - - EX. WETLAND
- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- RECORDED / MEASURED / CALCULATED



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t: 844.813.2949  
www.peagroup.com



CAUTION!!  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48103

PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS		
REVISED SITE PLAN LAYOUT	04/30/24	

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**EXISTING CONDITIONS**

PEA JOB NO.	22-1561
P.M.	JMB
DN.	BV
DES.	BV
DRAWING NUMBER:	

NOT FOR CONSTRUCTION  
SIDWELL # 14-04-451-023, 14-04-451-024, 14-04-451-025, 14-04-451-026

C-1.0



**BENCHMARKS:**  
SITE BENCH MARK NO. 1:  
NW RIM OF A PAVEMENT CATCH BASIN WITHIN THE WEST SIDE  
OF JOSLYN ROAD AND IN FRONT OF THE PARCEL 4.  
E.L.=951.87' (NAVD88).  
SITE BENCH MARK NO. 2:  
TOP OF NUT OF FIRE HYDRANT IN FRONT OF THE PARCEL 2.  
E.L.=951.66' (NAVD88).  
SITE BENCH MARK NO. 3:  
NE RIM OF A PAVEMENT CATCH BASIN, BEING 27.7' NWLY FROM  
BM#2 (FIRE HYDRANT) AND IN FRONT OF THE PARCEL 2.  
E.L.=951.24' (NAVD88).  
SITE BENCH MARK NO. 4:  
NE RIM OF A PAVEMENT CATCH BASIN, BEING NEAR THE NE  
CORNER OF PARCEL 4.  
E.L.=957.14' (NAVD88).

**FLOOD NOTE:**  
SUBJECT PROPERTY AS DEPICTED HEREIN, DOES  
NOT LIE IN A SPECIAL FLOOD HAZARD AREA (SFHA),  
ACCORDING TO FLOOD INSURANCE RATE MAP  
(FIRM) NO. 260263, PANEL NO. 0359, SUFFIX "F",  
BEING EFFECTIVE AS OF SEPTEMBER 29, 2006.

**ADDITIONAL NOTES:**  
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.  
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE  
OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF  
PIPE UNLESS OTHERWISE NOTED.  
2. REFER TO SHEET C-9.0 FOR ON-SITE PAVING DETAILS.  
3. NO PARKING-FIRE LANE SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT  
INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.  
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF AUBURN HILLS CURRENT  
STANDARDS AND REGULATIONS.  
5. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING  
JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.  
6. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED  
IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION  
AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE  
WORK.  
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL  
EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE  
WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE  
PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE  
PAID FOR SEPARATELY.

**CITY OF AUBURN HILLS GENERAL NOTES:**  
1. ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM  
ADJACENT PROPERTIES. THE FACIA OF THE CANOPY WILL NOT BE ILLUMINATED.  
LIGHTING SHALL MEET THE REQUIREMENTS OF THE ZONING ORDINANCE NO. 372  
2. SIGNS SHALL MEET THE REQUIREMENTS OF THE ZONING ORDINANCE NO. 375  
3. ALL MATERIAL, MERCHANDISE, AND EQUIPMENT SHALL BE STORED WITHIN THE  
BUILDING, EXCEPT FOR MERCHANDISE STORED OUTSIDE IN THE DESIGNATED  
ENCLOSURE AREA. SUBJECT TO THE FOLLOWING CONDITIONS: THE DEVELOPER SHALL  
THAT THE ITEMS STORED WITHIN THRE OUTSIDE SALES AREA SHALL NOT EXTEND  
ABOVE OR BEYOND THE WALLS OF THE MERCHANDISE ENCLOSURE IN A MANNER TO  
PROPERLY SCREEN THE CONTENTS FROM VIEW FROM THE ROAD. ITEMS STORED  
WITHIN THE ENCLOSURE ARE LIMITED TO ICE CHEST AND PROPANE TANKS.  
4. PARKING SPACES SHALL BE DOUBLE STRIPED PER ZONING ORDINANCE NO. 372  
5. THE SITE IS UNDER 20 ACRES, AN ENVIRONMENTAL IMPACT STATEMENT IS NOT REQ'D.  
6. PARCEL #S 14-04-451-026, 14-04-451-024, 14-04-451-023, AND 14-04-451-026 WILL NEED TO  
BE COMBINED INTO A SINGLE PARCEL.  
7. THE SALE OR RENTAL OF NEW OR USED CARS, TRUCKS, TRAILERS, AND OTHER  
VEHICLES ON THE PREMISES SHALL BE PROHIBITED.  
8. THE DEVELOPER SHALL ENSURE THAT OVERNIGHT PARKING OF VEHICLES SHALL NOT  
OCCUR AT THE SITE.  
9. THE DEVELOPER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 2007.  
PERFORMANCE GUARANTEES OF THE ZONING ORDINANCE.  
10. THE DEVELOPER SHALL UTILIZE AN UNDERGROUND GREASE CONTAINMENT/TRAP AND  
INTERNAL OIL/GREASE MANAGEMENT SYSTEM (CLOSED LOOP) FOR THE KITCHEN.  
ABOVE GROUND GREASE CONTAINMENT SYSTEMS SHALL BE PROHIBITED ON THE SITE.  
11. PUD APPROVAL IS REQUIRED. ITEMS THAT NEED TO BE APPROVED WITH THE PUD THAT  
DEVIATE FROM THE ZONING CODE ARE:  
\* FUELING FOR COMMERCIAL (SEMI TRUCK / VEHICLES)  
\* ALLOW OUTSIDE SALES WITHIN THE SCREENED AREA SOUTH OF THE BUILDING

**GENERAL NOTES:**  
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.  
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE  
OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF  
PIPE UNLESS OTHERWISE NOTED.  
2. NO PARKING-FIRE LANE SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT  
INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.  
3. REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.  
4. REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS

**SIGN LEGEND:**  
STOP SIGN  
NO PARKING FIRE LANE SIGN  
BARRIER FREE PARKING SIGN  
VAN ACCESSIBLE SIGN  
ONE WAY SIGN  
NO OVERNIGHT PARKING SIGN  
REFER TO SHEET C-9.0 FOR DETAILS

**SIDEWALK RAMP LEGEND:**  
SIDEWALK RAMP TYPE R  
SIDEWALK RAMP TYPE P  
CURB DROP ONLY  
REFER TO LATEST MDOT R-28  
STANDARD RAMP AND DETECTABLE  
WARNING DETAILS

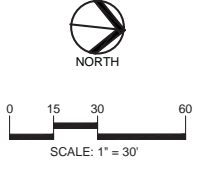
**LEGEND:**  
CONCRETE PAVEMENT  
ASPHALT PAVEMENT  
CONCRETE CURB AND GUTTER  
REVERSE GUTTER PAN  
SETBACK LINE  
SIGN  
LIGHTPOLE

**SITE DATA TABLE:**  
SITE AREA: 5.07 ACRES ( 221,067 SF) NET AND 5.07 ACRES (22,1067) GROSS  
ZONING: P-P.U.D OVERLAY  
PROPOSED USE: RETAIL  
BUILDING INFORMATION:  
PROPOSED BUILDING HEIGHT = 1 STORY  
BUILDING FOOTPRINT AREA = 4,608 SF.  
BUILDING LOT COVERAGE = 2.08%  
BUILDING SETBACK REQUIREMENTS:  
FRONT (SOUTH) 25' 124.44 TO ROW  
SIDE (EAST) 25' 281.03  
SIDE (WEST) 25' 301.62  
REAR (NORTH) 25' 146.50  
CANOPY SETBACK REQUIREMENTS:  
FRONT 40' 40.27 TO ROW  
SIDE 25' 96.32 TO ROW  
REAR 20' 245.5'  
MINIMUM OPEN SPACE REQUIRED = 20%  
GREENSPACE:  
IMPERVIOUS AREA = 116,059 SF (2.66 ACRES)  
PERVIOUS AREA = 104,900 SF (2.41 ACRES)  
PERCENT GREENSPACE ON SITE = 47.5%  
PARKING CALCULATIONS:  
RETAIL = 1 SPACE PER 150 SF.  
TOTAL RETAIL PARKING REQUIRED = 2,071/150 = 14 SPACES  
1 SPACE PER 50 SF. FOR CAFE SERVICE AREA = (431+350)/50 = 16 SPACES  
TOTAL PARKING REQUIRED = 30 SPACES  
TOTAL PROPOSED PARKING SPACES = 30 SPACES INC. 2 H/C SPACES  
LOADING CALCULATIONS:  
LOADING REQUIRED = 960 SF. PER L.F. OF BUILDING FRONTAGE OR  
960 SF. PER BUILDING  
LOADING PROVIDED = 960 SF. AT BACK OF BUILDING

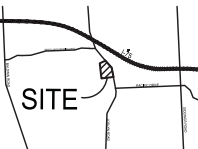
**SIGNAGE CALCS:**  
PERMITTED: 605 SF TOTAL (780 LF FRONTAGE / 10' \* 8 SF)  
PROPOSED: 594.50 SF TOTAL (SEE ARCH PLANS FOR  
DETAILED BREAKDOWN OF SIGNAGE)

**APPLICANT**  
BILL SAAD PROPERTIES, LLC  
1 WEST JEFFERSON  
TRENTON, MICHIGAN 48183  
CONTACT: BILL SAAD  
PHONE: (734)-692-0777  
EMAIL: BILLSAAD@MICHIGANFUELS.COM

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



**CAUTION!!**  
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UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY  
APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR  
IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.  
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR  
DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS  
PRIOR TO THE START OF CONSTRUCTION.



**CLIENT**  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48183

**PROJECT TITLE**  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

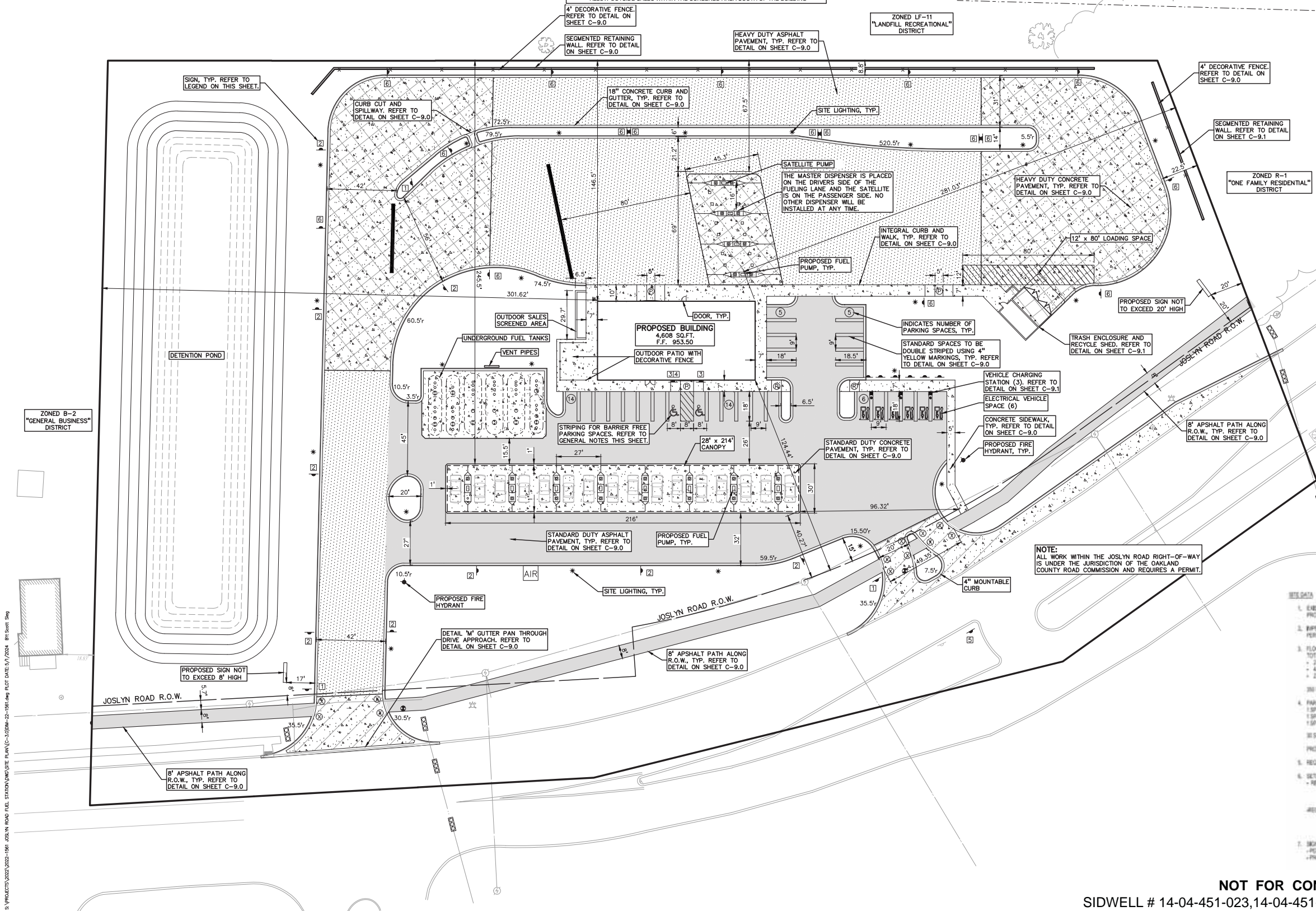
**REVISIONS**  
REVISED SITE PLAN LAYOUT 04/30/24

**ORIGINAL ISSUE DATE:**  
FEBRUARY 12, 2024

**DRAWING TITLE**  
**DIMENSIONAL SITE PLAN**

**PEA JOB NO.** 22-1561  
**P.M.** JMB  
**DN.** BV  
**DES.** BV  
**DRAWING NUMBER:**

**C-3.0**



S:\PROJECTS\2022\2022-1561 JOSLYN ROAD FUEL STATION\MSD\SITE PLAN (C-3.0)dwg PLOT DATE: 5/1/2024 8:15:00 AM

**NOT FOR CONSTRUCTION**  
SIDWELL # 14-04-451-023,14-04-451-024, 14-04-451-025, 14-04-451-026



**BENCHMARKS:**  
SITE BENCH MARK NO. 1:  
NW RIM OF A PAVEMENT CATCH BASIN WITHIN THE WEST SIDE OF JOSLYN ROAD AND IN FRONT OF THE PARCEL 4.  
E.L.=951.87' (NAVD88).  
SITE BENCH MARK NO. 2:  
TOP OF NUT OF FIRE HYDRANT IN FRONT OF THE PARCEL 2.  
E.L.=951.66' (NAVD88).  
SITE BENCH MARK NO. 3:  
NE RIM OF A PAVEMENT CATCH BASIN, BEING 27.7' NWLY FROM BM#2 (FIRE HYDRANT) AND IN FRONT OF THE PARCEL 2.  
E.L.=951.24' (NAVD88).  
SITE BENCH MARK NO. 4:  
NE RIM OF A PAVEMENT CATCH BASIN, BEING NEAR THE NE CORNER OF PARCEL 4.  
E.L.=957.14' (NAVD88).  
**FLOOD NOTE:**  
SUBJECT PROPERTY AS DEPICTED HEREIN, DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA (SFHA), ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) NO. 260263, PANEL NO. 0369, SUFFIX "F", BEING EFFECTIVE AS OF SEPTEMBER 29, 2006.

**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

**EARTHWORK BALANCING NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

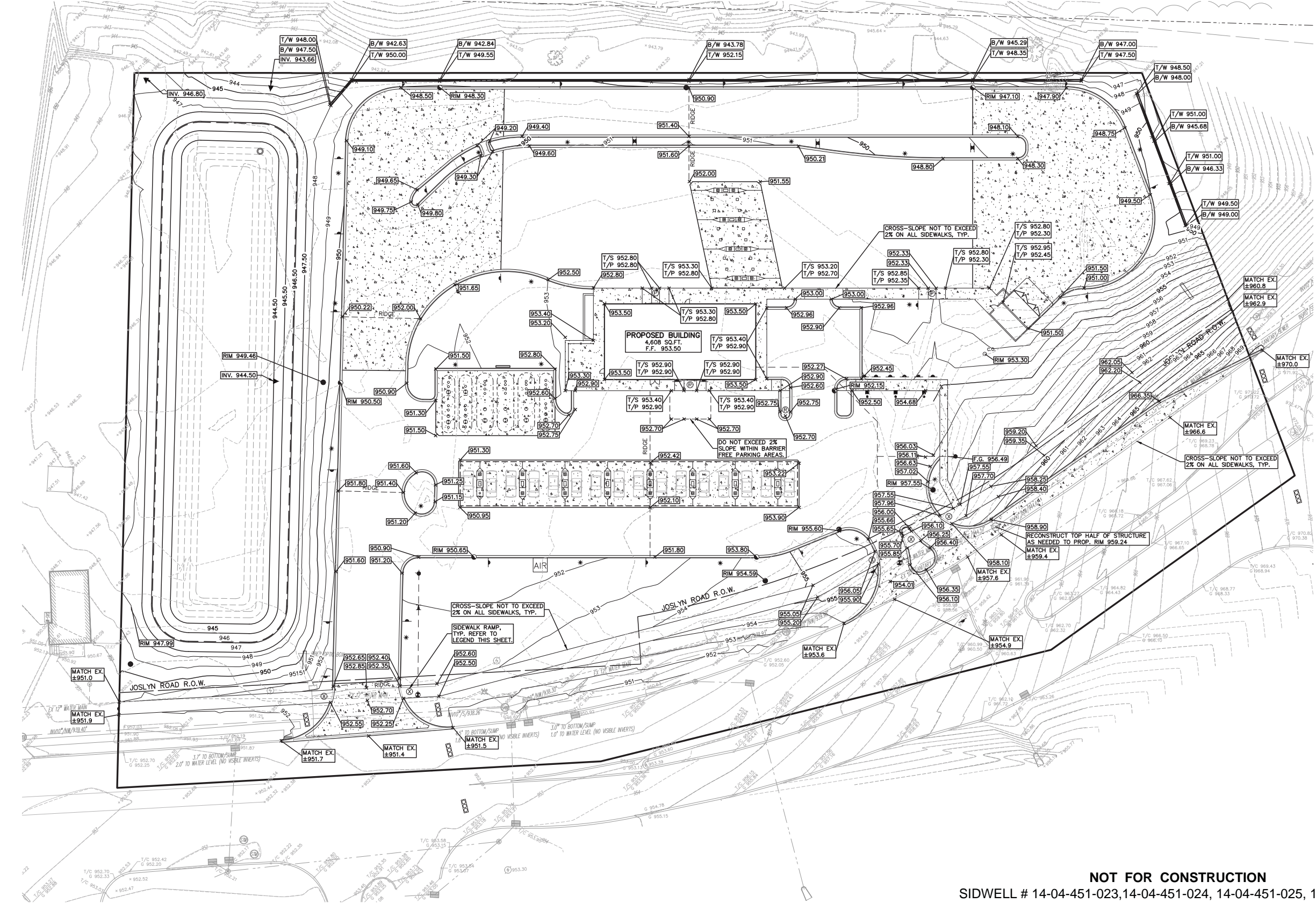
**GRADING LEGEND:**

EXISTING SPOT ELEVATION  
PROPOSED SPOT ELEVATION:  
TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.

EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED REVERSE GUTTER PAN  
PROPOSED RIDGE LINE  
PROPOSED SWALE/DITCH

**ABBREVIATIONS**

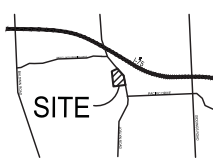
T/C = TOP OF CURB  
T/P = TOP OF PAVEMENT  
T/S = TOP OF SIDEWALK  
T/W = TOP OF WALL  
G = GUTTER GRADE  
F.G. = FINISH GRADE  
RIM = RIM ELEVATION  
B/W = BOTTOM OF WALL



**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



**811** call before you dig  
CAUTION!!  
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CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, NJ 08618

PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS		
REVISED SITE PLAN LAYOUT	04/30/24	

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024  
DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	22-1561
P.I.M.	JMB
DN.	BV
DES.	BV
DRAWING NUMBER:	

**C-4.0**

**NOT FOR CONSTRUCTION**  
SIDWELL # 14-04-451-023, 14-04-451-024, 14-04-451-025, 14-04-451-026

S:\PROJECTS\2022\2022-1561 JOSLYN ROAD FUEL STATION\MO SITE PLAN (C-4)GRADE-22-1561.dwg PLOT DATE: 4/29/2024 81 Scott Shig



**BENCHMARKS:**  
**SITE BENCH MARK NO. 1:**  
NW RIM OF A PAVEMENT CATCH BASIN WITHIN THE WEST SIDE OF JOSLYN ROAD AND IN FRONT OF THE PARCEL 4.  
EL=951.87 (NAVD88).  
**SITE BENCH MARK NO. 2:**  
TOP OF NUT OF FIRE HYDRANT IN FRONT OF THE PARCEL 2.  
EL=951.66 (NAVD88).  
**SITE BENCH MARK NO. 3:**  
NE RIM OF A PAVEMENT CATCH BASIN, BEING 27.7' NWLY FROM BM#2 (FIRE HYDRANT) AND IN FRONT OF THE PARCEL 2.  
EL=951.24 (NAVD88).  
**SITE BENCH MARK NO. 4:**  
NE RIM OF A PAVEMENT CATCH BASIN, BEING NEAR THE NE CORNER OF PARCEL 4.  
EL=957.14 (NAVD88).

**ADDITIONAL UTILITY NOTES:**

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF AUBURN HILLS.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON CL-54, PVC C909 OR HDPE C906 DR11 PER CITY STANDARDS.
- ALL FIRE HYDRANTS SHALL BE EJIW "WATERMASTER" #58R MODEL #250 PER CITY STANDARDS.
- ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURBS, TYP.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
- THE WATER MAIN CONTRACTOR SHALL NOTIFY THE CONSTRUCTION DEPARTMENT OF OHM AT (734) 466-4539 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.
- ALL SANITARY SEWER 10" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2680) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
- ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
- THE CITY OF AUBURN HILLS STANDARD DETAIL SHEETS WILL BE INCORPORATED INTO AND MADE A PART OF THESE PLANS DURING THE ENGINEERING DRAWINGS PHASE. CONTRACTOR TO REFER TO THE CITY OF AUBURN HILLS STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.

**UTILITY NOTES:**

- 12" WIDE PUBLIC EASEMENT SHALL BE PROVIDED FOR THE PUBLIC SECTION OF WATER MAIN ON AND OFF SITE.
- ALL PROPOSED GRADE ELEVATIONS INDICATED ARE TOP OF PAVEMENT OR GUTTER UNLESS NOTED OTHERWISE. ADD 0.50' TO ALL PROPOSED ELEVATIONS TO OBTAIN TOP OF CURB GRADES.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN EASEMENT.
- 5.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAINS.
- 2.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL STORM SEWER.
- 4.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- 18" (MINIMUM) OF VERTICAL CLEARANCE IS REQUIRED BETWEEN UTILITIES.

**FIRE DEPARTMENT NOTES:**

- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS SHALL BE PAINTED ACCORDING TO THE FOLLOWING:  
  
WHITE ON 4" MAINS  
RED ON 6" MAINS  
ORANGE ON 8" MAINS  
GREEN ON 12" MAINS  
BLUE ON 16" MAINS OR LARGER
- NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WIDE PAVED DRIVEWAY OR STREET.
- GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
- A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

**UTILITY LEGEND:**

- OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE  
-UG-CATV- EX. U.G. CABLE TV & PEDESTAL  
-UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE  
-UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE  
- - - - - EX. GAS LINE  
- - - - - EX. GAS VALVE & GAS LINE MARKER  
- - - - - EX. TRANSFORMER & IRRIGATION VALVE  
- - - - - EX. WATER MAIN  
- - - - - EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE  
- - - - - EX. WATER VALVE BOX & SHUTOFF  
- - - - - EX. SANITARY SEWER  
- - - - - EX. SANITARY CLEANOUT & MANHOLE  
- - - - - EX. COMBINED SEWER MANHOLE  
- - - - - EX. STORM SEWER  
- - - - - EX. CLEANOUT & MANHOLE  
- - - - - EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN  
- - - - - EX. YARD DRAIN & ROOF DRAIN  
- - - - - EX. UNIDENTIFIED STRUCTURE  
- - - - - PROPOSED WATER MAIN  
- - - - - PROPOSED HYDRANT AND GATE VALVE  
- - - - - PROPOSED TAPPING SLEEVE, VALVE & WELL  
- - - - - PROPOSED POST INDICATOR VALVE  
- - - - - PROPOSED SANITARY SEWER  
- - - - - PROPOSED SANITARY CLEANOUT & MANHOLE  
- - - - - PROPOSED STORM SEWER  
- - - - - PROPOSED STORM SEWER CLEANOUT & MANHOLE  
- - - - - PROPOSED CATCH BASIN, INLET & YARD DRAIN

**CITY OF AUBURN HILLS STANDARD NOTES:**

- CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS.
- NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.
- A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW.
- ALL CITY STREET MUST BE MAINTAINED DURING CONSTRUCTION. STREET SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
- WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNDAY TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.
- ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.
- UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.
- ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
- FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OFF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
- WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
- 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & McCLIMENT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

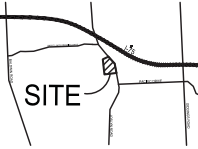
**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



0 15 30 60  
SCALE: 1" = 30'



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CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48103

PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS  
REVISED SITE PLAN LAYOUT 04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**ENGINEERING SITE PLAN**

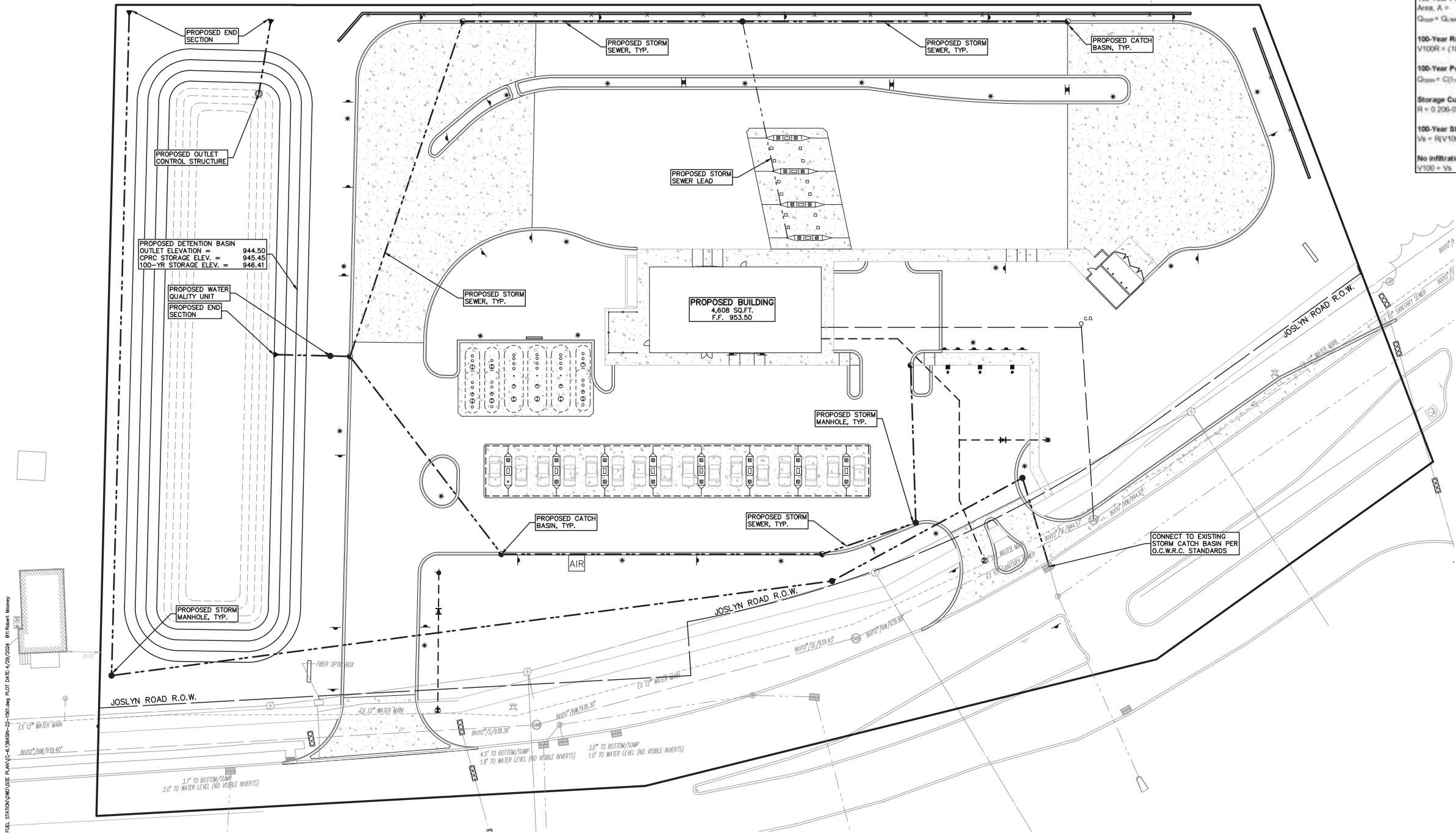
PEA JOB NO. 22-1561  
P.M. JMB  
DN. BV  
DES. BV  
DRAWING NUMBER:

**C-6.0**

**NOT FOR CONSTRUCTION**  
SIDWELL # 14-04-451-023, 14-04-451-024, 14-04-451-025, 14-04-451-026



S:\PROJECTS\2022\2022-1561 JOSLYN ROAD FUEL STATION\SITE PLAN (C-6) (BASIN)-22-1561.dwg PLOT DATE: 4/25/2024 BT:Robert Murray



Detention Basin			
CPVC Storage Elevation:	945.45	19,932	cf
100-yr Storage Elevation:	946.41	44,440	cf
Elev. (ft)	Area (sf)	Vol. (cf)	Total Vol. (cf)
944.50	18,875	0	0
945.50	22,283	21,079	21,079
946.50	27,917	20,600	46,679
947.50	32,778	30,348	77,027
Bottom Elevation of Pond:		944.50	

Rainfall Intensity	
Time of Concentration (Tc)	10.00 min
Since Tc <= 15 min, I = 2.0 in/hr	
I = 30.2 * [(T + 9.17)^-0.81]	2.00 in/hr
I(10 = 50.12 / [(T + 9.17)^0.81]	4.58 in/hr
I(100 = 83.3 / [(T + 9.17)^0.81]	7.62 in/hr
CPVC: Channel Protection Volume Control Volume	
Vcpvc = (4719)CA	13,637 cf
CPVC: Channel Protection Rate Control Volume: Extended Detention	
VED = (6887)CA	18,932 cf
CPVC Allowable Outlet Rate	
Q <sub>out</sub> = V <sub>out</sub> / (48*60*60)	0.12 cfs
Water Quality Control	
Forebay Volume = (545)CA	1,575 cf
Forebay Release Rate: Q <sub>VF</sub> = VF / (48*60*60)	0.01 cfs
100-Year Allowable Outlet Rate	
Q <sub>out</sub> = Q <sub>a</sub>	
Q <sub>out</sub> =	0.77 cfs/ac
Receiving System Restricted Flow Rate Q <sub>VR</sub> =	0.06 cfs/ac
100-Year Peak Allowable Discharge	
Area, A =	5.07 ac
Q <sub>max</sub> = Q <sub>VR</sub> (A)	0.39 cfs
100-Year Runoff Volume	
V <sub>100R</sub> = (18,985)CA	54,865 cf
100-Year Peak Inflow	
Q <sub>max</sub> = C(100)A	22.02 cfs
Storage Curve Factor (Vs/Vi)	
R = 0.206-0.15 * ln(Q100R/Q100IN)	0.810
100-Year Storage Volume	
V <sub>s</sub> = R(V <sub>100R</sub> )	44,440 cf
No infiltration feasible, so no CPVC deduction is taken.	
V <sub>100</sub> = V <sub>s</sub>	44,440 cf

PEA  
GROUP

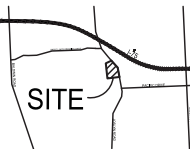
t: 844.813.2949  
www.peagroup.com



0 15 30 60  
SCALE: 1" = 30'



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CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48103

PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS  
REVISED SITE PLAN LAYOUT 04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**DETENTION BASIN CALCULATIONS**

PEA JOB NO. 22-1561  
P.I.M. JMB  
DN. BV  
DES. BV

DRAWING NUMBER:

C-6.1

NOT FOR CONSTRUCTION  
SIDWELL # 14-04-451-023,14-04-451-024, 14-04-451-025, 14-04-451-026



**NOTATION!!**  
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IENT  
**HILL SAAD  
ROPERTIES, LLC**  
WEST JEFFERSON AVE.  
NTON, MI 48183

**JOSLYN ROAD  
FUEL STATION**  
31 JOSLYN ROAD  
BURN HILLS, MI

REVISIONS	
REVISED SITE PLAN LAYOUT	04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

## NOTES AND DETAILS

EA JOB NO.	22-1561
M.	JMB
I.	BV
S.	BV

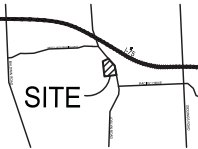
DRAWING NUMBER:

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CLIENT  
**BILL SAAD  
PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48183

PROJECT TITLE  
**JOSLYN ROAD  
FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI


REVISIONS	
REVISED SITE PLAN LAYOUT	04/30/20

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**DETAILS**






PEA JOB NO.	22-1561
P.M.	JME
DN.	BV
DES.	BV

DRAWING NUMBER:



## D-Series Size 1

### LED Area Luminaire

**d-series**



**TYPE "SA", "SA1", "SB"**


### Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series offers outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

### Specifications

SPL:	0.25' x 1'	
Length:	32.11"	
Width:	14.20"	
Height H1:	7.88"	
Height H2:	2.73"	
Weight:	24 lbs	



### Ordering Information

**EXAMPLE: OSK1 LED P7 40K 70CRI 13M MVOLT SPA NLTAR2 P50YH OSKID**


Order ID	SKU	Color temperature	Color Rendering Index	Manufacturer	Height	Quantity	
031110	<b>Forward optics</b>						
	P7	40K	90CRI	70CRI	13M	5' pole 1' radius	<b>Options included</b>
	P7	40K	90CRI	70CRI	13M	5' pole 1' no glow	
	P7	40K	90CRI	70CRI	13M	5' pole 1' radius	
	P7	40K	90CRI	70CRI	13M	5' pole 1' radius	
	P7	40K	90CRI	70CRI	13M	5' pole 1' radius	
	P7	2' pole 2' no glow				8' pole 2' no glow	<b>Options included</b>
	P7	2' pole 2' no glow				8' pole 2' no glow	
	P7	2' pole 2' no glow				8' pole 2' no glow	
	P7	2' pole 2' no glow				8' pole 2' no glow	
P7	2' pole 2' no glow				8' pole 2' no glow		
<b>Related optics</b>							
P7	40K	90CRI	70CRI	13M	5' pole 1' radius	<b>Options included</b>	
P7	40K	90CRI	70CRI	13M	5' pole 1' radius		
P7	40K	90CRI	70CRI	13M	5' pole 1' radius		
P7	40K	90CRI	70CRI	13M	5' pole 1' radius		
P7	40K	90CRI	70CRI	13M	5' pole 1' radius		

[illegible]

# Power Block and Power Link 1000

## Express Plus DC Fast Charging Platform

### Site Design Guide



RESERVED  
PARKING  
ONLY

12" x 18"  
GREEN TEXT WITH BLUE SYMBOL  
ON WHITE REFLECTORIZED  
7'-0" MOUNTING HEIGHT

**ELECTRIC VEHICLE  
PARKING SIGN DETAIL**  
NOT TO SCALE

20'-0"

1" x 45" CHAMFER

#3 TIES @ 12" O.C.

GRADE

#6 BARE GROUND WIRE

4'-0"

18" (MIN.)

3" MIN. COVER

2'-0" DIA.

ANCHOR BOLTS

ROUND FORMED CONCRETE BASE 2'-0" DIA.

NOTE: IN GREEN BELTS, 2'-0" ABOVE OUTER ELEVATION, OR 2'-0" ABOVE 1/2 C

DALVANIZED STEEL CONDUIT "1 1/2"

P.V.C. CONDUIT WITH GREEN GROUND WIRE

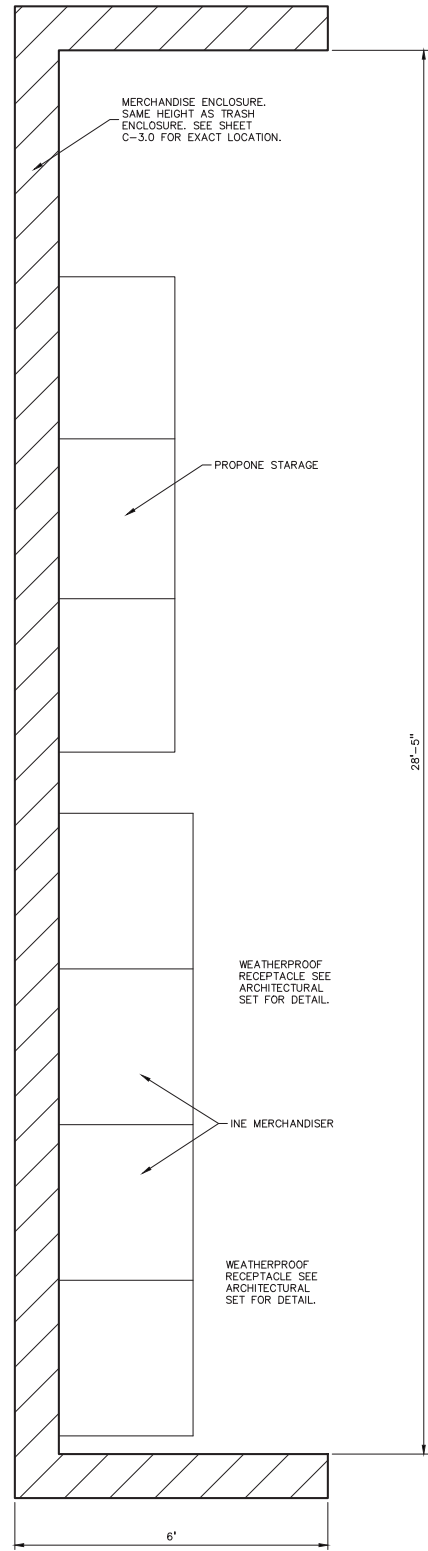
RIGID STEEL TO P.V.C. CONNECTION

4 #8 VERT. REINF. BARS

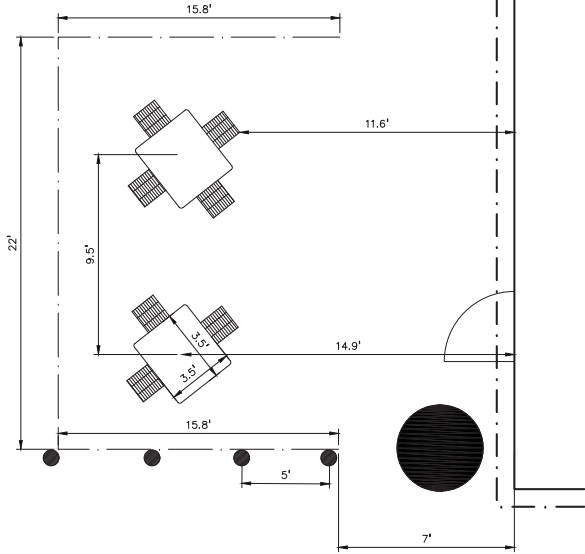
**CONCRETE BASE DETAIL**  
NOT TO SCALE

[illegible]

S:\PROJECTS\2022-2023\22-1561 JOSLYN ROAD FUEL STATION\MID SITE PLAN (C-9)\NOTES-22-1561.dwg PLOT DATE: 4/29/2024 BY: Scott Sey

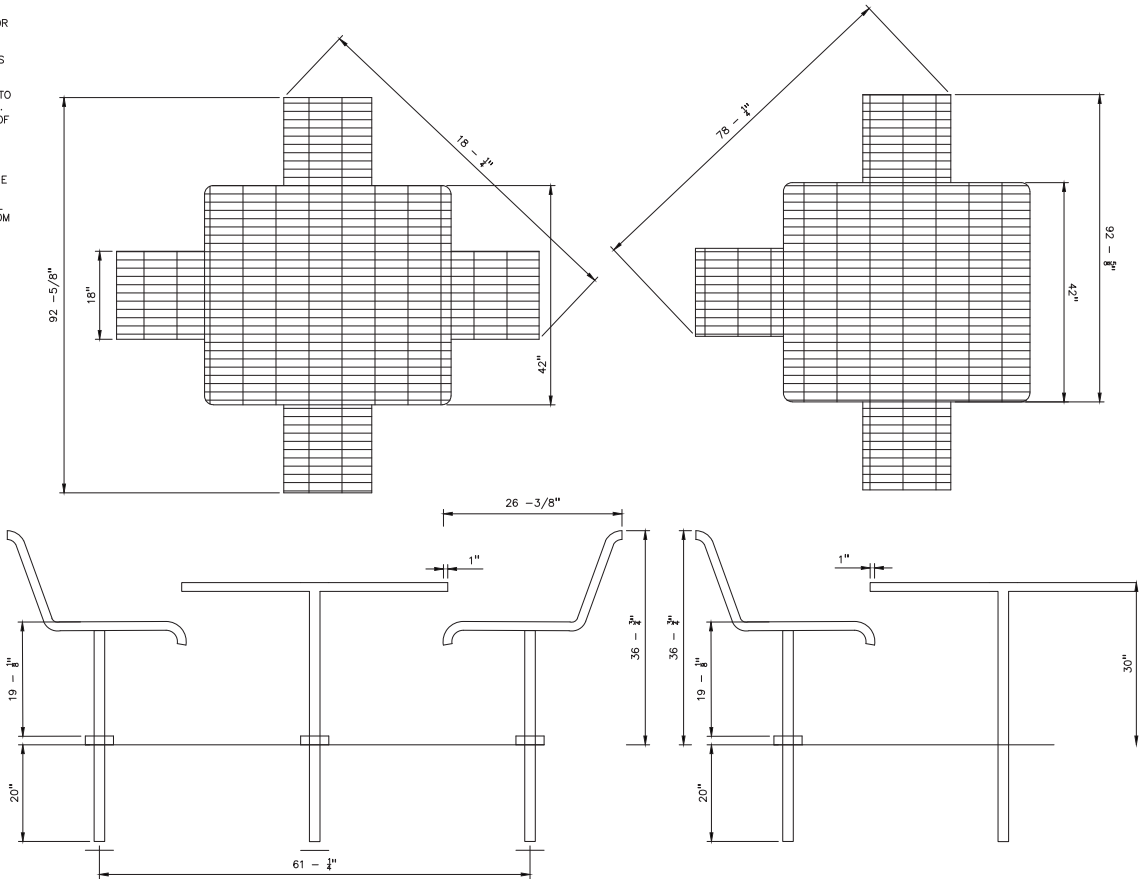


FOUNDATION PLAN  
MERCHANDISE ENCLOSURE  
NOT TO SCALE

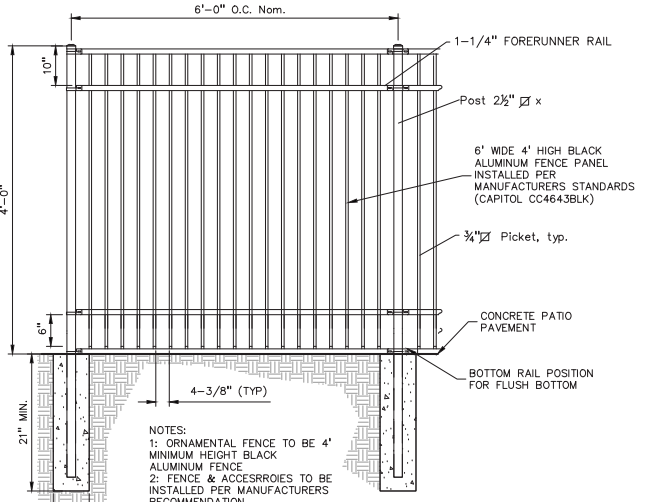


OUTDOOR SEATING BLOWUP DETAIL  
NOT TO SCALE

- OUTDOOR SEATING AREA NOTES:
1. PROVIDE STANDARD 6" (NON-ILLUMINATED) BOLLARD PROTECTION FOR THE OUTDOOR SEATING AREA WHERE ADJACENT TO TRAFFIC AISLE UNLESS A 7' SIDEWALK IS PRESENT.
  2. MINIMUM TWO OUTDOOR TABLES AT 3900 AND 4600 CAFE LOCATIONS
  3. IF IT IS DECIDED THAT THE LOCATION IS NOT TO BE A CAFE, THE OUTDOOR SEATING AREA SHALL BECOME GREEN SPACE OR PARKING.
  4. THE PREFERRED EXTERIOR SEATING AREA SHALL BE LOCATED NEXT TO THE SIDE EXIT DOOR CLOSEST TO THE POINT OF THE SALE COUNTER.
  5. A 48" HIGH DECORATIVE FENCE SHALL BE ERECTED ON A MINIMUM OF THREE SIDES OF THE EXTERIOR SEATING AREA. USE CAPITAL CC4643BLK AS PREFERRED FACE MANUFACTURER OR EQUIVALENT.
  6. NO PASS-THRU PEDESTRIAN TRAFFIC SHALL BE DESIGNED IN THE OUTDOOR SEATING AREA..
  7. DUMPSTER ENCLOSURE AREA SHALL BE NO CLOSER TO 50' FROM THE OUTDOOR SEATING AREA. (PREF. ON OPPOSITE SIDE OF BUILDING).
  8. CAFE SEATING FURNITURE (TABLES, UMBRELLAS AND CHAIRS). MODEL NUMBERS :POK1561 AND POK1665. SHALL BE OWNERS SUPPLIED FROM WABASH VALLEY MANUFACTURING, INC AND CONTRACTOR INSTALLED.



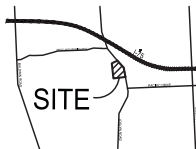
CAFE SEATING DETAIL  
NOT TO SCALE



FENCE DETAIL  
NOT TO SCALE



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CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48103

PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS  
REVISED SITE PLAN LAYOUT 04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**DETAILS**

PEA JOB NO. 22-1561  
P.I.M. JMB  
DN. BV  
DES. BV

DRAWING NUMBER:

C-9.2



FIRE DEPARTMENT NOTES:

- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS SHALL BE PAINTED ACCORDING TO THE FOLLOWING:  
  
WHITE ON 4" MAINS  
RED ON 6" MAINS  
ORANGE ON 8" MAINS  
GREEN ON 12" MAINS  
BLUE ON 16" MAINS OR LARGER
- NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WIDE PAVED DRIVEWAY OR STREET.
- GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERCTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
- A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

GENERAL NOTES:

- NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.

SIGN LEGEND:

NO PARKING FIRE LANE' SIGN  
REFER TO SHEET C-9.0 FOR DETAILS

LEGEND:

CONCRETE PAVEMENT  
ASPHALT PAVEMENT  
CONCRETE CURB AND GUTTER  
REVERSE GUTTER PAN  
SETBACK LINE  
SIGN  
LIGHTPOLE

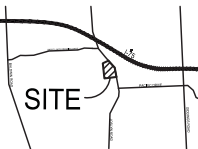
PEA GROUP  
t: 844.813.2949  
www.peagroup.com



0 15 30 60  
SCALE: 1" = 30'



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CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, MI 48183

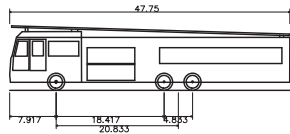
PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS  
REVISED SITE PLAN LAYOUT 04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**FIRE TRUCK MOVEMENT**

PEA JOB NO. 22-1561  
P.M. JMB  
DN. BV  
DES. BV  
DRAWING NUMBER:



E-ONE HP95 Mid Mount  
Overall Length 47.750ft  
Overall Width 8.333ft  
Overall Body Height 11.000ft  
Min Body Ground Clearance 1.393ft  
Track Width 8.333ft  
Lock-to-lock time 6.00s  
Max Wheel Angle 45.00°

NOT FOR CONSTRUCTION

SIDWELL # 14-04-451-023,14-04-451-024, 14-04-451-025, 14-04-451-026

C-10.0







FOR ALL NATIVE SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP.  
NO INVASIVE OR AGGRESSIVE SPECIES ALLOWED IN ANY NATIVE SEED MIXES.  
INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS.

BY STANTEC NATIVE PLANT NURSERY 574-586-2412  
stantec.com/native-plant-nursery OR APPROVED EQUAL

**Swale Seed Mix**

BY STANTEC NATIVE PLANT NURSERY 574-586-2412  
stantec.com/native-plant-nursery OR APPROVED EQUAL

Botanical Name	Common Name
<b>Permanent Grasses/Sedges:</b>	
<i>Andropogon gerardi</i>	Big Bluestem
<i>Carex comosa</i>	Brittly Sedge
<i>Carex cristata</i>	Crested Oval Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex spp.</i>	Prairie Sedge Mix
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Glycena striata</i>	Fowl Manna Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Scirpus atrovirens</i>	Dark Green Rush
<i>Scirpus cyperinus</i>	Wool Grass
<i>Spartina pectinata</i>	Prairie Cord Grass

**Temporary Cover:**  
*Avena sativa* Common Oat  
*Lolium multiflorum* Annual Rye

<b>Forbs:</b>	
<i>Atisma spp.</i>	Water Plantain (Various Mix)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Carex spp.</i>	Tall Coreopsis
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed
<i>Helianthus annuus</i>	Blue Flag
<i>Liatris spicata</i>	Marsh Blazing Star
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Rudbeckia hirta</i>	Brown-Eyed Susan
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Senna hebecarpa</i>	Wild Senna
<i>Stiphium terebinthinaceum</i>	Prairie Dock
<i>Symphoricarum novae-angliae</i>	New England Aster
<i>Verbena hastata</i>	Blue Vervain
<i>Zizia aurea</i>	Golden Alexanders

**Stormwater Seed Mix**

BY STANTEC NATIVE PLANT NURSERY 574-586-2412  
stantec.com/native-plant-nursery OR APPROVED EQUAL

Botanical Name	Common Name
<b>Permanent Grasses/Sedges/Rushes:</b>	
<i>Boboschoenus fluviatilis</i>	River Bulrush
<i>Carex cristata</i>	Crested Oval Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Glycena striata</i>	Fowl Manna Grass
<i>Juncus effusus</i>	Common Rush
<i>Leersia oryzoides</i>	Rice Cut Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush
<i>Scirpus atrovirens</i>	Dark Green Rush
<i>Scirpus cyperinus</i>	Wool Grass

**Temporary Cover:**  
*Avena sativa* Common Oat  
*Lolium multiflorum* Annual Rye

<b>Forbs &amp; Shrubs:</b>	
<i>Atisma spp.</i>	Water Plantain (Various Mix)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Bidens spp.</i>	Bidens (Various Mix)
<i>Helianthus autumnale</i>	Sneezeweed
<i>Iris virginica</i>	Blue Flag
<i>Lycopus americanus</i>	Common Water Horehound
<i>Mimulus ringens</i>	Monkey Flower
<i>Oligoneuron rickdallii</i>	Riddell's Goldenrod
<i>Penthorum sedoides</i>	Ditch Stonewort
<i>Polygonum spp.</i>	Pinkweed (Various Mix)
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Rudbeckia hirta</i>	Brown-Eyed Susan
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Senna hebecarpa</i>	Wild Senna
<i>Symphoricarum novae-angliae</i>	New England Aster
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue

**Economy Prairie Seed Mix**

CARDNO 574-586-2412  
cardnonativeplantnursery.com

Botanical Name	Common Name
<b>Permanent Grasses/Sedges/Rushes:</b>	
<i>Andropogon gerardi</i>	Big Bluestem
<i>Bouteloua curtipendula</i>	Side Oats Grama
<i>Carex spp.</i>	Prairie Sedge Mix
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Panicum virgatum</i>	Switch Grass
<i>Schizachyrium scoparium</i>	Little Bluestem
<i>Sorghastrum nutans</i>	Indian Grass

**Temporary Cover:**  
*Avena sativa* Common Oat  
*Lolium multiflorum* Annual Rye

<b>Forbs &amp; Shrubs:</b>	
<i>Asclepias syriaca</i>	Common Milkweed
<i>Asclepias tuberosa</i>	Butterfly Weed
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Coreopsis lanceolata</i>	Sand Coreopsis
<i>Echinacea purpurea</i>	Broad-leaved Purple Coneflower
<i>Helianthus annuus</i>	False Sunflower
<i>Lupinus perennis</i>	Wild Lupine
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Penstemon digitalis</i>	Forward Beard Tongue
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Ratibida pinnata</i>	Yellow Coneflower
<i>Rudbeckia hirta</i>	Black-Eyed Susan
<i>Solidago speciosa</i>	Snowy Goldenrod
<i>Symphoricarum laeve</i>	Smooth Blue Aster
<i>Symphoricarum novae-angliae</i>	New England Aster

**PER CITY OF AUBURN HILLS:**

- ALL INSTALLED TREES ARE TO HAVE A STRAIGHT TRUNK.
- ALL INSTALLED TREES ARE TO BE NORTHERN GROWN.
- ALL INSTALLED TREES ARE TO BE STATE DEPARTMENT OF AGRICULTURE NURSERY GRADE NO. 1 OR BETTER.
- ALL REPLACEMENT TREES ARE CONSIDERED PROTECTED REGARDLESS OF SIZE.
- ALL TREES SHALL BE GUARANTEED FOR A MINIMUM OF TWO YEARS.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM.
- IF EVERGREEN TREES ARE IN MULCHED BEDS, PROVIDE SEPARATE ZONE FROM LAWN, AVOID OVERHEAD SPRAY.

**9 AUBURN HILLS LANDSCAPE NOTES**

NOT TO SCALE

**PER CITY OF AUBURN HILLS:**

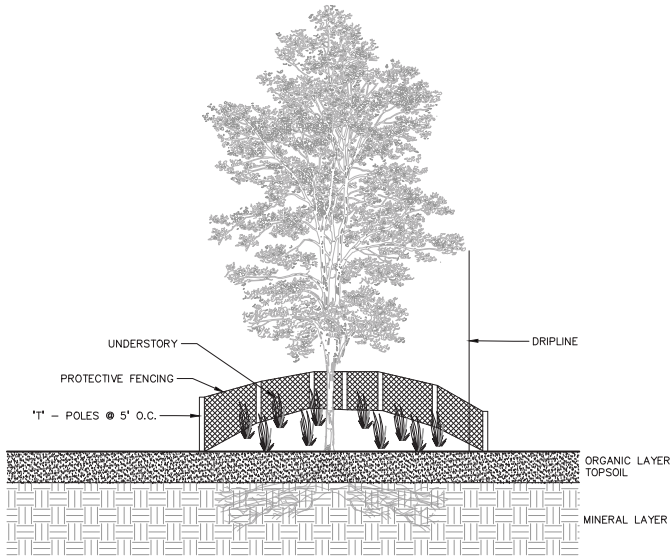
- IDENTIFY ON SITE ALL TREES OR AREAS OF TREES WHICH ARE BEING PROPOSED TO BE PRESERVED WITH FLUORESCENT ORANGE SPRAY PAINT (CHALK BASE) OR BY RED FLAGGING TAPE.
- ERECT BARRIERS OF FOUR (4) FOOT HIGH FENCING STAKED WITH METAL "T-POSTS" FIVE (5) FEET ON CENTER OF ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN.
- PROTECTIVE BARRIERS ARE TO BE ERRECTED PRIOR TO ANY CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED.
- KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER.
- DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE FENCE LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE OF EQUIPMENT, DUMPSTERS, Boulders, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
- NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES), SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.

**6 AUBURN HILLS TREE PROTECTION NOTE**

NOT TO SCALE

**3 TREE PROTECTION DETAIL**

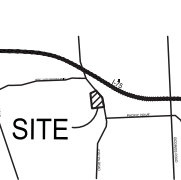
SCALE: 1" = 3'-0"



**811**

www.811.org  
Call before you dig.

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CLIENT  
**BILL SAAD PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, NJ 08611

PROJECT TITLE  
**JOSLYN ROAD FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS  
REVISED SITE PLAN LAYOUT 04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO. 22-1561  
P.M. JMB  
DN. JLE  
DES. JLE

DRAWING NUMBER:

**PER CITY OF AUBURN HILLS:**  
**SECTION 138-12.109 MAINTENANCE:**

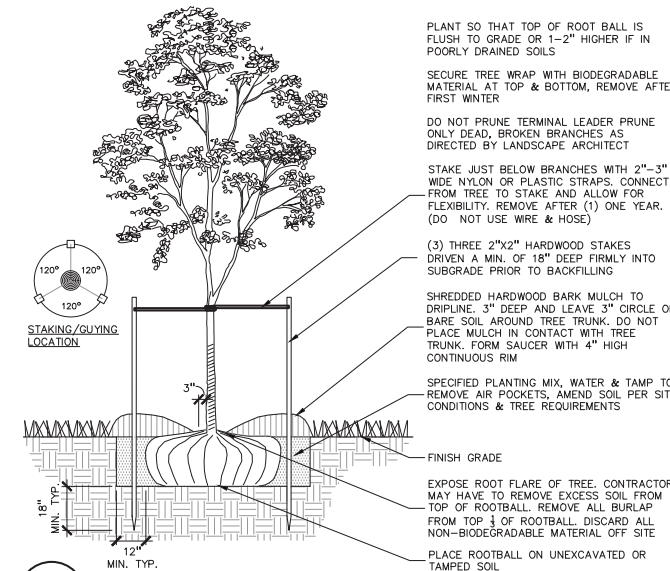
- THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING AS FOLLOWS:
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
  - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVED DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
  - ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST, FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1, PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
  - THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL OF PLAN MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.109 WILL PLACE THE PARCEL IN NON CONFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
  - IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

**5 AUBURN HILLS MAINTENANCE NOTES**

NOT TO SCALE

**2 EVERGREEN TREE PLANTING DETAIL**

SCALE: 1" = 3'-0"



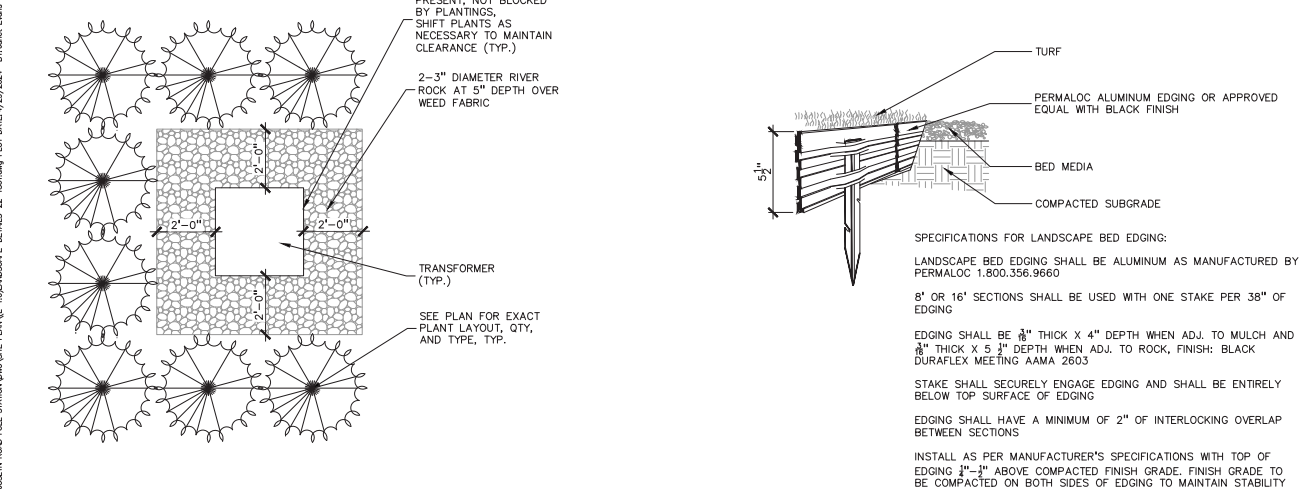
**1 DECIDUOUS TREE PLANTING DETAIL**

SCALE: 1" = 3'-0"



SIDWELL # 14-04-451-023,14-04-451-024, 14-04-451-025, 14-04-451-026

**L-1.1**

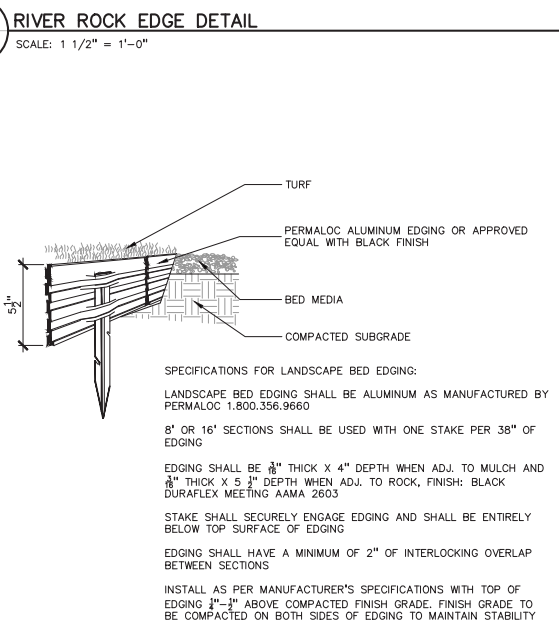


**10 TRANSFORMER SCREENING DETAIL- ACCESS REFERENCE ONLY**

SCALE: 1" = 3'-0"

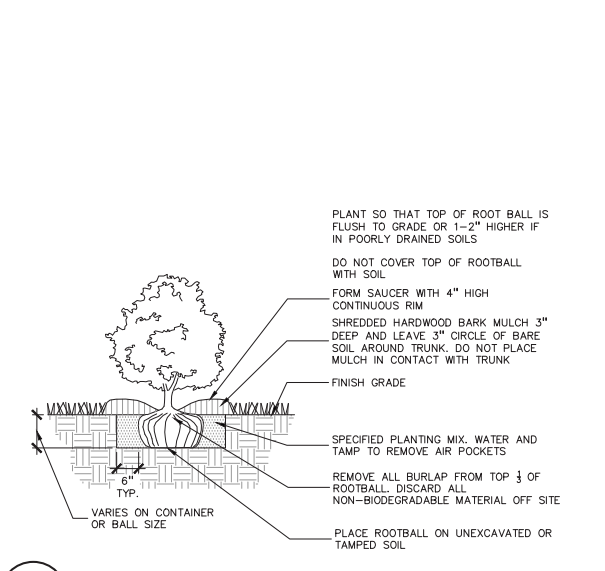
**7 ALUMINUM EDGE DETAIL**

SCALE: 1/2" = 1'-0"



**4 SHRUB PLANTING DETAIL**

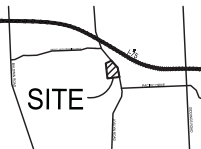
SCALE: 1" = 2'-0"



S:\PROJECTS\2023\2023-1561 JOSLYN ROAD FUEL STATION\DWG\SITE PLAN\L-1-01 LANDSCAPE-DETAILS-22-1561.dwg PLOT DATE: 4/29/2024 8:41:04 AM



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CLIENT

**BILL SAAD  
PROPERTIES, LLC**  
1 WEST JEFFERSON AVE.  
TRENTON, NJ 08610

PROJECT TITLE

**JOSLYN ROAD  
FUEL STATION**  
3681 JOSLYN ROAD  
AUBURN HILLS, MI

REVISIONS

REVISED SITE PLAN LAYOUT 04/30/24

ORIGINAL ISSUE DATE:  
FEBRUARY 12, 2024

DRAWING TITLE

**TREE SURVEY  
PLAN**

PEA JOB NO. 22-1561

P.I.M. JMB

DN. BV

DES. BV

DRAWING NUMBER:

**T-1.0**

#### DEFINITION OF RATINGS:

- \* GOOD:** The tree appears to be in a healthy and satisfactory condition with an overall sound stem structure and with a full and balanced crown; the growth habit appears normal; there is no indication of pests or diseases present; and the life expectancy is judged to be greater than twenty-five (25) years.
- \* FAIR:** The tree appears to be in a healthy and satisfactory condition with a minimum of structural problems and with minor crown imbalance or thin crown; the growth habit appears normal; there is no indication of pests or diseases present; and the life expectancy is judged to be greater than twenty (20) years.
- \* POOR:** The tree appears to be in an unhealthy condition with structural problems and with major crown imbalance, dead or dying limbs, or growth only in the top quarter of the tree; the growth habit is misshapen and askew; there is evidence of pests or diseases present; and the life expectancy is judged to be less than ten (10) years.
- \* VERY POOR (V. Poor):** The tree appears to be in an unhealthy condition with major structural problems and with major crown imbalance or several dead limbs and/or peeling bark; the growth habit is severely misshapen and askew; there is evidence of pests or diseases present; and the life expectancy is judged to be less than five (5) years.
- \* DEAD:** The tree has no live branches, is topped, or has fallen.

NOTE: PREVIOUSLY SUBMITTED TREE INVENTORY AND TREE LIST (THIS SHEET) BY OTHERS

#### TREE INVENTORY LIST

No.	Size	Botanical Name	Common Name	Condition	Comments	Regulation	Landmark
1	26"	Ulmus americana	American Elm	Fair	DL	NR (Specimen)	
2	18"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
3	12", 22"	Acer saccharinum	Silver Maple	Fair		NR (Specimen)	
4	30"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
5	28"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
6	42"	Betula sp.	White Birch	Poor	DL	NR (Specimen)	
7	21"	Ulmus parviflorus	Chinese Elm	V. Poor	DL	NR (Specimen)	
8	25", 30"	Quercus rubra	Red Oak	Fair		R	LM
9	42"	Acer rubrum	Red Maple	Fair		R	LM
10	7"	Acer negundo	Box Elder	Poor	DL	NR (Specimen)	
11	7", 12"	Acer negundo	Box Elder	Poor	DL, W	NR (Specimen)	
12	7"	Acer negundo	Box Elder	Poor	DL	NR (Specimen)	
13	7", 8", 11"	Acer negundo	Box Elder	Poor	DL, W	NR (Specimen)	
14	13"	Acer negundo	Box Elder	V. Poor	DL, M	NR (Specimen)	
15	35"	Populus deltoides	Cottonwood	Poor	VC, DL, NC	NR (Specimen)	
16	11"	Populus deltoides	Cottonwood	Poor	VC, DL, NC	NR (Specimen)	
17	18"	Ulmus americana	American Elm	Poor	DL, TD	NR (Specimen)	
18	30"	Populus deltoides	Cottonwood	V. Poor	VC, DL, NC	NR (Specimen)	
19	21"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
20	21"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
21	22"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
22	30"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
23	18"	Populus deltoides	Cottonwood	Poor	DL, NC	NR (Specimen)	
24	17"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
25	20"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
26	18"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
27	18"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
28	21"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
29	1"	Abutilon rubra	Mulberry	Poor	DL, M, W	NR (Specimen)	
30	17"	Populus deltoides	Cottonwood	Fair		NR (Specimen)	
31	13", 21"	Populus deltoides	Cottonwood	V. Poor	DL, NC, W	NR (Specimen)	
32	14", 17", 20"	Populus deltoides	Cottonwood	Poor	DL, NC	NR (Specimen)	
33	7", 8", 10"	Acer negundo	Box Elder	V. Poor	DL, NC, W	NR (Specimen)	
13	8"	Gladiolus bicolor	Honeylocust	Fair		R	
13	8"	Pinus pungens	Blue Spruce	Fair		R	
12"	12"	Austrian Pine	Pinus nigra	Fair		R	

Total No. of Trees: 38  
Comments abbreviations: DL - Dead limbs; M - Misshapen; NC - Narrow stem; VC - Vine covered; W - Weeping stem

**NOT FOR CONSTRUCTION**

SIDWELL # 14-04-451-023, 14-04-451-024, 14-04-451-025, 14-04-451-026



**GOVERNING CODES**

**BUILDING:**  
COMMERCIAL:

MBC 2015 (MICHIGAN BUILDING CODE 2015)  
EFFECTIVE APRIL 20, 2017  
ACCESSIBILITY – ICC ANSI A117.1–2009

**PLUMBING:**  
COMMERCIAL:

MPC 2018 (MICHIGAN PLUMBING CODE 2018)  
EFFECTIVE SEPTEMBER 15, 2021

**MECHANICAL:**  
COMMERCIAL:

MMC 2015 (MICHIGAN MECHANICAL CODE 2015)  
EFFECTIVE APRIL 12, 2017

**FUEL GAS:**

IFGC 2015 (INTERNATIONAL FUEL GAS CODE 2015)  
EFFECTIVE APRIL 20, 2017

**ELECTRICAL:**  
COMMERCIAL:

NEC 2017 (STATE OF MICHIGAN ELECTRICAL CODE)  
2017 NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS  
EFFECTIVE JANUARY 4, 2019

**REHAB:**

MRCEB 2015 (MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015) EFFECTIVE DECEMBER 13, 2016

**FIRE CODE:**

IFC 2015 (INTERNATIONAL FIRE CODE 2015), AS REFERENCED IN THE 2015 MICHIGAN BUILDING CODE.

**FIRE SUPPRESSION:**  
COMMERCIAL:

NFPA 13 (2010)

**FIRE ALARM:**  
COMMERCIAL:

NFPA 72 (2013)

**ENERGY CODE:**  
COMMERCIAL:

MBC 2015 (MICHIGAN BUILDING CODE 2015) – CHAPTER 13 & MEC 2015 (MICHIGAN ENERGY CODE 2015) – CHAPTER 1 THROUGH 6 & MICHIGAN ENERGY CODE, PART 10a, RULES (ANSI/ASHREA/IES STANDARD 90.1–2013 EFFECTIVE FEBRUARY 8, 2016

**INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS MINIMUM CRITICAL RADIANT FLUX REQUIREMENTS, NON-SPRINKLED SECTION 804.4.1**

USE GROUPS	ENCLOSURE FOR STAIRWAYS AND RAMP, EXIT PASSAGEWAYS, CORRIDORS AND ROOMS OR SPACES NOT SEPARATED FROM CORRIDORS BY PARTITIONS EXTENDING TO THE UNDERSIDE OF THE CEILING		
M MERCANTILE	MINIMUM CLASS II		

**FIRE SPREAD RATING INTERIOR WALL AND CEILING FINISH REQUIREMENTS NON-SPRINKLED TABLE 803.9**

INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP	ROOMS OR ENCLOSED SPACES
USE GROUP	WALLS CLASS B CEILING CLASS B	WALLS CLASS B CEILING CLASS B
M MERCANTILE	WALLS CLASS B CEILING CLASS B	WALLS CLASS C CEILING CLASS C

**EGRESS WIDTH REQUIRED** TABLE 1005.3.2

CODE: MICHIGAN BUILDING CODE 2015 EDITION

USE GROUP: M MERCANTILE

EGRESS REQUIRED: 0.20 LINEAL INCHES PER OCCUPANT

61 OCCUPANTS x 0.20 LINEAL INCHES PER OCCUPANT = 12.2 INCHES MERCANTILE AREA

TOTAL REQUIRED EGRESS WIDTH:	12.2 INCHES
TOTAL PROVIDED EGRESS WIDTH:	136.0 INCHES SALES AREA
MINIMUM NUMBER OF EXITS, TABLE 1006.3.1:	2 REQUIRED, 3 PROVIDED

**BUILDING CODE COMPLIANCE**

CODE: MICHIGAN BUILDING CODE 2015 EDITION

**USE GROUP CLASSIFICATION**  
BUILDING USE: M – MERCANTILE, (PER SECTION 309.1) NON SEPARATED USES  
TYPE OF CONSTRUCTION: III B (3B) (SEC. 602.3, TABLE 601)

BUILDING FLOOR AREA	4,608 S.F. Not Sprinkled
INTERIOR USABLE FLOOR AREA	3,049 S.F.
BUILDING HEIGHT	1 STORY
LENGTH OF TRAVEL	200 FT. MAX. (TABLE 1017.2) WITHOUT SPRINKLER SYSTEM

**OCCUPANT LOAD** TABLE 1004.1.2

CODE: MICHIGAN BUILDING CODE 2015 EDITION

USE GROUP: M MERCANTILE

GRADE FLOOR AREAS (SALES AREA)

1 OCCUPANT PER 60 SQ.FT. GROSS (2,407 SQ.FT./60 SQ. FT.)	= 41 PEOPLE
UNCONCENTRATED (TABLE AND CHAIRS)	
1 OCCUPANT PER 15 SQ.FT. GROSS (214 SQ.FT./15 SQ. FT.)	= 14 PEOPLE
KITCHEN COMMERCIAL	
1 OCCUPANT PER 200 SQ.FT. GROSS (343 SQ.FT./200 SQ. FT.)	= 2 PEOPLE
STOCK ROOM (INVENTORY STAGING)	
1 OCCUPANT PER 300 SQ.FT. GROSS (1,008 SQ.FT. /300 SQ. FT.)	= 4 PEOPLE
TOTAL REQUIRED OCCUPANT LOAD	= 61 PEOPLE

DESIGN

SQUARED

2

G

BUILD

INC.

G Squared Design Build Inc.

5119 Highland Rd.

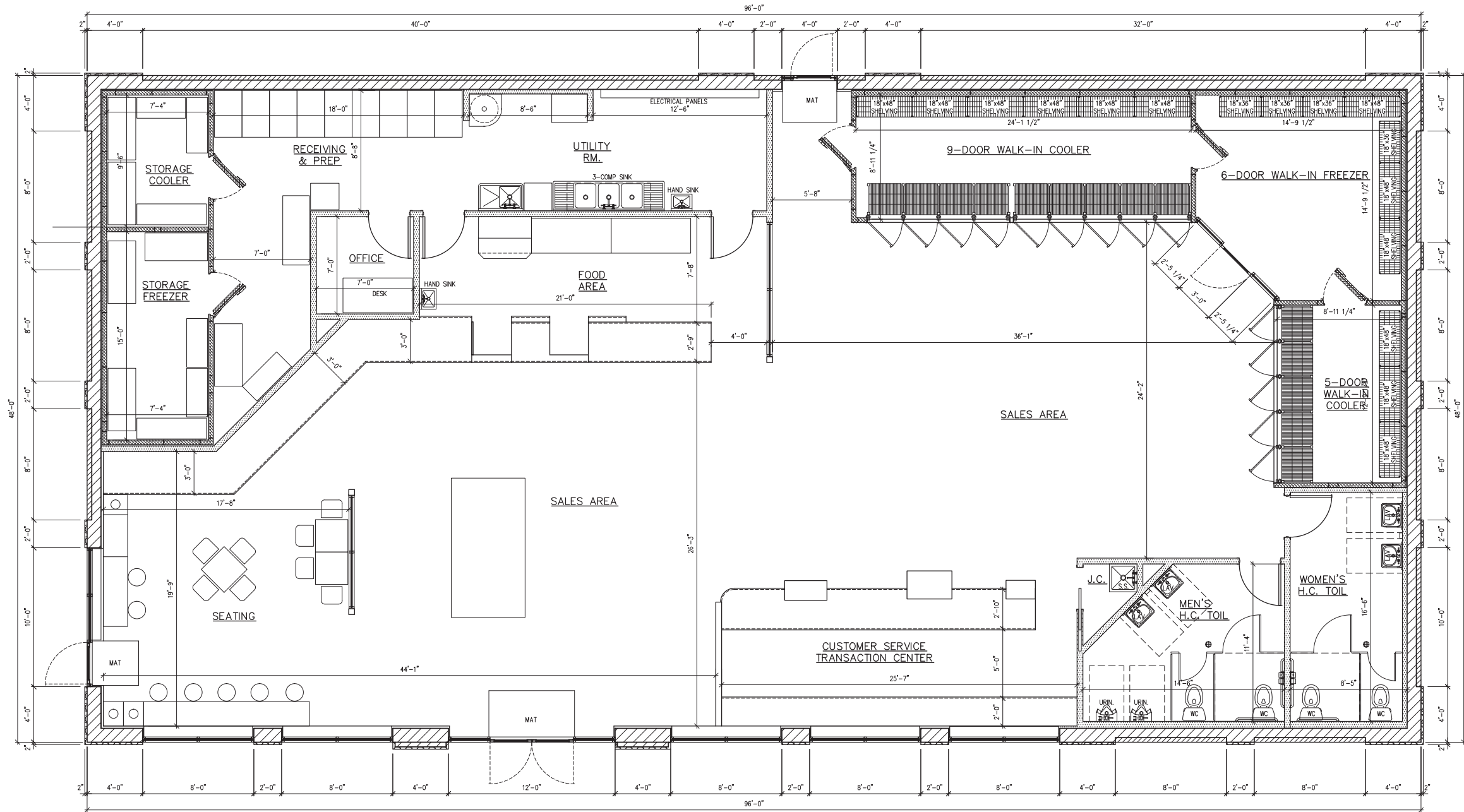
Suite 197

Waterford, MI 48327

JOSEPH V. DEMSKI  
Architect

CONTACT: RONALD M. KACHMAN  
248-703-5076

Date	Revision
08/21/23	PRELIMINARY FLOOR PLAN TO OWNER FOR REVIEW
09/21/23	PRELIMINARY ELEVATIONS TO OWNER FOR REVIEW
10/02/23	REVISE FLOOR PLAN AND ELEVATIONS PER OWNER
10/24/23	REVISE ELEVATIONS PER OWNER NEW SCHEME
02/05/24	ADD CODES AND SCREENING DETAIL
02/05/24	SUBMIT FOR SITE PLAN APPROVAL



FLOOR PLAN

SCALE: 1/4" = 1'-0"

Sheet Title

FLOOR PLAN

Job Description

PROPOSED  
CONVENIENCE STORE  
AND GAS STATION  
RENOVATION  
for  
MICHIGAN FUELS, INC.  
1 WEST JEFFERSON  
TRENTON MI 48183

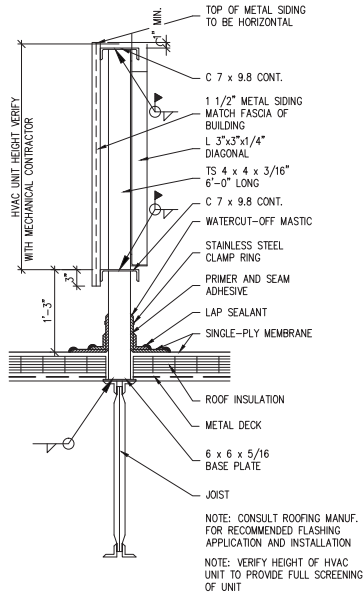
PROPERTY LOCATION  
JOSLYN RD. & PACIFIC RD.  
OAKLAND COUNTY  
AUBURN HILLS, MI 48326

Job Number

23-0510

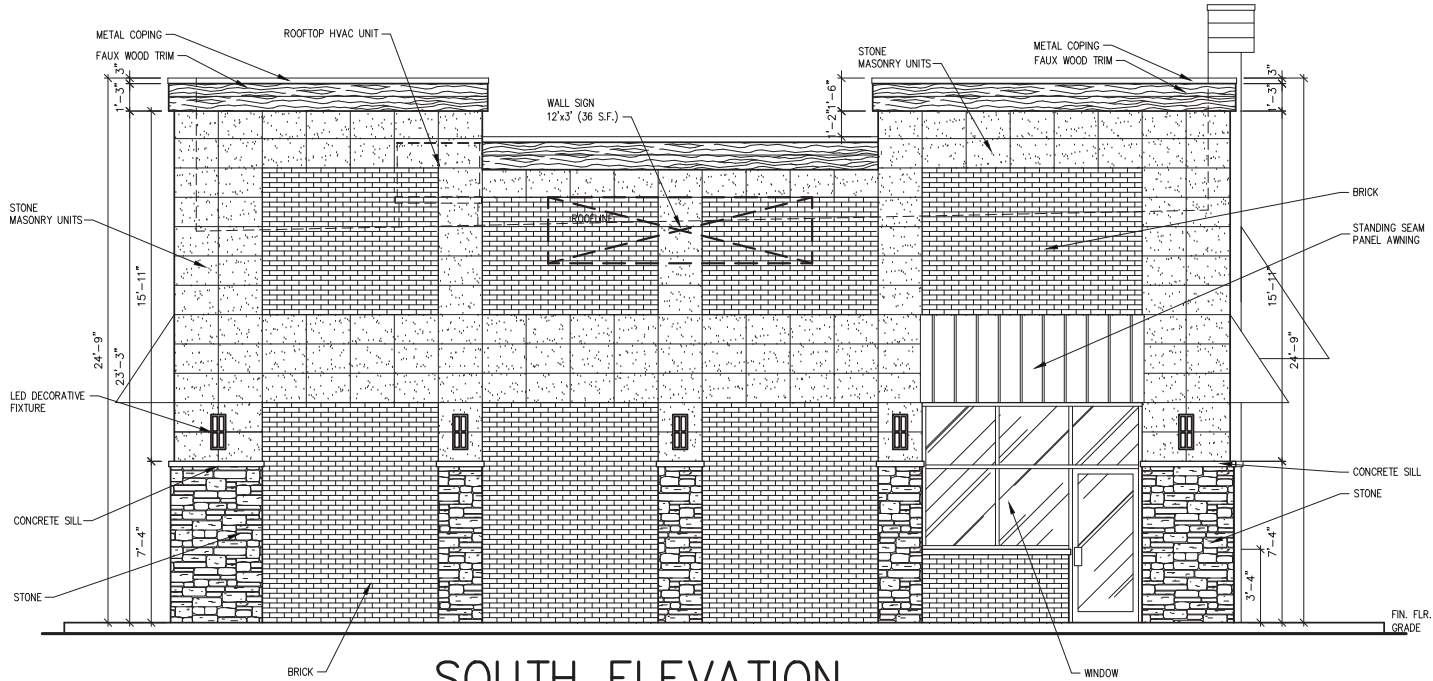
Sheet Number

A-1

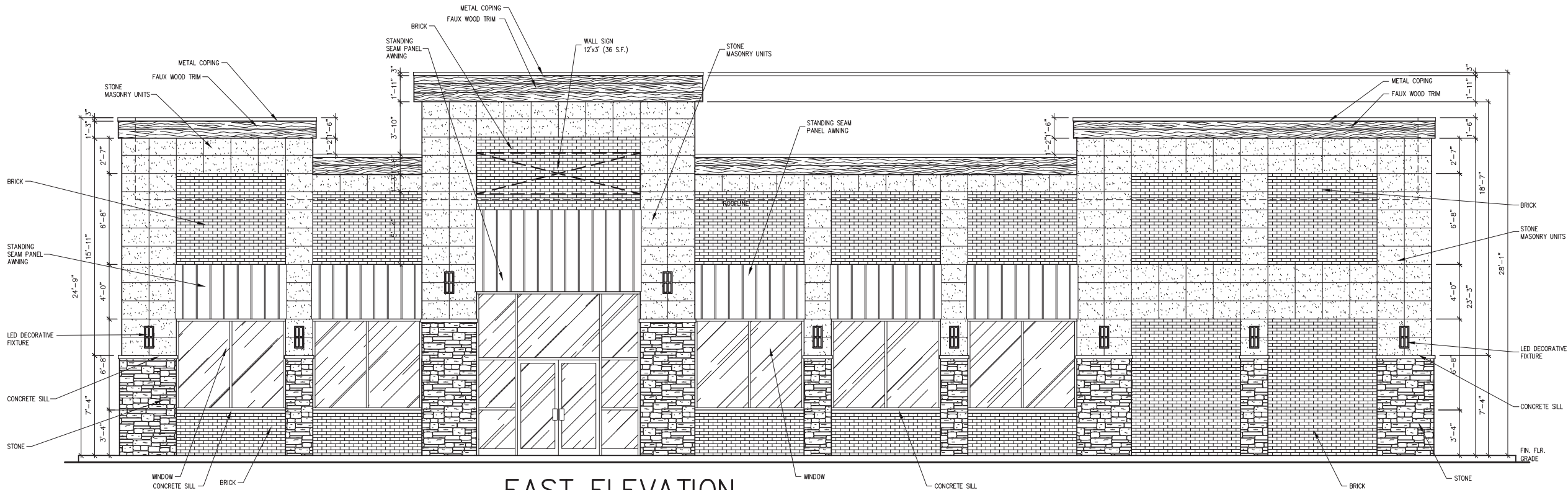


ROOF SCREENING DETAIL  
NO SCALE

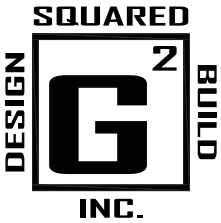
SCHEDULE OF MATERIALS					
MATERIAL	DESCRIPTION	COLOR	MATERIAL	DESCRIPTION	COLOR
COMPOSIT CLADDING	"FIBERON" COMPOSITE CLADDING, EDEN COLLECTION 1x6	MERANTI	BRICK	"BELDEN BRICK", MODULAR STANDARD COLOR MORTAR	BLACK DIAMOND VELOUR
STONE MASONRY UNITS	"SHOULDERICE DESIGNER DIMENSION STONE" TAPESTRY	PEARL WHITE #55	STANDING SEAM PANEL	"PAC-GLAD" SNAP ON STANDING SEAM PANEL AWNING	CITYSCAPE
CONCRETE SILL	"SHOULDERICE STONE SILL" 224 ROCK	LIMESTONE	WINDOW	1" INSULATED GLASS IN ALUMINUM FRAME	BLACK
SINULATED STONE	"PROVA" MANUFACTURED STONE TERRA CUT	NIAGARA			



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 1/4" = 1'-0"



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Sheet Title

ELEVATIONS

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PROPOSED  
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1 WEST JEFFERSON  
TRENTON MI 48183

PROPERTY LOCATION  
JOSLYN RD. & PACIFIC DR.  
OAKLAND COUNTY  
AUBURN HILLS, MI 48326



Job Number

23-0510

Sheet Number

A-2



[illegible]

Architectural elevation drawing of the West Elevation of a building. The drawing shows a two-story structure with a central entrance door and two side windows. The facade is composed of brick, stone masonry units, and concrete sills. The roofline is indicated, and various roof details like metal coping, faux wood trim, and rooftop HVAC units are shown. Dimensions are provided for various elements, including wall heights (24'-9", 15'-11", 7'-4", 3'-6") and roof overhangs (1'-6", 1'-3"). Callouts identify materials like brick, stone masonry units, concrete sill, and stone, as well as features like LED decorative fixtures and LED wallpacks to be shielded. The drawing is labeled "WEST ELEVATION" at the bottom center.

# WEST ELEVATION

SCALE: 1/4" = 1'-0"





