

# AGENDA

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## Planning Commission Special Meeting

Wednesday, July 31, 2024 ❖ 7:00 p.m.

**LOCATION: Council Chamber  
1827 N. Squirrel Road ❖ Auburn Hills, MI**

PHONE: 248-364-6900 [www.auburnhills.org](http://www.auburnhills.org)  
Meeting minutes are on file in the City Clerk's office.

**1. MEETING CALLED TO ORDER**

**2. ROLL CALL OF PLANNING COMMISSION**

*Welcome new Planning Commission Member Darlene MacMillan*

**3. PERSONS WISHING TO BE HEARD** (regarding items not on the agenda)

**4. APPROVAL OF MINUTES** – June 5, 2024

**5. PETITIONERS**

**5a. Oakland Christian School – Parking Expansion**

Public Hearing / Motion - Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approval to construct a new parking area with parent drop-off/pick-up loop.

**6. UNFINISHED BUSINESS** – None

**7. NEW BUSINESS**

7a. Motion - Cancel the August 14, 2024 Auburn Hills Planning Commission Meeting

7b. Selection of Planning Commission members to attend the Planning Michigan Conference - September 25-27, 2024 in Grand Rapids

**8. COMMUNICATIONS**

**9. NEXT SCHEDULED MEETING** – Wednesday, September 11, 2024 at 7:00 p.m. – Council Chamber

**10. ADJOURNMENT**

➤ **NOTE:** Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.

**IMPORTANT NOTICE TO PETITIONERS**

Items will be presented to the City Council on **Monday, August 12, 2024**. It will be necessary for you to have a representative present to answer any questions from the City Council. **CITY COUNCIL WILL NOT ACT ON YOUR ITEM IF YOU OR YOUR REPRESENTATIVE ARE NOT PRESENT.**



CITY OF AUBURN HILLS  
PLANNING COMMISSION  
MINUTES  
**NOT YET APPROVED**

June 5, 2024

**CALL TO ORDER:** Chairperson Ouellette called the meeting to order at 7:00 p.m.

**ROLL CALL:** Present: **Carolyn Shearer, Sam Beidoun, Ray Saelens, Dominick Tringali, Jack Ferguson, Cynthia Pavlich, Laura Ochs, Chauncey Hitchcock, Greg Ouellette**  
Absent: None  
Also Present: Director of Community Development Steve Cohen and Assistant to the Director of Community Development Devin Lang  
Guests: 5

**LOCATION:** Council Chambers, 1827 N. Squirrel Road, Auburn Hills, MI 48326

**3. PERSONS WISHING TO BE HEARD**

**4. APPROVAL OF MINUTES – May 8, 2024**

Moved by Beidoun to approve the minutes of May 8, 2024.

Second by Ferguson.

**VOTE: Yes: Shearer, Beidoun, Ferguson, Saelens, Ochs, Pavlich, Tringali, Hitchcock, Ouellette**  
**No: None** **Motion Carried (9-0)**

**5. PETITIONERS**

**5a. The Learning Experience (7:01 p.m.)**

**Public Hearing/Motion – Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approval to construct a childcare facility.**

Mr. Cohen explained that this is a request from Lorenzo Cavaliere, Cavaliere Companies/Triangle Land LLC, for approval to construct a 10,000-square-foot childcare facility with an exterior playground for The Learning Experience at 2635 N. Squirrel Road. The Five Points Community Church currently owns the property, which is the location of its former parsonage. The 2.13-acre parcel is zoned B-2, General Business District.

Mr. Cavaliere is working with City staff to save and transplant several mature trees on the property. Four large landmark-sized trees along the shared north property with the Countryside Townhomes apartment complex could be saved, and ten trees impacted by site grading in the rear of the property could be transplanted. Eleven protected trees, including one landmark tree situated in the proposed parking lot area, will be removed to create the development's pad and replaced with twenty-nine replacement trees. Four mature trees along N. Squirrel Road should be removed due to poor health, disease, and decay, as determined by the City's Woodlands Consultant.

Mr. Cavaliere also worked with City staff regarding the building façade. TLE agreed to upgrade its prototype building to better match Auburn Hill's character. The applicant also provided a traffic impact study (TIS) to evaluate the proposed childcare facility's traffic impact on the adjacent roadway network. This TIS indicated that the intersections and crossovers near the site would continue to operate at acceptable levels of service and that the proposed development would not significantly impact the surrounding road network. OHM Advisors have reviewed the methodology and analysis of the TIS and concurred that the site and surrounding roadways will function appropriately when the childcare facility is in operation.

The proposed facility is anticipated to operate Monday through Friday, 6:30 a.m. to 6:30 p.m. Construction on the project is expected to begin in August 2024 and be completed by June 2025.

**Lorenzo Cavaliere, Triangle Land LLC, 30078 Schoenherr, #300, Warren, MI, Tony Antone, Five Points Community Church, 3411 E. Walton Blvd., Auburn Hills, MI, John Houser, PEA Group, 1849 Pond Run, Auburn Hills, MI, and Kyle Ramaker, Tetra Tech, 7927 Nemco Way, Suite 100, Brighton, MI** were available to answer any questions of the Commission.

The Commission asked about the following:

1. The identity of the franchisee for this location;
2. Traffic concerns;
3. A longer deceleration lane;
4. Concern with congestion at the northernmost turnaround on N. Squirrel Road;
5. Construction traffic;
6. Level of service grading criteria for roadways;
7. The possibility of a shared drive with Five Points Community Church;
8. Draining issues;
9. Ownership of the building;
10. Economic concerns.

Mr. Cavaliere stated that while this will be a franchise location, the franchisee has not been identified at this time.

Kyle Ramaker, Tetra Tech, explained how the current location of the median prohibits a left turn out of the site and onto Squirrel Road. He also stated that a “No Left Turn” sign would be posted. Chairman Ouellette pointed out that the review letter from the Police Department requests that this “No Left Turn” sign be installed. Mr. Ramaker explained that approximately 110 morning and 111 evening trips are anticipated to be generated during peak hours. Those trips would be split between traffic entering and exiting the site. In the morning peak hours, there would be more staggered trips. The center would not be open on the weekends. The traffic study, with which the City’s traffic consultant concurs, indicates that the site will operate at acceptable levels because of the right-in/right-out design.

Mr. Ramaker explained that the taper for the approach to the site meets Road Commission of Oakland County (RCOC) standards. A full deceleration lane is not required for this location.

Mr. Ramaker stated that an analysis of the northernmost turnaround on N. Squirrel Road shows a marginal increase in delays. The study was based on a single-lane approach, but most vehicles will pull in side-by-side to access the turnaround, allowing for an even greater capacity than indicated by the study.

Construction traffic will utilize the Squirrel Road entrance/exit. Tony Antone, Five Points Community Church, stated that the church construction should be completed by January 2025. There may be a slight overlap in construction traffic with The Learning Experience, but the sites do not connect. The Learning Experience site will be split from the church’s property as part of the sale.

Mr. Cohen explained to the Commission that the City’s traffic engineer and the Police Department have determined that the project will not have a measurable impact on the surrounding roadways. He explained that any ensuing traffic concerns over time on N. Squirrel Road would be the City’s responsibility to remedy. The current zoning on the property, B-2 District, would allow for various uses that would generate much more traffic, e.g., gas stations, car washes, fast food restaurants, etc. The City’s traffic consultant finds the use acceptable as daycare centers are relatively low-traffic generators in relation to other types of allowable commercial uses. Mr. Cavaliere stated that if the traffic volume from The Learning Experience would prohibit the use of the property, then no development would be possible for the site. He further stated that traffic studies use non-subjective data. The data provided by Tetra Tech and confirmed by the City’s traffic engineer shows minimal impact on the traffic on N. Squirrel Road.

Mr. Ramaker explained the level of service grading methodology for traffic flow is based on federal research and guidelines.

Mr. Cohen stated that shared access with Five Points Community Church to the south was explored but determined unfeasible because of the significant drop in grade. With that understanding, the City’s traffic engineer requested that the ingress/egress point be at the furthest point south of the property to eliminate the possibility of a driver mistakenly turning left out of the site into oncoming traffic of southbound N. Squirrel Road.

John Houser, PEA Group, explained that the existing retention ponds were sized for the property but not for this type of development. The retention pond will be increased to a size that will work for this development. He further

explained that the property naturally drains to the western portion of the property.

Mr. Cavaliere stated that his company will retain ownership of the building with The Learning Experience as the tenant. The Learning Experience will choose the franchisee who will run the facility.

Mr. Cavaliere shared that other properties he has developed for the same use have done quite well. Childcare facilities are uses that continue to do well. Mr. Cohen stated that if the property were to be no longer used as an early childhood educational facility in the future, it could be redeveloped for medical or general office use.

Mr. Ouellette opened the public hearing at 8:24 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 8:24 p.m.

**Moved by Beidoun to recommend to the City Council approval of the Special Land Use Permit, Site Plan, and Tree Removal Permit for The Learning Experience subject to the conditions of the City’s Administrative Review Team.**

**Second by Tringali.**

**VOTE: Yes: Ochs, Beidoun, Shearer, Tringali, Ferguson, Pavlich, Ouellette**

**No: Saelens, Hitchcock**

**Motion Carried (7-2)**

**5b. Text Amendment to the Zoning Ordinance (8:29 p.m.)**

**Public Hearing/Motion – Recommendation to City Council to amend the text of Article IX-A. D, Downtown Districts; Section 1805. Off-Street Parking Space Layout, Standards, Construction, and Maintenance; and Section 1830. Planned Unit Development of the Zoning Ordinance.**

Mr. Cohen explained that the proposed text amendment has been drafted to address the following:

1. Municipal Parking Structure Standards in the Downtown;
2. Require Off-Street Parking for New Residential Dwelling Units in the Downtown; and
3. Expiration of PUD projects.

The Commission discussed the current requirement for performance bonds and the design of the proposed parking structure to resemble windows. Mr. Cohen explained that the “windows” in the proposed parking structure are all open, which is in keeping with the aesthetics of the surrounding area.

Mr. Ouellette opened the public hearing at 8:35 p.m.

There being no public comments, Mr. Ouellette closed the public hearing at 8:35 p.m.

**Moved by Shearer to recommend to City Council approval of the enclosed text amendment, amending Article IX-A. D, Downtown Districts; Section 1805. Off-Street Parking Space Layout, Standards, Construction, and Maintenance; and Section 1830. Planned Unit Development Option of the Zoning Ordinance.**

**Second by Pavlich.**

**VOTE: Yes: Shearer, Beidoun, Ochs, Saelens, Hitchcock, Tringali, Ferguson, Pavlich, Ouellette**

**No: None**

**Motion Carried (9-0)**

**6. UNFINISHED BUSINESS – None.**

**7. NEW BUSINESS**

**7a. Motion – Adopt the Y2023-2024 Auburn Hills Planning Commission Annual Report**

**Moved by Beidoun to adopt the Y2023-2024 Planning Commission Annual Report and submit it to the City Council per the Michigan Planning Enabling Act.**

**Second by Ochs.**

**VOTE: Yes: Shearer, Beidoun, Ochs, Saelens, Hitchcock, Tringali, Ferguson, Pavlich, Ouellette**

**No: None**

**Motion Carried (9-0)**



**7b. Motion – Cancel the July 17, 2024 Auburn Hills Regular Planning Commission Meeting**  
**Moved by Beidoun to cancel the July 17, 2024 Auburn Hills Regular Planning Commission meeting.**  
**Second by Tringali.**

**VOTE: Yes: Saelens, Ochs, Tringali, Ferguson, Pavlich, Hitchcock, Beidoun, Shearer, Ouellette**  
**No: None** **Motion Carried (9-0)**

**8. COMMUNICATIONS**

Mr. Hitchcock stated that this has been his last meeting as a member, as he is not seeking reappointment to the Planning Commission. He thanked the Commission and City staff for all their guidance and work over the past 19 years. The Commission thanked Mr. Hitchcock for his service over the years.

**9. NEXT SCHEDULED MEETING**

The next scheduled meeting is on Wednesday, August 14, 2024 at 7:00 p.m. in the Auburn Hills Council Chambers.

**10. ADJOURNMENT**

There being no further business, Chairperson Ouellette adjourned the meeting at 8:48 p.m.

Submitted by:

Susan McCullough, MiPMC III, CMC

Recording Secretary



# CITY OF AUBURN HILLS PLANNING COMMISSION AGENDA

MEETING DATE: JULY 31, 2024

AGENDA ITEM NO 5a.

COMMUNITY DEVELOPMENT

**To:** Chairperson Greg Ouellette and the Planning Commission  
**From:** Steven J. Cohen, AICP, Director of Community Development  
**Submitted:** July 18, 2024  
**Subject:** Oakland Christian School – Parking Expansion  
Public Hearing / Motion – Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approval

### INTRODUCTION AND HISTORY

Oakland Christian School (OCS) requests approval to construct an additional 93 parking spaces (net 79 parking spaces) and a parent pick-up/drop-off loop at 3075 Shimmons Road. The 2.16-acre impacted area is zoned R-1A, One-Family Residential District. The new parking area at the school's primary entrance will expand the facility's overall parking capacity from 194 to 273 spaces.



*Illustrated Site Plan*

**The project results from an agreement between the City of Auburn Hills and the OCS to swap land to allow the realignment of the Shimmons Road curve, which had been envisioned and discussed between the parties for over a decade.** The road redesign will improve sight lines and safety in the area by creating a softer curve, along with an extended sidewalk in the vicinity. The proposed new road alignment required the City to acquire property owned by OCS by deed. In return, the City has committed to vacate and transfer the existing right-of-way where the road currently exists (once the new curve installation is complete) to allow the school's parking lot expansion.

**KEY ISSUE**

**Unauthorized Tree Removal.** As the Planning Commission is aware, the removal of 85 protected trees has occurred at the OCS property without City authorization. **In the end, the early removal of the trees produced the same result as if the City Council had issued the Tree Removal Permit.**



*Photo of the property taken July 9, 2024*

As discussed previously, over a decade has gone into planning the relocation of Shimmons Road at the curve adjacent to/on OCS's property, and the City's road project is underway. One of the early steps in this process was that the City, as part of the project, had specific trees removed within the new road right-of-way in preparation for the construction of the new road. Under the Woodlands Preservation Ordinance, the City's road project does not require a Tree Removal Permit.

City staff and OCS had previously discussed using the same contractor for tree removal, gaining economies of scale by doing it simultaneously, and then using the cleared area on the OCS property as the staging area for the road construction (e.g., dirt piles, along with pipe, material, and construction equipment storage)—thus incorporating tree removal on the OCS property into the City's road project. However, OCS and the City never reached a formal agreement to do so, so the City moved ahead on its own, tree clearing for the new road curve in the new right-of-way.

After the City's tree clearing occurred, City staff learned that a representative from OCS arranged the removal of the trees on the OCS property with the City's contractor without City staff authorization and before City Council approval of the project's Site Plan/Tree Removal Permit. OCS has since been very apologetic about the tree removal, along with the actions of the representative. Once again, it is noted that the 85 trees OCS removed are the same trees that would have been removed after they obtained Site Plan/Tree Removal Permit approval. The OCS parking expansion area will be appropriately revegetated as part of the project in accordance with the City's landscape ordinance.



**KEY ISSUE (cont.)**

The City Council could require the removed trees to be replaced at 100 percent DBH (measured diameter at breast height) instead of one-for-one per Section 34-315(b) of the Woodlands Preservation Ordinance. If applied, the penalty could result in 313 replacement trees (782 cumulative DBH/2.5 inches = 313 trees) being planted on the OCS property instead of the conventionally required 85 replacement trees. **Staff does not recommend that the City Council penalize OCS for the early tree removal, as the City has partnered with them to achieve the long-envisioned road realignment in front of their property.**

**STAFF RECOMMENDATION**

**Please be advised that the City's Administrative Site Plan Review Team has reviewed this project and recommends approval.**

We recommend Approval of the Special Land Use Permit request to allow for the parking expansion at the private school and offer the following discretionary findings of fact:

1. The location of the use will not negatively impact adjacent areas, which include residential-zoned property.
2. The land will be used in accordance with its immediate character, which is planned and zoned for residential development.
3. The requirements of Section 1818 in the City's Zoning Ordinance will be met.
4. The use will promote the purpose and intent of the City's Zoning Ordinance.
5. The use will be consistent with the health, safety, and general welfare of the City of Auburn Hills and the purpose and intent of the City's Zoning Ordinance.

We recommend Conditional Approval of the Site Plan and Tree Removal Permit and offer the following discretionary findings of fact:

1. The Site Plan contains sufficient basic information required by the Zoning Ordinance for a recommendation.
2. The requirements of Section 1815, Items 7A-7E of the Zoning Ordinance can be met as follows:
  - a) All requirements and standards of the Zoning Ordinance and other City Ordinances can be met.
  - b) Safe, convenient vehicular and pedestrian ingress/egress has been depicted; primary access will be to Shimmons Road.
  - c) Traffic circulation features within the site and the location of parking areas avoid common traffic problems and can promote safety.
  - d) A satisfactory and harmonious relationship will exist between the proposed development and the surrounding area.
  - e) The proposed use will not have an unreasonable, detrimental or injurious effect upon the natural characteristics of the subject parcel, or the adjacent area.
3. 93 parking spaces (net 79 parking spaces) are depicted within the expanded parking area.
4. The parking layout for the expanded area meets minimum requirements, and barrier-free parking spaces are provided (four are required, and four are provided). One space is van accessible.
5. Building and parking setback requirements will be met.
6. Greenbelts will be provided.
7. Landscape requirements will be met, and calculations have been submitted.
8. A note indicates that exterior lighting shall meet the requirements of the Zoning Ordinance. Pole and wall-mounted lighting shall be shielded and directed downward. Lamp bulbs and lenses shall not extend below the light fixture shields. Light poles are designed to be 25 feet in height from the finished grade.
9. A note indicates that signs shall meet the requirements of the Zoning Ordinance.
10. A note indicates that parking spaces shall be double-striped.

**STAFF RECOMMENDATION (cont.)**

11. Ground-mounted and roof-mounted mechanical equipment will be screened.
12. A note indicates that outside storage, including pallet storage, overnight vehicles, and trailer storage, will not be permitted.
13. The City will extend a five-foot-wide public sidewalk in front of the school as part of the road construction project. Complete Streets considerations were made as part of the site design, with an internal sidewalk connection proposed from the building to the public sidewalk along Shimmons Road.
14. 85 protected trees impacted by this project were removed in conjunction with the City's road construction project prior to the City's approval of a Tree Removal Permit. 87 replacement trees are provided.
15. OCS has agreed to prep the parking lot for two electric vehicle charging stations. They will install electrical stubs at planned station locations and run a conduit from the power source to the stubs during construction to support the future installation of the charging stations when needed.

**Conditions:**

1. OCS shall comply with the requirements of Section 2007. Performance Guarantees of the Zoning Ordinance.
2. OCS shall obtain land exchange and land combination approval to create the development site.
3. OCS shall restripe and sign the six existing barrier-free parking spaces in the existing south lot.
4. Site Plan approval shall be based on the representations made by the OCS, as documented in this report, submittal materials, and the public meeting minutes.

**RECOMMENDED ACTION**

**Move to recommend to City Council approval of the Special Land Use Permit, Site Plan, and Tree Removal Permit for The Oakland Christian School – Parking Expansion subject to the conditions of the City's Administrative Review Team.**



# Development Application



Project Name: Oakland Christian School

General Project Location: 3075 Shimmons Road

Parcel Size: 17.00 Acres Zoning: R-1A

Sidwell Number(s): 14-12-151-001  
14-11-267-007

Project Description: \_\_\_\_\_  
Construction of a new parking area

Building Size (sq. ft.): N/A

**City Use Only**

Address: 3075 Shimmons Rd

Date Received: 6/26/24

Fees Paid: \_\_\_\_\_

SP #: 240006

SLU #(s): 240006

LD/LE/SUB #: \_\_\_\_\_

RZ #: \_\_\_\_\_

PUD #: \_\_\_\_\_

ZBA #: \_\_\_\_\_

PTR240004

**Check requested review(s)**

- Site Plan
- Tree Removal Permit
- Special Land Use Permit(s) \_\_\_\_\_
- Land Division
- Land Exchange
- Subdivision
- Planned Unit Development - Step 1/Step 2/Combined
- Rezoning \_\_\_\_\_ to \_\_\_\_\_
- ZBA Variance or Interpretation  
(see supplemental application)
- Other \_\_\_\_\_

**Applicant**

Name: Oakland Christian School Signature: Susan Brock

Business Name and Address: 3075 Shimmons Road

City: Auburn Hills State: MI Zip Code: 48326 Phone Number: 248-313-2100

Fax Number: \_\_\_\_\_ Alt. Phone Number(s): \_\_\_\_\_

**Property Owner(s)**

Name: Oakland Christian School Signature: Susan Brock

Business Name and Address: 3075 Shimmons Road

City: Auburn Hills State: MI Zip Code: 48326 Phone Number: 248-313-2100

(Provide additional sheet if necessary for multiple property owners)

Please contact the City of Auburn Hills Community Development Department,  
1827 N. Squirrel Road, Auburn Hills, MI 48326 / Phone: 248-364-6900 Fax: 248-364-6939  
www.auburnhills.org



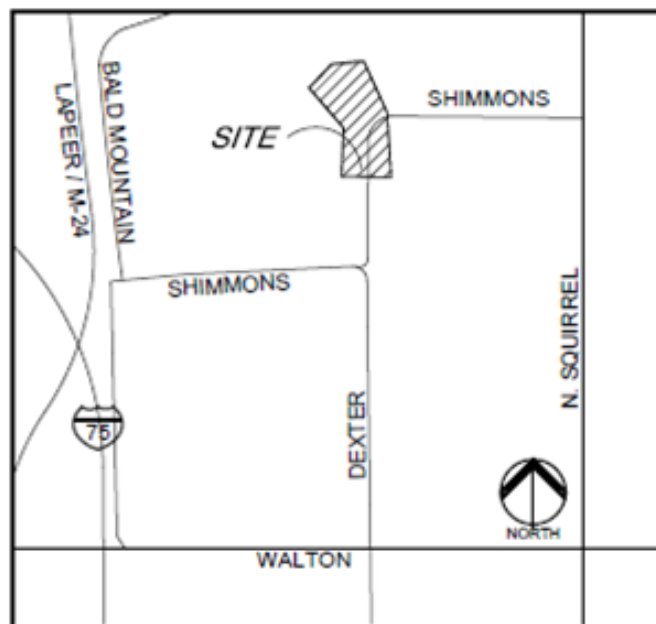
# Planning Commission Public Notice

Meeting Date, Time, and Location:	<b>Wednesday, July 31, 2024 at 7:00 p.m.</b> City of Auburn Hills - City Council Chambers 1827 N. Squirrel Road, Auburn Hills, MI 48326
Project Name:	Oakland Christian School – Parking Expansion
General Property Location:	3075 Shimmons Road Sidwell Nos. 14-11-276-007 and Part of 14-12-151-001
Applicant:	Susan Brock – 248-373-2700
Nature of the Request:	Recommendation to City Council for Special Land Use Permit, Site Plan, and Tree Removal Permit approval to construct a new parking area with parent drop-off/pick-up loop.
City Staff Contact:	Steven J. Cohen, AICP Director of Community Development - 248-364-6900

Notice will be sent via U.S. Mail to properties within 1,000 feet of the site. The proposed application can be inspected before the meeting at the Community Development Department, located on the municipal campus at 1827 N. Squirrel Road, Auburn Hills, MI 48326, during regular City business hours.

Persons wishing to express their views may do so in person at the meeting or in writing addressed to the Planning Commission c/o Steven J. Cohen, Director of Community Development, at the above address.

Anyone planning to attend the meeting who needs special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-370-9402 or the City Manager's Office at 248-370-9440 48 hours before the meeting. Staff will be pleased to make the necessary arrangements.



**LOCATION MAP**  
NO SCALE

July 17, 2024

Mr. Steven Cohen, AICP  
Director of Community Development  
CITY OF AUBURN HILLS  
1827 North Squirrel Road  
Auburn Hills, Michigan 48326

RE: Oakland Christian School Parking Expansion  
Site Plan 1<sup>st</sup> Review

Dear Mr. Cohen:

We have completed the site plan review for the above referenced project with respect to grading, paving, storm drainage/detention, and availability of municipal utilities to serve the site. The site plan, received by this office on July 17, 2024 was prepared by PEA Group. The review comments are noted below.

PERMITS:

Various permits will be required for this site, including but not limited to the following:

- Soil erosion permit from O.C.W.R.C.
- Water main extension permit from E.G.L.E.
- Temporary grading easement from adjacent property owner located at 3185 Shimmons Road

GENERAL:

The site is located along Shimmons Road, between Dexter Road and North Squirrel Road, more specifically at 3075 Shimmons Road in Sections 11 and 12 of the City of Auburn Hills. The applicant, Oakland Christian School (OCS), has partnered with the City to provide the necessary right-of-way to the City for the Dexter Road and Shimmons Curve Reconstruction project in exchange for the existing road right-of-way along Shimmons Road to be deeded back to OCS. With the exchange, the applicant is proposing to expand their existing parking lot and drop-off loop. The site, along with the adjacent properties to the west are zoned One Family Residential (R-1A). The adjacent property to the northeast is zoned P.U.D Overlay (PUD). A complete legal description of the parcel is shown on the plan. The City of Auburn Hills Standard Notes and Fire Department Notes are included on the plans. A landscape plan was included in the plan set and appears to be acceptable. Furthermore, a demolition plan and a soil erosion and sedimentation control plan are needed for engineering review.

MUNICIPAL UTILITIES:

There is existing 8-inch water main that extends along the west and north sides of the existing Shimmons Road alignment and an existing 8-inch water main loop that runs through the parking lot on the east side of the OCS building. Additionally, there is 8-inch water main that extends north from Shimmons Road through the site to the adjacent Auburn Grove development. 8-inch water main is proposed to be installed along the west side of the new Shimmons Road alignment in coordination with the Dexter Road and Shimmons Curve Reconstruction project. The applicant is proposing to extend new water main onto the site to connect to the existing water service lead, existing loop through the parking lot, and the water main to Auburn Grove. The existing water main is to be





abandoned-in-place with flowable fill once all the new water main has been installed. Two (2) existing fire hydrant assemblies are proposed to be removed and relocated to nearby locations to provide adequate coverage for the site. A proposed 12-foot-wide easement for the new public water main has been shown on the site plan. Additional information for the proposed water main including valve locations, material type, and profiles shall be provided for engineering review.

There is an existing 10-inch sanitary sewer that extends east-west along the north side of Shimmons Road at the Dexter Road intersection. The 10-inch sanitary sewer also extends north through the site with multiple 6-inch leads extending to the building. The applicant is not proposing any changes to the existing sanitary sewer as part of this project.

#### STORM SEWER AND DETENTION:

The northern portion of the site is located in the Galloway Drainage District while the southern portion of the site is located within the McPherson Drainage District. The Galloway Drainage District has a more restrictive maximum allowable discharge of 0.097 cfs/acre. Storm water runoff for the site is currently collected via a series of catch basins and routed to the wetlands to the north of the site which ultimately outlet to the Galloway Drain. A portion of the site flows to an existing detention basin in the north portion of the site, which outlets to the wetland area. A storm water narrative indicating the original impervious area and proposed impervious area shall be provided at engineering review to demonstrate that additional detention is not necessary. If these calculations indicate that additional detention is required, it will need to be provided via underground storage beneath the new parking lot or expansion of the existing detention basin. In addition, storm water quality control measures meeting City standards shall be provided for runoff from the site improvements prior to leaving the site.

The applicant is proposing to install an inlet to the south of the expanded parking lot which will connect to the proposed storm sewer system along Shimmons Road and a catch basin on the north side of the site which will connect to the existing 18-inch storm sewer that outlets to the wetlands. Please note that the condition of the existing end section tributary to the wetlands will need to be verified and cleaned out. We recommend additional drainage structures and storm sewer be installed within the new parking lot area at engineering review. The applicant shall ensure the storm sewer system is sufficient for the proposed site improvements. Additional information on the proposed storm sewer including size, material, slope, profile, calculations, etc. shall be provided for engineering review.

#### PAVING/TRAFFIC:

There is currently one existing drive approach located off Shimmons Road, north of Dexter Road, along with a small drop-off loop with 14 parking spaces. The applicant is proposing to remove the existing drop-off loop and construct a new drop-off loop connecting to the two new approaches off Shimmons Road that will be installed as part of the City's Dexter Road and Shimmons Curve Reconstruction project. Parking is currently located around the north, east, south, and west sides of the existing school. The plans indicate concrete curb and gutter along the new drop-off loop and a parking lot with 4-inch asphalt pavement. Pavement cross-sections have been provided and appear to meet City standards.

There is an existing gravel parking area on the north side of the school that is indicated on the plan to be paved. This parking area will need to be improved to meet City standards including asphalt pavement, curb and gutter, pavement markings, dimensions for spaces and aisles, sidewalk, etc. These details for this area shall be shown on the plan at engineering review. If this parking area cannot be improved to meet City requirements, it should be removed and restored with lawn area.

The applicant is proposing 93 parking spaces including 4 barrier free accessible parking spaces and 2 future electric vehicle parking spaces. Parking spaces will be located in the new parking lot as well as along the drop-off loop. After the proposed site improvements, the site will have a total of 273 parking spaces including 10 barrier free



accessible parking spaces. A loading area has not been provided as part of this project. A 5-foot-wide concrete sidewalk has been provided around the drop-off loop along with a sidewalk connection to the new parking lot. The applicant has also provided a connection to the sidewalk along Shimmons Road that will be installed as part of the City's Dexter Road and Shimmons Curve Reconstruction project.

The proposed site improvements provide additional parking and vehicle stacking space on the OCS site. This project has been coordinated with the City's reconstruction of this section of Shimmons Road, which will provide a center-turn-lane along the roadway to improve turning access into the school and reduce impacts on Shimmons Road through-traffic. The new parking area includes a one-way loop to be utilized for student drop-off and pick-up. The new parking area and loop will be separated from the existing southern parking lot with separate drive access from Shimmons Road for improved traffic operations on site. A traffic impact study (TIS) was completed by the applicant to evaluate the existing road network surround the project area. As indicated in the TIS, the project does not include expansion or additional traffic generation by OCS, so there are no impacts to the surrounding road network intersections as a result. Adjacent roadways are being improved as part of the City's Dexter Road and Shimmons Curve Reconstruction project, including realignment of the roadway to eliminate the sharp corner near the school as well as alignment of the Dexter/Shimmons intersection into a 3-way "T" intersection.

#### GRADING:

Existing and proposed grades are shown with contours and spot elevations. The site is sloped towards the north side of the site. Perimeter site slopes exceed 1:4 along the north side of the site; however, the slopes match into existing contours and a fence has been provided. If feasible, grading on adjacent property shall be minimized. A temporary grading easement from the adjacent property owner located at 3185 Shimmons Road will be required prior to construction in that area. Pavement slopes are mostly consistent with City standards and are to remain between 1% and 6% for drive areas and between 1% and 4% for parking areas. Sidewalk slopes shall comply with ADA standards. Proposed grading for the existing parking lot on the north side of the school shall be provided for engineering review.

A retaining wall is proposed along the north side of the drop-off loop and along the northwest side of the parking lot. Design details and computations (sealed by a licensed engineer) will need to be submitted and approved during the engineering review for walls greater than one (1) foot in height. An aluminum fence is proposed where the height of the retaining wall exceeds 2.5 feet.

#### RECOMMENDATIONS:

The site plan is in substantial compliance with City of Auburn Hills requirements and has been stamped "Approved" by our office. We ask that the site plan approval acknowledge the following:

1. The site improvement plan, designed in accordance with Ordinance No. 806, shall be submitted to the City for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.
2. The developer must post a performance guarantee, in accordance with the City's requirements as set forth in the City of Auburn Hills Ordinance No. 372, Section 2007, Performance Guarantees. The estimate of the guarantee shall be submitted with the site improvement plan and must reflect all costs for site improvements, including but not limited to mass grading, roadways, lighting, utilities, pathways, sidewalks, screening, landscaping, driveways, retaining walls, parking lots, drainage, stormwater retention basins, and other similar features.



If you have any questions or are in need of any further information, please feel free to contact our office.

Sincerely,  
OHM Advisors

A handwritten signature in black ink that reads "MaryKate Kirksey".

MaryKate Kirksey  
MaryKate Kirksey for Hannah Driesenga, P.E.

Transmitted via e-mail to Steven Cohen: July 17, 2024  
cc: File

P:\0101\_0125\SITE\_AUBURNHILLSCITY\2023\0120231040\_OCS\_PARKING\\_MUNI\SITE\OAKLAND CHRISTIAN SCHOOL  
PARKING EXPANSION\_SITE REV#1\_APP.DOCX



**POLICE DEPARTMENT**  
1899 North Squirrel Road  
Auburn Hills, MI 48326

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## MEMORANDUM

TO: Mr. Steve Cohen  
FROM: Lieutenant Brandon Hollenbeck  
DATE: July 16, 2024  
SUBJECT: **Site Plan Review for Oakland Christian School Parking Expansion**

---

I have reviewed the site plans for the proposed Oakland Christian School Parking Expansion development, located at 3075 Shimmons Road.

We have no objections to the project as presented in the plans.



# AUBURN HILLS FIRE DEPARTMENT



## Official Memorandum

---

To: Steve Cohen, Director of Community Development  
From: Fred Solomon, Fire Inspector  
Date: July 11, 2024  
Re: Site Plan Review PSP240006

PROJECT: Oakland Christian parking expansion, 3075 Shimmons Rd

XXX	Approved	
	Approved	Subject to the following revisions:
	Denied	

No Comments

Fred Solomon  
Fire Inspector  
Auburn Hills Fire Department

July 12, 2024

Steve Cohen, Director Community Development  
City of Auburn Hills, Community Development Department  
1827 North Squirrel Road  
Auburn Hills, MI 48326

Subject: Woodlands Ordinance Review for Oakland Christian Schools Parking Expansion, 3075 Shimmons Road, Auburn Hills, MI

Dear Mr. Cohen,

The submittals regarding the Oakland Christian School's parking expansion project were reviewed and a site visit made to correlate information. The trees associated with this project, including street trees, had been removed prior to the site visit. So, verification is based on the tree survey submitted with the engineer's packet.

**TREE DATA TABLE**

DESCRIPTION	TOTAL TREES	Required/REPLACEMENT TREES
Removed Regulated Trees	85	85
Non-regulated Trees Surveyed/Removed	Unknown	0
Removed Landmark Trees	0	0
<b>TOTAL Required Replacement Trees</b>		<b>85 Trees</b>

Applicant has removed 85 regulated tree species. Total replacement trees required to satisfy the Woodlands Ordinance is 85. The landscape plans provide 87 trees and satisfies required City Zoning Ordinances.

This project is approved based on the tree data above and set of accompanying landscape plans.

Best regards,

*Julie Stachecki J-*  
Julie Stachecki

City of Auburn Hills Woodland Consultant





---

*Rigorous & Relevant Academics • Christ-centered Relationships*

June 30, 2024

**RE: CITIZEN PARTICIPATION LETTER  
Oakland Christian School Parking Expansion  
3075 Shimmons Road, Auburn Hills, Michigan 48326**

Dear Neighbors:

In accordance with the City of Auburn Hills Citizen Participation Ordinance, we are notifying you of our development application that has been submitted to the City of Auburn Hills for the proposed construction of a new parking area for Oakland Christian School. The proposed development will be located on the west side of Shimmons Road.

This parking area will provide additional parking in the front of the school and significantly improve traffic circulation. The parking area will be accessed via a looped road with two connection points to Shimmons Road. In addition to the added parking spots, the loop will provide additional spaces for parents waiting during the peak traffic periods of morning drop off and afternoon pick up.

The City of Auburn Hills' Planning Commission is scheduled to review our development application on Wednesday July 31, 2024. If you have any questions, concerns, or comments, please do not hesitate to contact me directly at 248-373-2700. If you would like to speak to a City Representative, please contact Steve Cohen, Director of Community Development, at 248-364-6900.

We are proud to be a part of this Auburn Hills community, and we are grateful for your support of Oakland Christian School, and our students, throughout the years. We trust this development will not only provide additional parking for our school, but improve traffic flow and safety for our entire community.

Sincerely,

**Oakland Christian School**

Susan Brock  
Superintendent

Enclosure: Landscape Plan

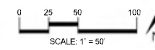




EXISTING BUILDING

SHIMMONS ROAD

# OCS PARKING EXPANSION



Auburn Hills, MI | July 2024

PEA GROUP  
7927 Neilson Way, Ste 115  
Brighton, MI 48116  
T: 517.546.8583  
F: 517.546.8973  
www.peagroup.com





# PEA GROUP



1849 Pond Run  
Auburn Hills, MI 48326

844.813.2949  
peagroup.com

July 16, 2024

Steve Cohen, AICP  
City of Auburn Hills Community Development Department  
1827 Squirrel Road  
Auburn Hills, Michigan 48326

RE: Citizen Participation Letter  
Oakland Christian Schools Parking Lot Expansion

Mr. Cohen:

In accordance with the City of Auburn Hills' Citizen Participation Ordinance, we have mailed the Citizen's Participation letter related to the development application for proposed parking lot expansion to the mailing labels provided by the Community Development Department. The letters were postmarked July 8, 2024. We have not received any responses to this letters provided.

Sincerely,

**PEA Group**

A handwritten signature in blue ink, appearing to read 'JPBtu', positioned below the company name.

James P. Butler, PE  
Principal/Project Executive



**CITY OF AUBURN HILLS**  
REGULAR CITY COUNCIL MEETING  
MINUTES - **EXCERPT**

NOVEMBER 20, 2023

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**OATH OF OFFICE TO NEWLY ELECTED CITY COUNCIL MEMBERS AT 7:00 PM**

The City Clerk administered the Oath of Office to the newly elected City Council Members.

**CALL TO ORDER &:** City Clerk Pierce at 7:02 PM.

**PLEDGE OF ALLEGIANCE**

**LOCATION:** Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

**ROLL CALL:** Present: Council Members Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel and Verbeke

Absent: None

Also Present: City Manager Tanghe, Assistant City Manager Skopek, City Attorney Beckerleg, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Director of Recreation and Senior Services Adcock, Program Coordinator Reis, DPW Director Baldante, Mgr of Fleet & Roads Hefner, Mgr of Municipal Properties Wisser, Community Development Director Cohen, Construction Coordinator Lang, Management Assistant Hagge, Engineers Juidici & Driesenga

25 Guests

**4. NEW BUSINESS**

**11a. Motion – To approve the OHM Scope of Design Services and G2 Geotechnical Services for the Shimmons Curve/Dexter Road Reconstruction & Water Main Improvements.**

Mr. Hefner shared that discussion of a redesign for the Shimmons Road curve between Dexter and Grove Lane has been ongoing since 2013. He stated that this project has not been able to take place due to ownership of the road right of way. This redesign will help to ease the sharpness of the curve and sight lines especially near the Oakland Christian School. The Oakland Christian School contacted the City and shared that they secured ownership of the right of way and were interested in giving the City rights to the road right of way for the purpose of fixing the concerns with the road. A memorandum of understanding outlining the project and proposed land exchanges has been drafted to allow the project to move forward.

In addition to the mentioned safety concerns, DPW is suggesting the design of Dexter Road be added to this project which will limit any disruptions to the residents and save money for the city. The plans for this reconstruction will include new base material for the Dexter Road, storm drainage improvements, curb cuts, new asphalt as well as sidewalks along Oakland Christian Schools that will tie into the City sidewalk network.

Council asked that the design be looked at to ensure that any drainage issues to the west of this area be alleviated.

**Moved by Verbeke, Seconded by Ferguson.**

**RESOLVED:** To approve the budget amendments to the 2023 local roads and water funds listed above, the OHM Advisors scope of design services, and G2 geotechnical services for the Shimmons Curve/Dexter Road Reconstruction & Water Main Improvements which will include the design of portions of Shimmons Road, Dexter Road, and Dexter Road water main. (Attachment A)

**VOTE: Yes:** Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

**No:** None

**Resolution No. 23.11.139**

**Motion Carried (7 - 0)**



**CITY OF AUBURN HILLS**  
REGULAR CITY COUNCIL MEETING  
MINUTES - **EXCERPT**

MAY 20, 2024

**CALL TO ORDER &** Mayor Marzolf at 7:00 PM.

**PLEDGE OF ALLEGIANCE:**

**LOCATION:** Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

**ROLL CALL:** Present: Council Members Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel and Verbeke

Absent: None

Also Present: City Manager Tanghe, Assistant City Manager Skopek, City Attorney Roberts, City Clerk Pierce, Deputy Chief of Police McGraw, Fire Chief Massingill, DPW Director Baldante, Manager of Fleet & Roads Hefner, Community Development Director Cohen, Asst to Dir./Construction Coord Lang, Deputy Assessor Collias, Economic Development Manager Carroll, Assistant to the Manager Hagge, Engineer Juidici & Driesenga

19 Guests

9d. Motion – To approve the Dexter Road and Shimmons Curve Reconstruction.

Mr. Hefner explained that the reconstruction of Shimmons Rd from Grove Ln to Dexter Rd and Dexter Rd from Shimmons Rd to Walton Blvd is included in the Auburn Hills Capital Improvement Plan. The Shimmons Rd portion of the project addresses the long-standing concern of the tight radius curve that is in the center of this section of roadway through a land swap with the Oakland Christian School. This portion of the project is contingent upon right-of-way acquisition which staff anticipates being presented at the next meeting. The new projected road footprint will improve sight lines and allow for a center turn lane, added pathway, and storm improvements (including the addition of curb and gutter). Reconstruction of Dexter Rd will include replacement of the current water main, new curb and gutter, storm upgrades (including underdrain), sidewalk connections and upgrades. New base and asphalt roadway will be included for the whole project. He confirmed that construction is anticipated to go through mid-October.

**Moved by Fletcher, Seconded by Ferguson.**

**RESOLVED:** To award the construction contract to F.H. Paschen, S.N. Nielsen & Associates, LLC, Construction Engineering/ Observation and Contract Administration Services to OHM Advisors, and Material Testing Services to G2 Consulting for the Dexter Road and Shimmons Curve Reconstruction in the amount of \$4,401,777. Also, to amend the City 2024 budget as indicated in the staff recommendation section of the memo.

**VOTE: Yes:** Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

**No:** None

**Resolution No. 24.05.80**

**Motion Carried (7 - 0)**





**CITY OF AUBURN HILLS**  
REGULAR CITY COUNCIL MEETING  
MINUTES - **EXCERPT**

JUNE 3, 2024

**CALL TO ORDER &** Mayor Marzolf at 7:00 PM.

**PLEDGE OF ALLEGIANCE:**

**LOCATION:** Council Chamber, 1827 N. Squirrel Road, Auburn Hills MI

**ROLL CALL:** Present: Council Members Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel and Verbeke

Absent: None

Also Present: City Manager Tanghe, Assistant City Manager Skopek, City Attorney Roberts, City Clerk Pierce, Chief of Police Gagnon, Fire Chief Massingill, Fire Admin Officer Milks, DPW Director Baldante, Manager of Fleet & Roads Hefner, Mgr. of Municipal Properties Wisser, Economic Development Manager Carroll, Assistant to the Manager Hagge, Engineer Driesenga

4 Guests

**4. NEW BUSINESS**

**9a.** Motion – To approve the legal agreement and accept property deeds between Oakland Christian School and the City of Auburn Hills.

Mr. Baldante presented the road design on Simmons Road to improve safety and traffic flow in the area. The city will be deeded property from Oakland Christian Schools to help with sight lines and safety by creating a softer curve. The city will vacate the existing statutory right-of-way upon the new curve alignment.

**Moved by Fletcher, Seconded by Ferguson.**

**RESOLVED:** To approve the Agreement between the City and Oakland Christian School and accept the property deeds highlighted in Exhibit B.

**VOTE:** Yes: Ferguson, Fletcher, Hawkins, Knight, Marzolf, McDaniel, Verbeke

No: None

**Resolution No. 24.06.87**

**Motion Carried (7 - 0)**





## Amendment to the City of Auburn Hills Master Land Use Plan *Northeast Corner Neighborhood Master Plan*

Back in July 2000, a planning process for the Northeast Corner Neighborhood was initiated by the City due to the community's dissatisfaction with the housing density permitted under the zoning at the time.

The Northeast Corner Neighborhood is the area bounded to the north by Dutton Road, south by Walton Boulevard, west by M-24, and east by the City of Rochester Hills border.

The planning study came on the heels of the City's approval of a single-family subdivision that met all ordinance requirements. Many property owners and City officials expressed two primary concerns about that project: 1) it was too dense for the area; and 2) the mass grading needed to level the site required the removal of hundreds of trees.

The main concern back then was that the Northeast Corner Neighborhood was one of the few natural or "rural" areas left in the City and that the atmosphere of the area would be destroyed if the City did not alter its existing land use policy. As a result, the City held workshops to determine what the community wanted the area to look like in the future. Property owners were encouraged to express their opinions throughout the planning process.

In the end, it was clear to City officials that the majority of those involved in the process wanted the housing density lowered to preserve the neighborhood's open space and natural features. In April 2001, the Planning Commission adopted a new master plan which accomplished those goals. Upon adoption, the majority of the property in the neighborhood was rezoned to implement the new policy. *It is noted that changes to both the master plan and zoning ordinance included provisions allowing the clustering of housing units and increased density, as a financial incentive for home builders to permanently preserve open space.*

Fast forward 15 years. On January 19, 2016, the City held a visioning meeting with the neighborhood at a local church to discuss some potential tweaks envisioned to the original plan.



***Photo taken at the neighborhood visioning meeting held on January 19, 2016***


This process to update the plan follows a parcel specific change to the neighborhood plan in November 2015 that facilitated a density increase for a housing development proposed by Mocerri Companies called Villa Montclair.

As a result of the input received at public meetings held on January 19, 2016, February 16, 2016, and March 16, 2016, the Planning Commission drafted the following amendments to the Northeast Corner Neighborhood Master Plan:


**First**, allow a slight increase in the housing density incentive to encourage developers to save open space, woodlands, and other natural features. It works by allowing the clustering of homes, which leaves excess land as permanently preserved open space. An increase from 2.5 to 3.0 homes per acre is proposed to the current policy to help make the open space development option more attractive to home builders, as shown below. The existing requirement that caps conventional developments at 2.0 homes per acre would remain in place.

## HOUSING DENSITY

2.0 units per acre = 60 homes  
Up to 2.5 units per acre = 75 homes  
**Up to 3.0 units per acre = 90 homes**



**Proposed Villa Montclair Condominiums**  
88 homes on 30.02 acres  
(2.92 units per gross acre)  
44% percent open space area



**Second**, allow attached duplex-style units in only open space developments similar to those constructed in the Arbor Cove and Auburn Grove condominium projects, as shown below.

## HOUSING STYLES Attached Single-Family




**Arbor Cove Condominiums**  
94 homes on 36.71 acres  
32% Open Space (11.6 acres of wetlands)  
2.56 units per gross acre / 3.74 units per net acre






**Third**, change the master plan designation from “single family residential” to “single family residential transitional” for the properties adjacent to the Simmons Road curve, near the Oakland Christian School in the location shown below. The amendment will allow an open space development with attached duplex-style units and an increase in housing density from 2.5 to 3.5 homes per acre (not to exceed 28 homes). The increase in density is being provided as a financial incentive for the property owners to dedicate their land, at no cost to the City, so that the City may improve the curvature of that portion of the road in the future.

### FIXING THE SHIMMONS ROAD CURVE



- ✓ In exchange for R.O.W. needed, allow 28<sup>+/-</sup> attached single-family homes
- ✓ Project would require an increase in master planned density



**Fourth**, change the master plan designation from “single family residential” to “non-residential transitional” for the Kensington Community Church (KCC) and Rochester Soccer Club (RSC) properties, which are located east of Bald Mountain Road and south of Dutton Road (shown below).

- A. KCC has requested the amendment due to the results of methane testing on the site, reports of a closed landfill on the property, and consideration of adjacent industrial land uses. This change would allow “clean industrial” development on the property similar to the VAST building located across the street, west of Bald Mountain Road. No vehicular access would be permitted to Bald Mountain Road and high quality development with extensive landscape greenbelts would be required.
- B. RSC has requested the amendment to allow an anticipated expansion of their soccer facility on the east side of their existing parking lot. The master plan designation would allow “clean industrial” development if RSC were to decide to vacate the site in the future.



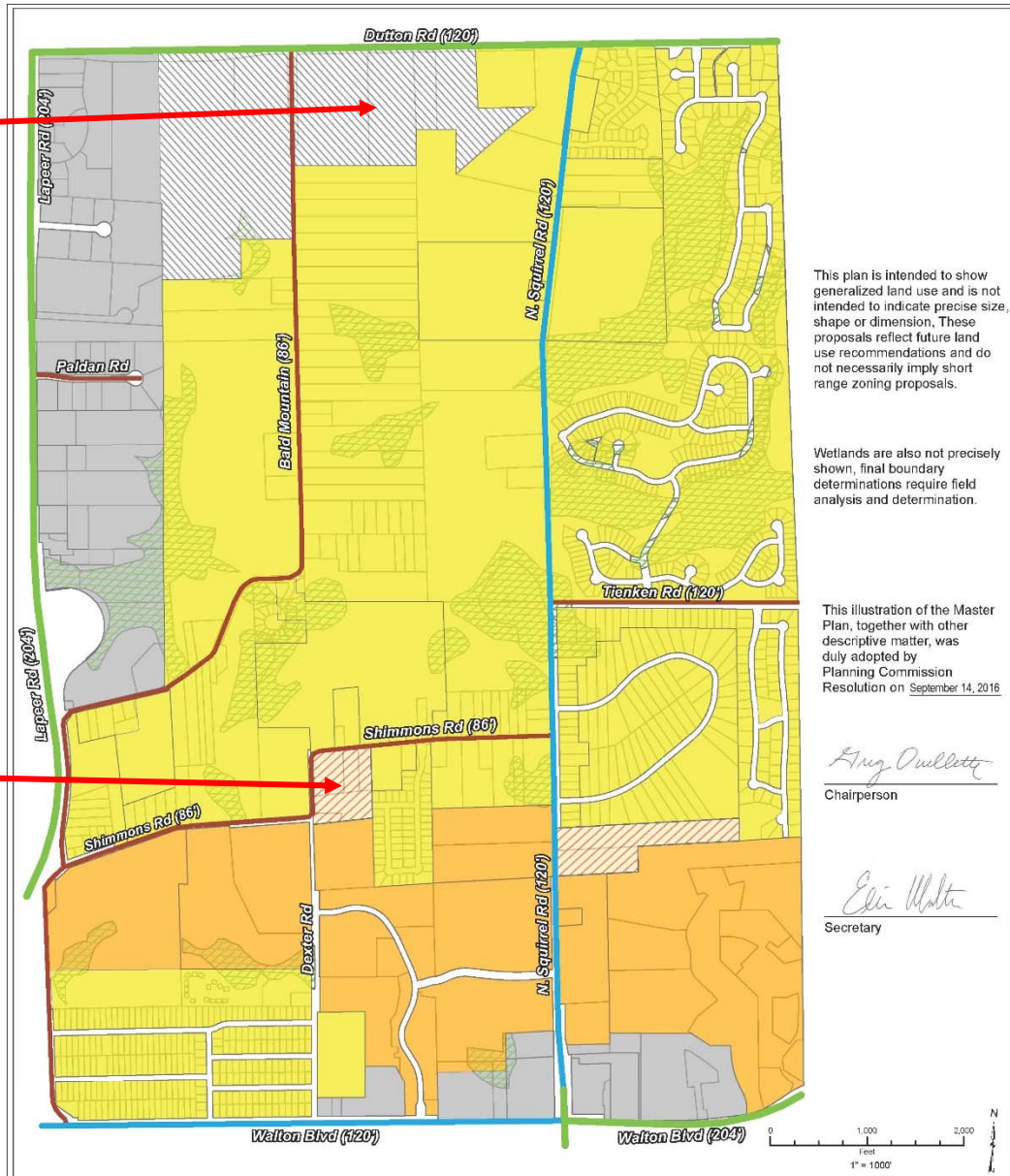
*Computer rendering created which shows how the properties could be redeveloped*

The map below illustrates the proposed changes along with minor adjustments to the planned ROW widths for Dutton Road, Tienken Road, N. Squirrel Road, and M-24.

Change #4

Change #3

Changes #1 and #2



This plan is intended to show generalized land use and is not intended to indicate precise size, shape or dimension. These proposals reflect future land use recommendations and do not necessarily imply short range zoning proposals.

Wetlands are also not precisely shown, final boundary determinations require field analysis and determination.

This illustration of the Master Plan, together with other descriptive matter, was duly adopted by Planning Commission Resolution on September 14, 2016

*Angie Ouellette*  
Chairperson

*Elin Walter*  
Secretary

**Planned Land Use Classification**

- Single Family Residential  
(2.0 Units Per Gross Acre - Conventional Development)  
(3.0 Units Per Gross Acre - Open Space Development)
- Multiple Family Residential
- Single Family Residential Transitional
- Non-Residential
- Non-Residential Transitional  
(Technology / Office Development)
- Wetlands

**Planned Road R.O.W.**

- Major Thoroughfare  
(150'-204' R.O.W.) 5 Lanes or Boulevard
- Thoroughfare  
(100'-120' R.O.W.) 3-5 Lanes
- Major Collector  
(86'-100' R.O.W.) 2-3 Lanes
- Collector  
(60'-80' R.O.W.) 2 Lanes
- Other Roads

# Northeast Corner Neighborhood Master Plan

City of Auburn Hills

Oakland County Michigan

City of Auburn Hills Planning Commission

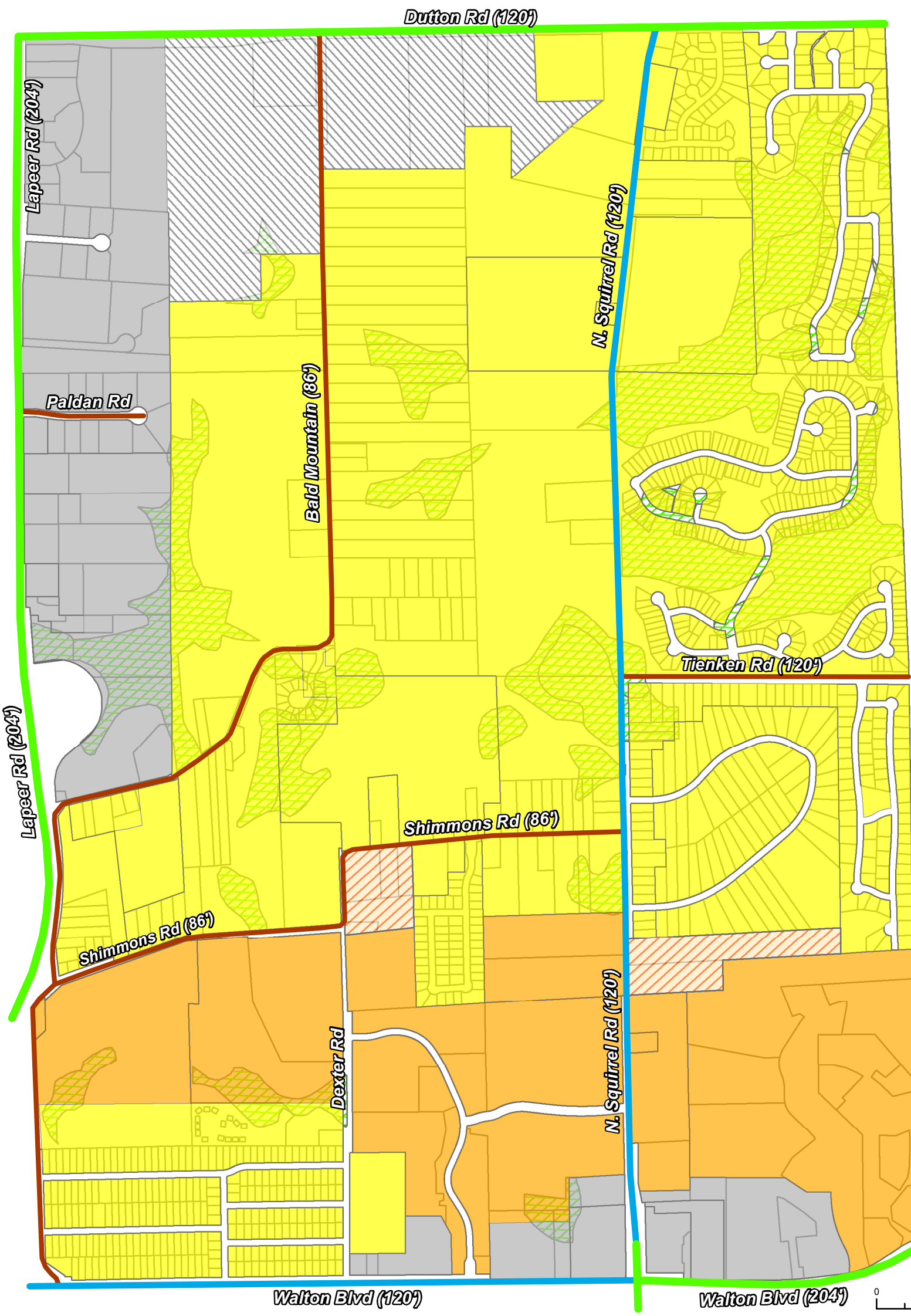


In coordination with the Community Development Department

Map Published: September 14, 2016

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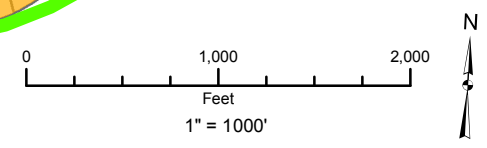
This plan is intended to show generalized land use and is not intended to indicate precise size, shape or dimension. These proposals reflect future land use recommendations and do not necessarily imply short range zoning proposals.

Wetlands are also not precisely shown, final boundary determinations require field analysis and determination.

This illustration of the Master Plan, together with other descriptive matter, was duly adopted by Planning Commission Resolution on September 14, 2016

*Greg Ouelletty*  
Chairperson

*Elin Walter*  
Secretary



- Planned Land Use Classification**
- Single Family Residential  
(2.0 Units Per Gross Acre - Conventional Development)  
(3.0 Units Per Gross Acre - Open Space Development)
  - Multiple Family Residential
  - Single Family Residential Transitional
  - Non-Residential
  - Non-Residential Transitional  
(Technology / Office Development)
  - Wetlands
- Planned Road R.O.W.**
- Major Thoroughfare  
(150'-204' R.O.W.) 5 Lanes or Boulevard
  - Thoroughfare  
(100'-120' R.O.W.) 3-5 Lanes
  - Major Collector  
(86'-100' R.O.W.) 2 -3 Lanes
  - Collector  
(60'-80' R.O.W.) 2 Lanes
  - Other Roads

# Northeast Corner Neighborhood Master Plan

City of Auburn Hills  
Oakland County Michigan

City of Auburn Hills Planning Commission



In coordination with the Community Development Department

Map Published: September 14, 2016

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SITE PLAN

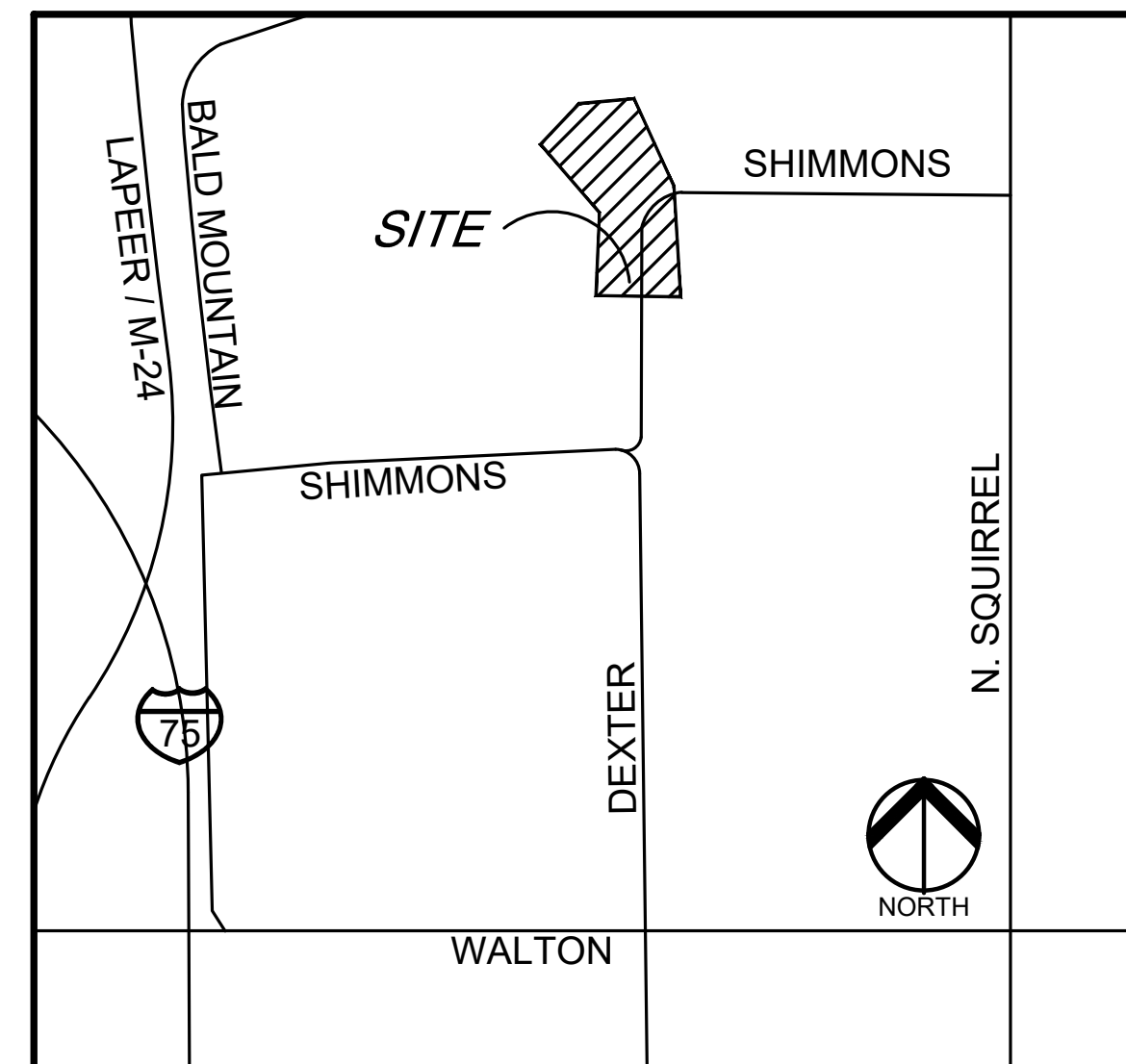
# OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION

3075 SHIMMONS ROAD  
CITY OF AUBURN HILLS, OAKLAND COUNTY, MICHIGAN



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
6/28/2024		AUBURN HILLS SPA

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
T-1.0	TREE SURVEY
T-1.1	TREE SURVEY
T-1.2	TREE SURVEY
C-2.0	SITE PLAN
C-3.0	OVERALL SITE PLAN
C-3.1	FIRE TRUCK TURNING PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	PRELIMINARY UTILITY PLAN
C-9.0	NOTES AND DETAILS
C-9.1	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS



LOCATION MAP  
NO SCALE

**PROJECT DESCRIPTION:**  
PARKING LOT EXPANSION OF OAKLAND CHRISTIAN SCHOOL  
CONNECTING TO THE SHIMMONS ROAD UPDATE.

DESIGN TEAM

<b>OWNER/APPLICANT/DEVELOPER</b>	<b>CIVIL ENGINEER</b>
OAKLAND HILLS SCHOOL LAND & BUILDING COMMITTEE 3075 SHIMMONS ROAD AUBURN HILLS, MI 48326 CONTACT: SUSAN BROCK, SUPERINTENDENT PHONE: 248.373.2707 EMAIL: SBROCK@OAKLANDCHRISTIAN.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
<b>LANDSCAPE ARCHITECT</b>	
PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM	



REVISIONS	
DESCRIPTION	DATE
SPA SUBMITTAL	6/28/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

NOT FOR CONSTRUCTION  
PART OF 14-12-151-001 & 14-11-267-007





0 25 50 100  
SCALE: 1" = 50'



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO. 21-0208A

P.M. JPB  
DN. BV  
DES. LD

DRAWING NUMBER:

**C-1.0**

**LEGEND:**

-OH-ELEC-W-O-C	EX. OH. ELEC. POLE & GUY WIRE
-UG-CATV-X	EX. U.G. CABLE TV & PEDESTAL
-UG-COMM-X	EX. U.G. COMMUNICATION, PEDESTAL & MANHOLE
-UG-ELEC-O-M	EX. U.G. ELEC. MANHOLE & METER
-	EX. GAS LINE
⊙	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
-	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊖	EX. WATER VALVE BOX & SHUTOFF
-	EX. SANITARY SEWER
⊙	EX. SANITARY CLEANOUT & MANHOLE
⊠	EX. COMBINED SEWER MANHOLE
-	EX. STORM SEWER
⊙	EX. CLEANOUT, MANHOLE & CULVERT
⊠	EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
⊙	EX. YARD DRAIN, ROOF DRAIN & DOWNSPOUT
⊙	EX. UNIDENTIFIED STRUCTURE
⊠	EX. MAILBOX, SIGN & GUARD POST
⊙	EX. LIGHT POLE & YARD LIGHT
-	EX. FENCE
-	EX. GUARD RAIL
⊙	EX. DEC. TREE, CONIFEROUS TREE & SHRUB
⊙	EX. TREE TAG & TREE LINE
⊙	EX. SPOT ELEVATION
-	EX. CONTOUR
-	EX. WETLAND
⊙	IRON FOUND / SET
⊙	NAIL FOUND / NAIL & CAP SET
⊙	BRASS PLUG SET
⊙	MONUMENT FOUND / SET
⊙	SECTION CORNER FOUND
(R) (M) (C)	RECORDED / MEASURED / CALCULATED

**REFERENCE DRAWINGS:**

OHM SURVEY	CONSUMERS MAP 0360122, DATED 02/13/2024
GAS	UTILITY MAP, OHM EMAIL DATED 03/26/2024
WATER MAIN	UTILITY MAP, OHM EMAIL DATED 03/26/2024
SANITARY SEWER	UTILITY MAP, OHM EMAIL DATED 03/26/2024
STORM SEWER	UTILITY MAP, OHM EMAIL DATED 03/26/2024

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANGE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0378E, DATED SEPTEMBER 29, 2006.

**BENCHMARKS:**  
(GPS DERIVED - NAVD83)

BM #208  
ARROW ON A HYDRANT LOCATED NEAR THE NORTHWEST CORNER OF SHIMMONS ROAD & DEXTER ROAD.  
ELEV. - 993.40

BM #209  
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF SHIMMONS ROAD AT THE ENTRANCE TO OAKLAND CHRISTIAN SCHOOL.  
ELEV. - 992.54

BM #210  
ARROW ON A HYDRANT LOCATED ON THE NORTH SIDE OF THE CURVE OF SHIMMONS ROAD.  
ELEV. - 974.67

BM #211 (PER OHM SURVEY)  
ARROW ON A HYDRANT LOCATED ON THE NORTH SIDE OF SHIMMONS ROAD, APPROX. 190' WEST FROM THE ENTRANCE DRIVE TO AUBURN GROVE CONDOMINIUMS.  
ELEV. - 985.53

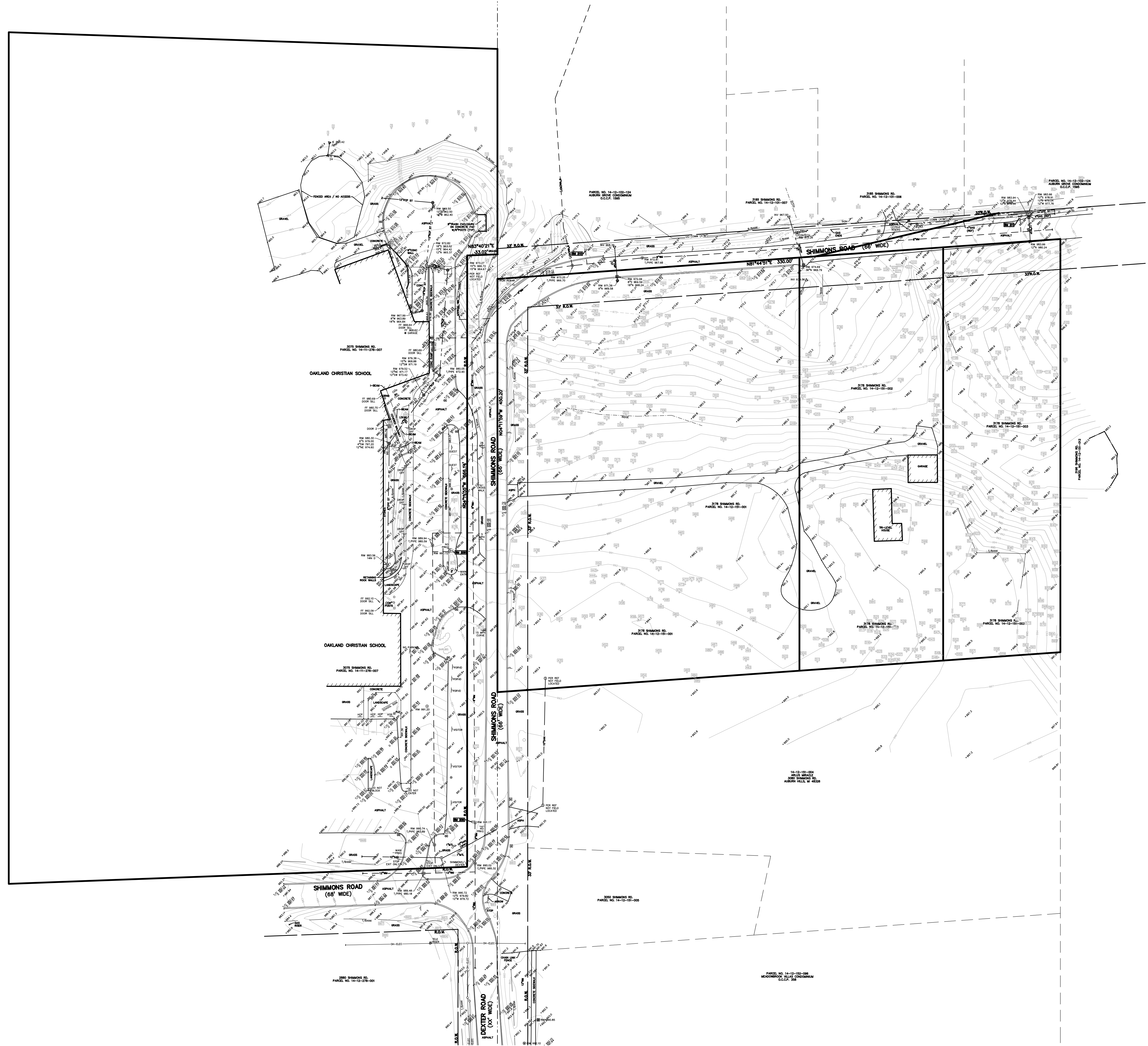
**LEGAL DESCRIPTIONS:**  
(PER OAKLAND COUNTY)

PIN: 14-11-276-007  
Postal Address: 3075 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL  
Property Description:  
T3N, R10E, SEC 11 SUPERVISOR'S PLAT NO 12 PART OF LOT 1 DESC AS BEG AT PT DIST S 01-12-10 E 1297.59 FT FROM NE SEC COR, TH S 01-12-10 E 223.84 FT, TH S 86-40-10 W 33.02 FT, TH S 01-12-05 E 666.14 FT, TH S 86-40-10 W 500 FT, TH N 01-12-05 W 1027.91 FT, TH S 89-15-10 E 2.96 FT, TH S 01-12-10 E 100 FT, TH S 89-15-15 E 530 FT TO BEG

PIN: 1412151001  
Postal Address: 3178 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL, A MICHIGAN NONPROFIT CORPORATION  
Property Description:  
T3N, R10E, SEC 12 PART OF NW 1/4 BEG AT PT DIST N 01-12-10 W 963.82 FT FROM W 1/4 COR, TH N 01-12-10 W 450.20 FT, TH N 84-44-40 E 330.00 FT, TH S 01-12-10 E 450.20 FT, TH S 84-44-40 W 330.00 FT TO BEG

PIN: 1412151002  
Postal Address: 3178 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL, A NONPROFIT CORPORATION  
Property Description:  
T3N, R10E, SEC 12 PART OF NW 1/4 BEG AT PT DIST N 01-12-10 W 1413.32 FT & N 84-44-40 E 330 FT FROM W 1/4 COR, TH N 84-44-40 E 157 FT, TH S 01-12-10 E 450.20 FT, TH S 84-44-40 W 157 FT, TH N 01-12-10 W 450.20 FT TO BEG

PIN: 1412151003  
Postal Address: 3075 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL, A NONPROFIT CORPORATION  
Property Description:  
T3N, R10E, SEC 12 PART OF NW 1/4 BEG AT PT DIST N 01-12-10 W 1414.02 FT & N 84-44-40 E 487 FT FROM W 1/4 COR, TH N 84-44-40 E 132.14 FT, TH S 00-41-10 E 450.50 FT, TH S 84-44-40 W 128.09 FT, TH N 01-12-10 W 450.20 FT TO BEG



S:\PROJECTS\2021\2021-0208A\_OCS PARKING EXPANSION\DWG\STATE\_PLAN(C)-1\TOPG-21-0208A.dwg PLOT DATE: 7/16/2024 BY: Lucas Dieringer

**NOT FOR CONSTRUCTION**



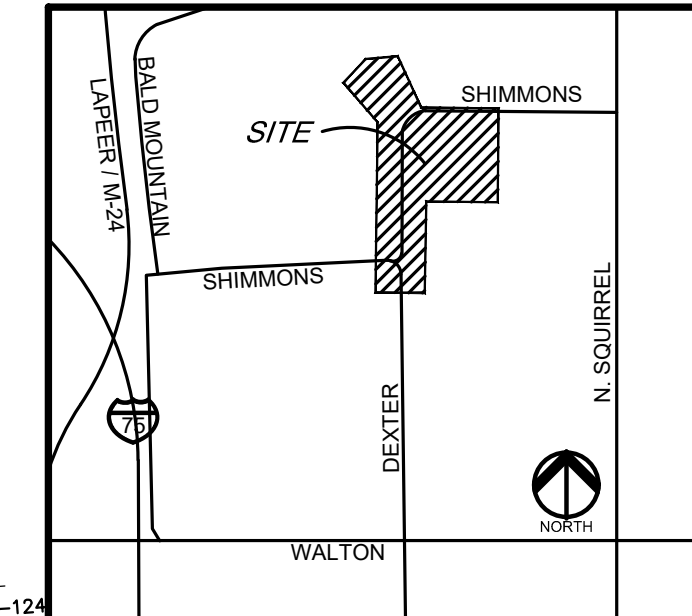
STANDARD TREES (OUTSIDE EXISTING AND PROPOSED R.O.W.)	
STANDARD TREES REMOVED:	85 (1:1 REPLACEMENT)
STANDARD TREES REMOVED TOTAL DBH:	782 INCHES
REPLACEMENT TREES REQUIRED:	85 (1:1 REPLACEMENT)

STANDARD TREES (OUTSIDE EXISTING AND PROPOSED R.O.W.)	
LANDMARK TREES REMOVED:	0
LANDMARK TREE DBH REMOVED:	0 (25% DBH REPLACEMENT)
REPLACEMENT DBH REQUIRED:	0 INCHES

KEY:

	EXISTING TREE / TAG TO REMAIN
	EXISTING TREE / TAG TO BE REMOVED
	LIMITS OF CONSTRUCTION
	TREE PROTECTION FENCE



LOCATION MAP  
NO SCALE

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



0 15 30 60  
SCALE: 1" = 30'



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**TREE SURVEY**

PEA JOB NO.	21-0208A
P.M.	JPB
DN	CAL
DES.	JLE

DRAWING NUMBER:

NOT FOR CONSTRUCTION **T-1.0**



S:\PROJECTS\2021-2024-0208A\_OCS PARKING EXPANSION\DWG\TREE\_SURVEY\_T-1.0.dwg - TREE SURVEY - 21-0208A.dwg PLOT DATE: 7/16/2024 8:10:05 AM 8/1/2024









**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48003

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48003

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**TREE SURVEY**

PEA JOB NO.	21-0208A
P.M.	JPB
DN.	CAL
DES.	JLE

DRAWING NUMBER:  
**T-1.2**

TAG	CODE	DBH	LATIN NAME	COMMON NAME	COND	NOTES	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)	TAG	CODE	DBH	LATIN NAME	COMMON NAME	COND	NOTES	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)	TAG	CODE	DBH	LATIN NAME	COMMON NAME	COND	NOTES	REGULATED (REG.) / NOT REGULATED (N)	LANDMARK (L)	SAVE (S) / REMOVE (X)
343	BW	10	Juglans nigra	Black Walnut	Good		N (SPECIES)	-	X	456	BL	9	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S	570	EM	8	Ulmus americana	American Elm	Good		REG	-	S
344	BW	9	Juglans nigra	Black Walnut	Good		N (SPECIES)	-	X	457	BL	11	Robinia pseudoacacia	Black Locust	Fair	X1	N (SPECIES)	-	S	571	RM	13	Acer rubrum	Red Maple	Good		REG	-	S
345	E	7	Ulmus americana	American Elm	Good		N (SPECIES)	-	X	458	BL	22	Robinia pseudoacacia	Black Locust	Good	X1	N (SPECIES)	-	S	572	BC	8	Prunus serotina	Wild Black Cherry	Good		REG	-	S
346	RM	8	Acer rubrum	Red Maple	Good		N (SPECIES)	-	X	459	BW	10	Juglans nigra	Black Walnut	Good		REG	-	S	573	E	12	Ulmus americana	American Elm	Good		REG	-	S
347	WO	14	Quercus alba	White Oak	Good		N (SPECIES)	-	X	460	BW	13	Juglans nigra	Black Walnut	Good		REG	-	S	574	E	6	Ulmus americana	American Elm	Good		REG	-	S
348	E	6	Ulmus americana	American Elm	Good		REG/REPLACE	-	X	461	BW	8	Juglans nigra	Black Walnut	Good		REG	-	S	575	BW	15	Juglans nigra	Black Walnut	Good		REG	-	S
349	BO	13	Quercus velutina	Black Oak	Good		REG/REPLACE	-	X	462	BW	9	Juglans nigra	Black Walnut	Good		REG	-	S	576	RM	19	Acer rubrum	Red Maple	Good		REG	-	S
350	BO	9	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	463	BW	7	Juglans nigra	Black Walnut	Good		REG	-	S	577	BW	11	Juglans nigra	Black Walnut	Good		REG	-	S
351	BO	9	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	464	BW	9	Juglans nigra	Black Walnut	Good		REG	-	S	578	SU	7	Acer saccharum	Sugar Maple	Good	X1	REG	-	S
352	E	6	Ulmus americana	American Elm	Fair		REG/REPLACE	-	X	465	BW	12	Juglans nigra	Black Walnut	Good		REG	-	S	579	NM	9	Acer platanoides	Norway Maple	Good		REG	-	S
353	BO	6	Quercus rubra	Red Oak	Good		REG/REPLACE	-	X	466	BW	9	Juglans nigra	Black Walnut	Good		REG	-	S	580	AF	21	Aesculus flava	Common buckeye	Fair		#N/A	#N/A	S
354	RO	8	Quercus rubra	Red Oak	Good		REG/REPLACE	-	X	467	BW	6	Juglans nigra	Black Walnut	Good		REG	-	S	581	NM	6	Acer platanoides	Norway Maple	Good		REG	-	S
355	E	13	Ulmus americana	American Elm	Fair		REG/REPLACE	-	X	468	SU	22	Acer saccharum	Sugar Maple	Good		REG	-	S	582	AP	11	Malus sylvestris	Domestic Apple	Fair		REG	-	S
356	BW	10	Juglans nigra	Black Walnut	Fair		REG/REPLACE	-	X	469	BW	8	Juglans nigra	Black Walnut	Good		REG	-	S	583	MW	13	Morus alba	White Mulberry	Good		N (SPECIES)	-	S
357	CT	35	Populus deltoides	Cottonwood	Good		N (SPECIES)	-	X	470	BW	6	Juglans nigra	Black Walnut	Good		REG	-	S	584	AP	7	Malus sylvestris	Domestic Apple	Fair	X1	REG	-	S
358	BW	11	Juglans nigra	Black Walnut	Fair		REG/REPLACE	-	X	471	BW	10	Juglans nigra	Black Walnut	Good		REG	-	S	585	BL	30	Robinia pseudoacacia	Black Locust	Good	X1	N (SPECIES)	-	S
359	BW	6	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	472	BX	7	Acer negundo	Box elder	Fair		N (SPECIES)	-	S	586	SU	43	Acer saccharum	Sugar Maple	Good		REG	-	S
360	CT	17	Populus deltoides	Cottonwood	Good		N (SPECIES)	-	X	473	BL	8	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S	587	MW	8	Morus alba	White Mulberry	Fair		N (SPECIES)	-	S
361	BW	8	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	474	BW	9	Juglans nigra	Black Walnut	Good		REG	-	S	588	MW	23	Morus alba	White Mulberry	Good		N (SPECIES)	-	S
362	BW	6	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	475	BW	11	Juglans nigra	Black Walnut	Good		REG	-	S	589	SU	41	Acer saccharum	Sugar Maple	Good		REG	-	S
363	E	6	Ulmus americana	American Elm	Good		REG/REPLACE	-	X	476	BL	16	Robinia pseudoacacia	Black Locust	Fair	X1	N (SPECIES)	-	S	590	SU	28	Acer saccharum	Sugar Maple	Good		REG	-	S
364	BW	12	Juglans nigra	Black Walnut	Good		N (SPECIES)	-	X	477	GA	6	Fraxinus pennsylvanica	Green Ash	Fair		N (SPECIES)	-	S	591	SU	38	Acer saccharum	Sugar Maple	Good		REG	-	S
365	BWW	23	Salix nigra	Black Willow	Fair		N (SPECIES)	-	X	478	BW	7	Juglans nigra	Black Walnut	Good		REG	-	S	592	SM	31	Acer saccharum	Silver Maple	Fair		N (SPECIES)	-	S
366	BW	9	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	479	BW	6	Juglans nigra	Black Walnut	Good		REG	-	S	593	SU	9	Acer saccharum	Sugar Maple	Good		REG	-	S
367	CT	23	Populus deltoides	Cottonwood	Good	X1	N (SPECIES)	-	X	480	BW	8	Juglans nigra	Black Walnut	Good		REG	-	S	594	BW	20	Juglans nigra	Black Walnut	Good		REG	-	S
368	BW	7	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	481	BW	8	Juglans nigra	Black Walnut	Good		REG	-	S	595	MW	20	Morus alba	White Mulberry	Fair	X1	N (SPECIES)	-	S
369	BW	16	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	482	BL	30	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S	596	BW	28	Juglans nigra	Black Walnut	Good		REG	-	S
370	BW	13	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	483	BL	12	Robinia pseudoacacia	Black Locust	Good		N (SPECIES)	-	S	597	BW	20	Juglans nigra	Black Walnut	Good	X1	REG	-	S
371	E	8	Ulmus americana	American Elm	Good		REG/REPLACE	-	X	484	BX	11	Acer negundo	Box elder	Good		N (SPECIES)	-	S	598	BS	12	Picea pungens	Blue Spruce	Fair		REG	-	S
372	BW	9	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	485	BL	17	Robinia pseudoacacia	Black Locust	Good		N (SPECIES)	-	S	599	BX	9	Acer negundo	Box elder	Good		N (SPECIES)	-	S
373	BW	11	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	486	E	12	Ulmus americana	American Elm	Fair		REG	-	S	600	SU	19	Acer saccharum	Sugar Maple	Good		REG	-	S
374	BO	7	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	487	EE	11	Ulmus pumila	Siberian Elm	Fair		N (SPECIES)	-	S	601	SU	9	Acer saccharum	Sugar Maple	Good		REG	-	S
375	BO	15	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	488	BW	14	Juglans nigra	Black Walnut	Good		REG	-	S	602	BS	10	Picea pungens	Blue Spruce	Fair		REG	-	S
376	BW	15	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	489	BW	6	Juglans nigra	Black Walnut	Good		REG	-	S	603	BS	14	Picea pungens	Blue Spruce	Fair		REG	-	S
377	BO	12	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	490	EE	7	Ulmus pumila	Siberian Elm	Fair		N (SPECIES)	-	S	604	BS	14	Picea pungens	Blue Spruce	Fair		REG	-	S
378	BC	6	Prunus serotina	Wild Black Cherry	Good		REG/REPLACE	-	X	491	BW	6	Juglans nigra	Black Walnut	Good		REG	-	S	605	SU	14	Acer saccharum	Sugar Maple	Good		REG	-	S
379	BO	11	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	492	BW	16	Juglans nigra	Black Walnut	Good		REG	-	S	606	SU	9	Acer saccharum	Sugar Maple	Good		REG	-	S
380	BC	7	Prunus serotina	Wild Black Cherry	Good		REG/REPLACE	-	X	493	BW	9	Juglans nigra	Black Walnut	Good		REG	-	S	607	SU	7	Acer saccharum	Sugar Maple	Good		REG	-	S
381	BO	12	Quercus velutina	Black Oak	Good		REG/REPLACE	-	X	494	BX	10	Acer negundo	Box elder	Good		N (SPECIES)	-	S	608	SU	15	Acer saccharum	Sugar Maple	Good		REG	-	S
382	BO	9	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	495	BL	17	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S	609	SU	7	Acer saccharum	Sugar Maple	Good		REG	-	S
383	BW	13	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	496	BW	12	Juglans nigra	Black Walnut	Good		REG	-	S	610	BL	15	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S
384	BW	7	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	497	BW	10	Juglans nigra	Black Walnut	Good		REG	-	S	610	BL	22	Robinia pseudoacacia	Black Locust	Good		N (SPECIES)	-	S
385	BO	6	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	498	BW	26	Juglans nigra	Black Walnut	Good		REG	-	S	612	SU	7	Acer saccharum	Sugar Maple	Good		REG	-	S
386	BO	6	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	499	BW	19	Juglans nigra	Black Walnut	Good		REG	-	S	613	BL	22	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S
387	BO	8	Quercus velutina	Black Oak	Good		REG/REPLACE	-	X	500	WS	6	Picea glauca	White Spruce	Fair		REG	-	S	614	BL	28	Robinia pseudoacacia	Black Locust	Good		N (SPECIES)	-	S
388	BO	7	Quercus velutina	Black Oak	Good		REG/REPLACE	-	X	501	WS	11	Picea glauca	White Spruce	Fair		REG	-	S	615	NM	15	Acer platanoides	Norway Maple	Good		REG	-	S
389	BO	9	Quercus velutina	Black Oak	Good		REG/REPLACE	-	X	502	BW	7	Juglans nigra	Black Walnut	Good		REG	-	S	616	NM	7	Acer platanoides	Norway Maple	Good	X1	REG	-	S
390	BW	6	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	503	BO	10	Quercus velutina	Black Oak	Good		REG	-	S	617	NM	33	Acer platanoides	Norway Maple	Good		REG	-	S
391	BW	12	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	504	BW	14	Juglans nigra	Black Walnut	Good		REG	-	S	618	SU	9	Acer saccharum	Sugar Maple	Good		REG	-	S
392	BW	7	Juglans nigra	Black Walnut	Good		REG/REPLACE	-	X	505	WC	13	Thuja occidentalis	White Cedar	Good		REG	-	S	619	SU	12	Acer saccharum	Sugar Maple	Good		REG	-	S
393	BC	20	Prunus serotina	Wild Black Cherry	Fair		N (SPECIES)	-	X	506	WC	6	Thuja occidentalis	White Cedar	Good		REG	-	S	620	SU	21	Acer saccharum	Sugar Maple	Good		REG	-	S
394	BO	32	Quercus velutina	Black Oak	Good		N (SPECIES)	-	X	507	WC	7	Thuja occidentalis	White Cedar	Good		REG	-	S	621	BL	22	Robinia pseudoacacia	Black Locust	Good	X1	N (SPECIES)	-	S
395	BO	6	Quercus velutina	Black Oak	Fair		N (SPECIES)	-	X	508	WC	8	Thuja occidentalis	White Cedar	Good		REG	-	S	622	BL	16	Robinia pseudoacacia	Black Locust	Good		N (SPECIES)	-	S
396	BO	6	Quercus velutina	Black Oak	Good		N (SPECIES)	-	X	509	WC	7	Thuja occidentalis	White Cedar	Good	X1	REG	-	S	623	SU	10	Acer saccharum	Sugar Maple	Good		REG	-	S
397	BO	6	Quercus velutina	Black Oak	Fair		REG/REPLACE	-	X	510	WC	16	Thuja occidentalis	White Cedar	Good		REG	-	S	624	BL	20	Robinia pseudoacacia	Black Locust	Fair		N (SPECIES)	-	S
398	BO	6	Quercus velutina	Black Oak	Fair		N (SPECIES)	-	X	511	BW	8	Juglans nigra	Black Walnut	Fair														

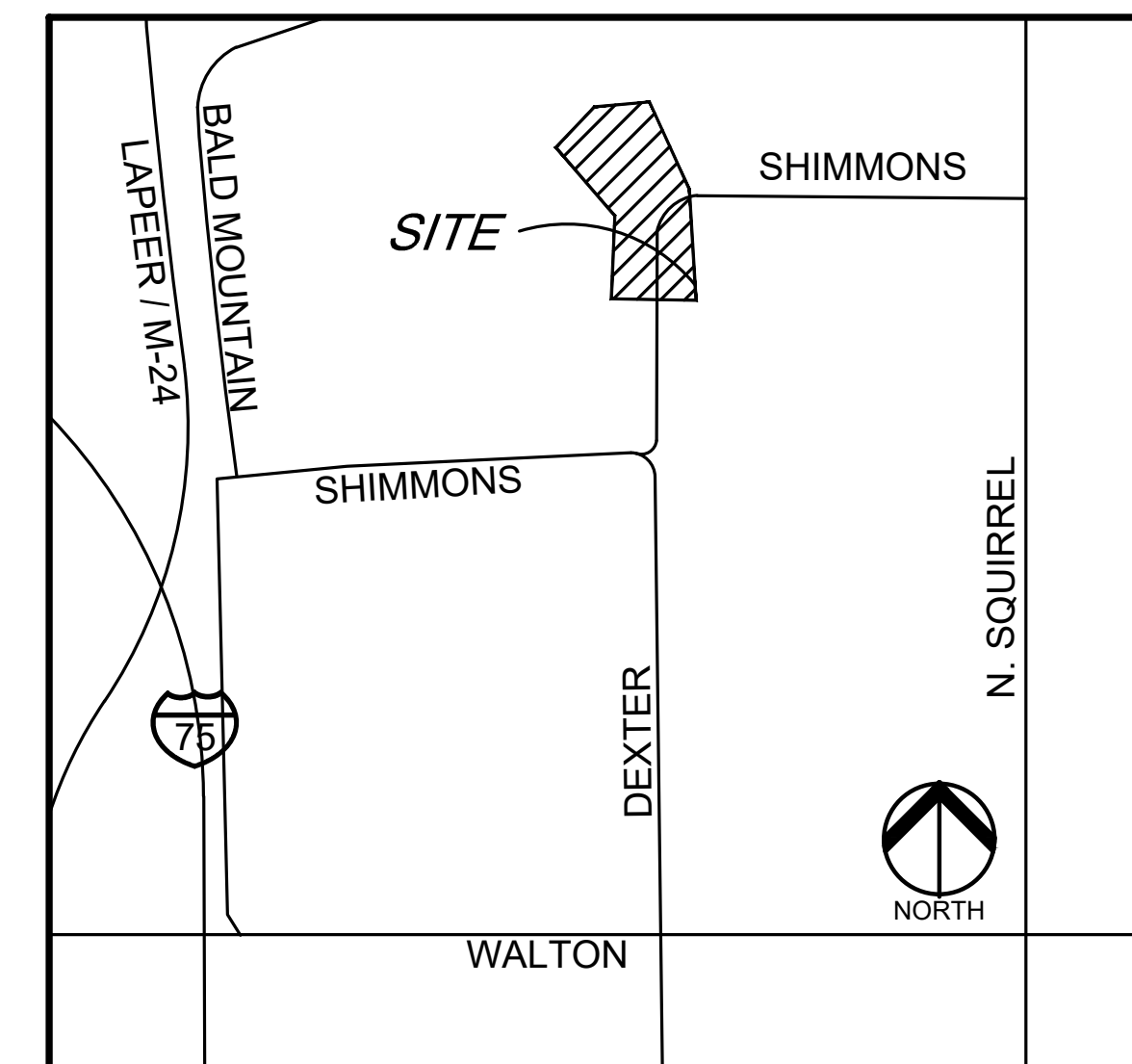




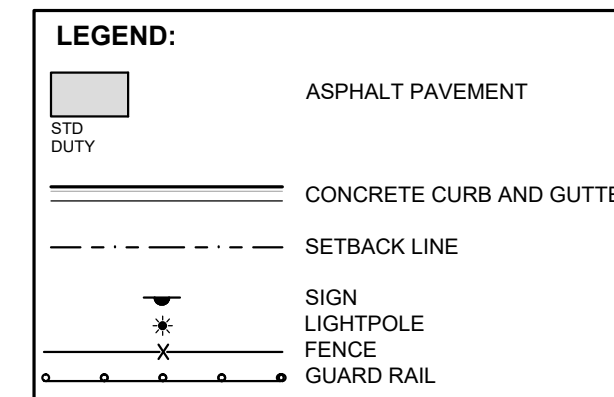
0 15 30 60  
SCALE: 1" = 30'



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LOCATION MAP  
NO SCALE



**GENERAL NOTES:**  
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.

**AUBURN HILLS GENERAL NOTES:**

- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO. 372.
- NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, OR TRAILER STORAGE. EXCEPTIONS PERMITTED UNDER PUD.
- GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO. 372.
- PARKING SPACES SHALL BE DOUBLE STRIPPED PER ZONING ORDINANCE NO. 372.
- ENVIRONMENTAL IMPACT STATEMENT NOT REQUIRED FOR THIS PROJECT.
- LAND DIVISION OR COMBINATION IS REQUIRED FOR THIS PROJECT.
- SPECIAL LAND USE (SLU) APPROVAL IS REQUIRED FOR PRIVATE SCHOOL IN RESIDENTIAL DISTRICT.
- THE DEVELOPER HAS AGREED TO PREP THE PARKING LOT WITH THE INSTALLATION OF ELECTRIC STUBS FOR FUTURE ELECTRIC VEHICLE (EV) CHARGING STATION AND RUN CONDUIT FROM POWER SOURCE TO THE STUBS TO SUPPORT FUTURE INSTALLATIONS. THE SPACES ARE DESIGNATED WITH EV ON THE PLAN AN WILL BE POSTED IF AND WHEN CHARGING STATION ARE INSTALLED.

**LEGAL DESCRIPTIONS:**  
(PER OAKLAND COUNTY)

PN: 14-11-276-007  
Postal Address: 3075 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL  
Property Description:  
T3N, R10E, SEC 11 SUPERVISOR'S PLAT NO 12 PART OF LOT 1 DESC AS BEG AT PT DIST S 01-12-10 E 1297.59 FT FROM NE SEC COR, TH S 01-12-10 E 223.84 FT, TH S 86-40-10 W 33.02 FT, TH S 01-12-05 E 866.14 FT, TH S 86-40-10 W 500 FT, TH N 01-12-05 W 1027.91 FT, TH S 89-15-10 E 2.96 FT, TH S 01-12-10 E 100 FT, TH S 89-15-15 E 530 FT TO BEG

PN: 1412151001  
Postal Address: 3178 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL, A MICHIGAN NONPROFIT CORPORATION  
Property Description:  
T3N, R10E, SEC 12 PART OF NW 1/4 BEG AT PT DIST N 01-12-10 W 963.82 FT FROM W 1/4 COR, TH N 01-12-10 W 450.20 FT, TH N 84-44-40 E 330.00 FT, TH S 01-12-10 E 450.20 FT, TH S 84-44-40 W 330.00 FT TO BEG

PN: 1412151002  
Postal Address: 3178 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL, A NONPROFIT CORPORATION  
Property Description:  
T3N, R10E, SEC 12 PART OF NW 1/4 BEG AT PT DIST N 01-12-10 W 1413.32 FT & N 84-44-40 E 330 FT FROM W 1/4 COR, TH N 84-44-40 E 157 FT, TH S 01-12-10 E 450.20 FT, TH S 84-44-40 W 157 FT, TH N 01-12-10 W 450.20 FT TO BEG

PN: 1412151003  
Postal Address: 3075 SHIMMONS RD  
OAKLAND CHRISTIAN SCHOOL, A NONPROFIT CORPORATION  
Property Description:  
T3N, R10E, SEC 12 PART OF NW 1/4 BEG AT PT DIST N 01-12-10 W 1414.02 FT & N 84-44-40 E 487 FT FROM W 1/4 COR, TH N 84-44-40 E 132.14 FT, TH S 00-41-10 E 450.50 FT, TH S 84-44-40 W 128.09 FT, TH N 01-12-10 W 450.20 FT TO BEG

**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP 'TYPE P' (P)  
CURB DROP ONLY (X)  
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SIGN LEGEND:**

'STOP' SIGN (1)  
'BARRIER FREE PARKING' SIGN (2)  
'VAN ACCESSIBLE' SIGN (3)  
'CROSSWALK' SIGN (4)  
'DO NOT ENTER' SIGN (5)  
'ONE-WAY' SIGN (6)  
REFER TO DETAIL SHEET FOR SIGN DETAILS

**SITE DATA TABLE:**

SITE AREA:	10.61 ACRES NET AND GROSS
ZONING:	R-1A "ONE FAMILY RESIDENTIAL" DISTRICT
PARKING PROVIDED:	
EXISTING PARKING (SOUTH LOT)	= 161 SPACES INCLUDING 6 HC SPACES
EXISTING PARKING (NORTH LOT)	= 11 SPACES
EXISTING GRAVEL PARKING (NORTH)	= 8 SPACES
NEW PARKING AREA	= 93 SPACES INCLUDING HC SPACES
TOTAL PARKING PROVIDING	= 273 SPACES (INCLUDING 10 HC SPACES)

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

**REVISIONS**

SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**SITE PLAN**

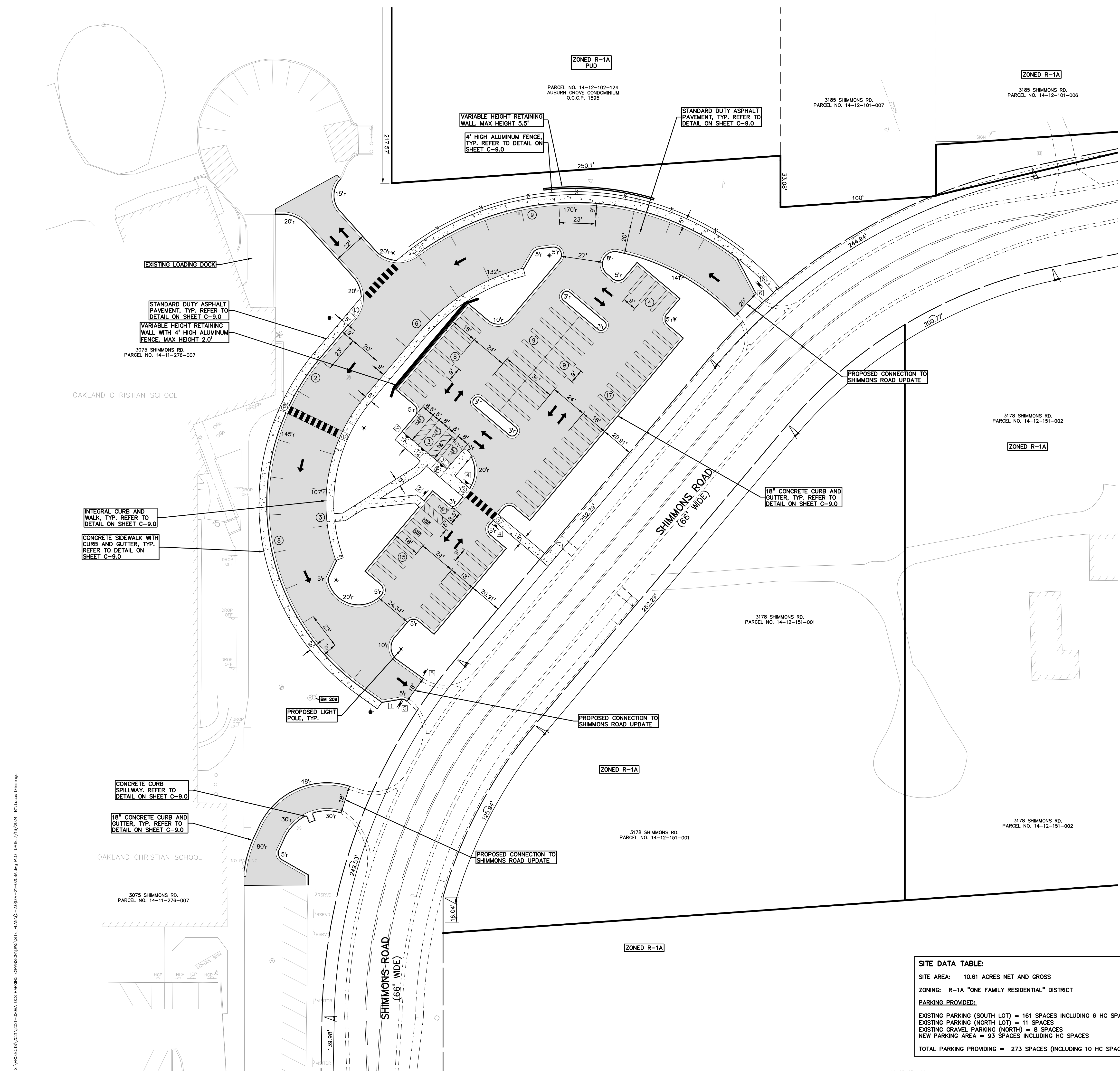
PEA JOB NO. 21-0208A

P.M. JPB  
DN. BV  
DES. LD

DRAWING NUMBER:

**C-2.0**

NOT FOR CONSTRUCTION



S:\PROJECTS\2021\0208A\_OCS\_PARKING\_EXPANSION\DWG\SITE\_PLAN\C-2008A.dwg PLOT DATE: 7/16/2024 8:11:00am D:\user





0 25 50 100  
 SCALE: 1" = 50'



**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR OTHER EXPRESSION OR WARRANTY AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
 3075 SHIMMONS ROAD  
 AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
 3075 SHIMMONS ROAD  
 AUBURN HILLS, MI 48326

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
 MAY 21, 2024

DRAWING TITLE  
**OVERALL SITE PLAN**

PEA JOB NO. 21-0208A

P.M.	JPB
DN.	BV
DES.	LD

DRAWING NUMBER:

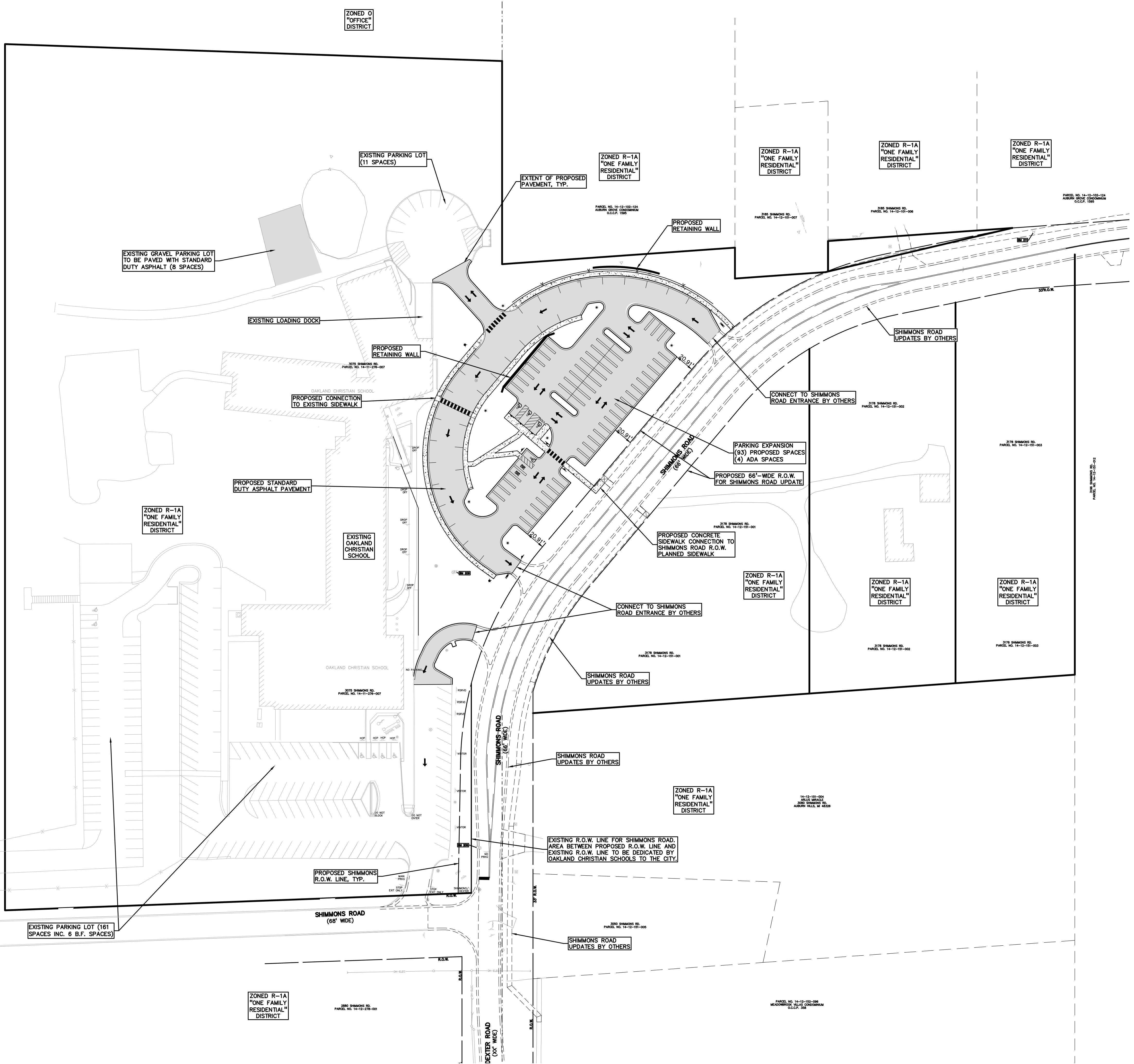
**LEGEND:**

	ASPHALT PAVEMENT
	STD DUTY
	CONCRETE CURB AND GUTTER
	SETBACK LINE
	SIGN
	LIGHTPOLE
	FENCE
	GUARD RAIL

- ADDITIONAL NOTES:**  
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.

**SITE DATA TABLE:**

SITE AREA:	10.61 ACRES NET AND GROSS
ZONING:	R-1A "ONE FAMILY RESIDENTIAL" DISTRICT
PARKING PROVIDED:	
EXISTING PARKING (SOUTH LOT)	= 161 SPACES INCLUDING 6 HC SPACES
EXISTING PARKING (NORTH LOT)	= 11 SPACES
EXISTING GRAVEL PARKING (NORTH)	= 8 SPACES
NEW PARKING AREA	= 93 SPACES INCLUDING HC SPACES
TOTAL PARKING PROVIDING	= 273 SPACES (INCLUDING 10 HC SPACES)

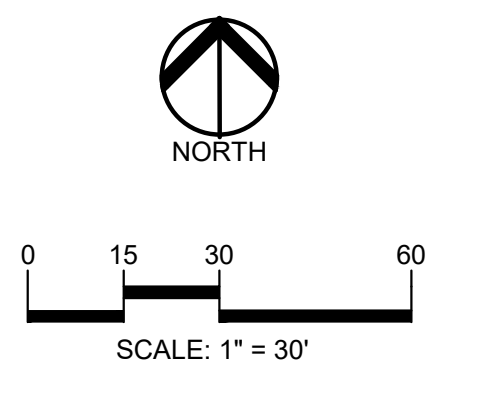
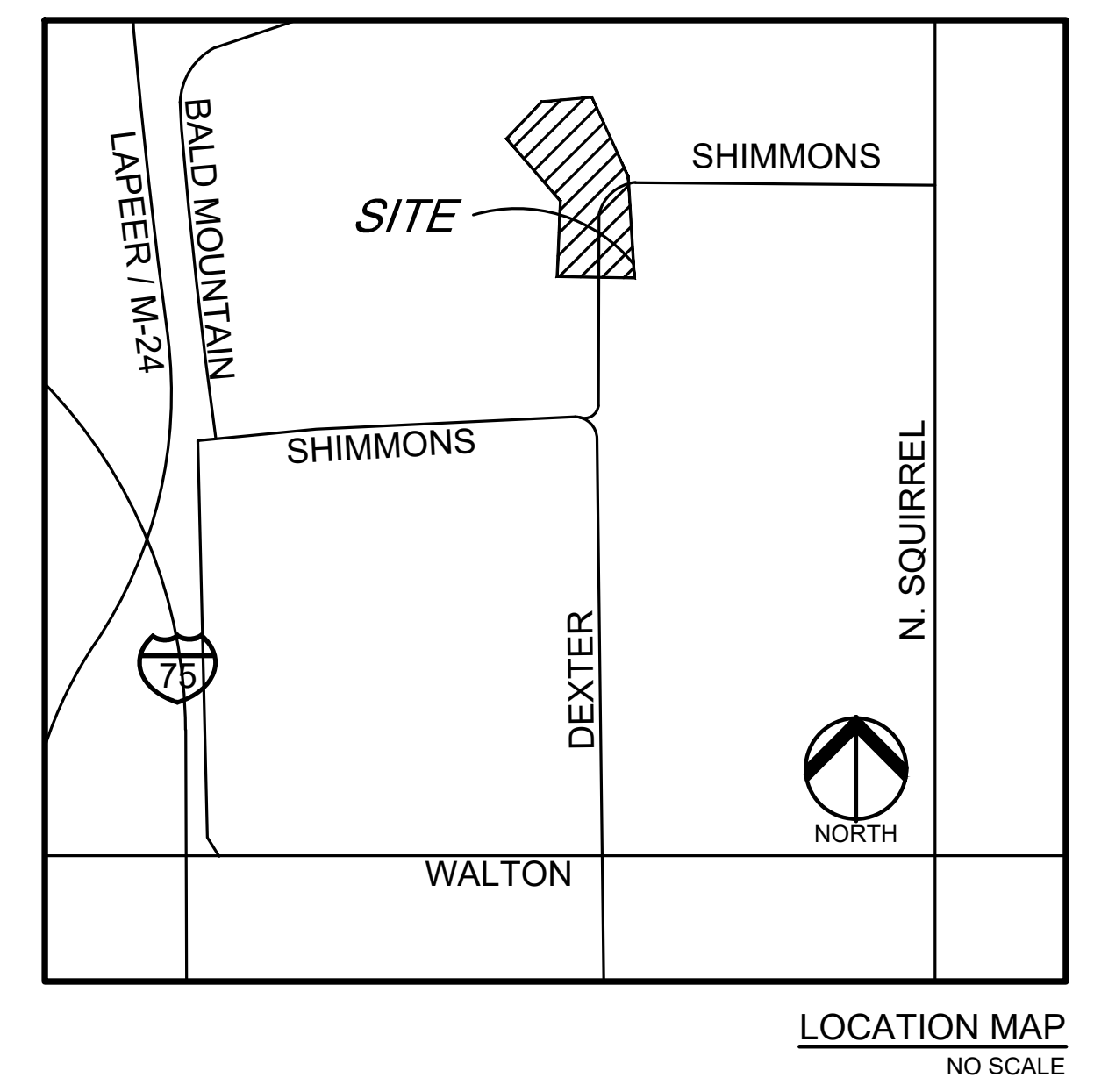
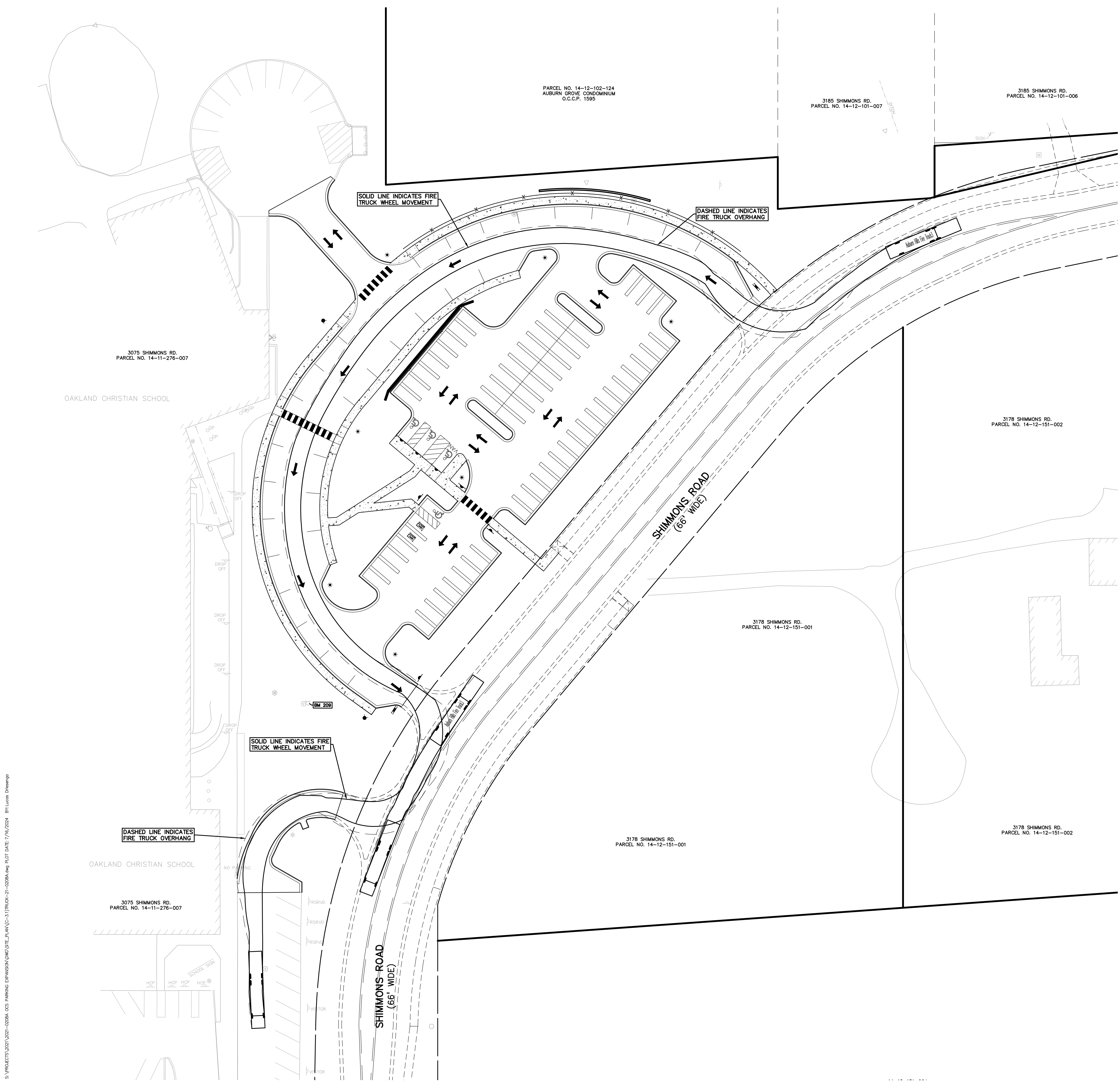


NOT FOR CONSTRUCTION

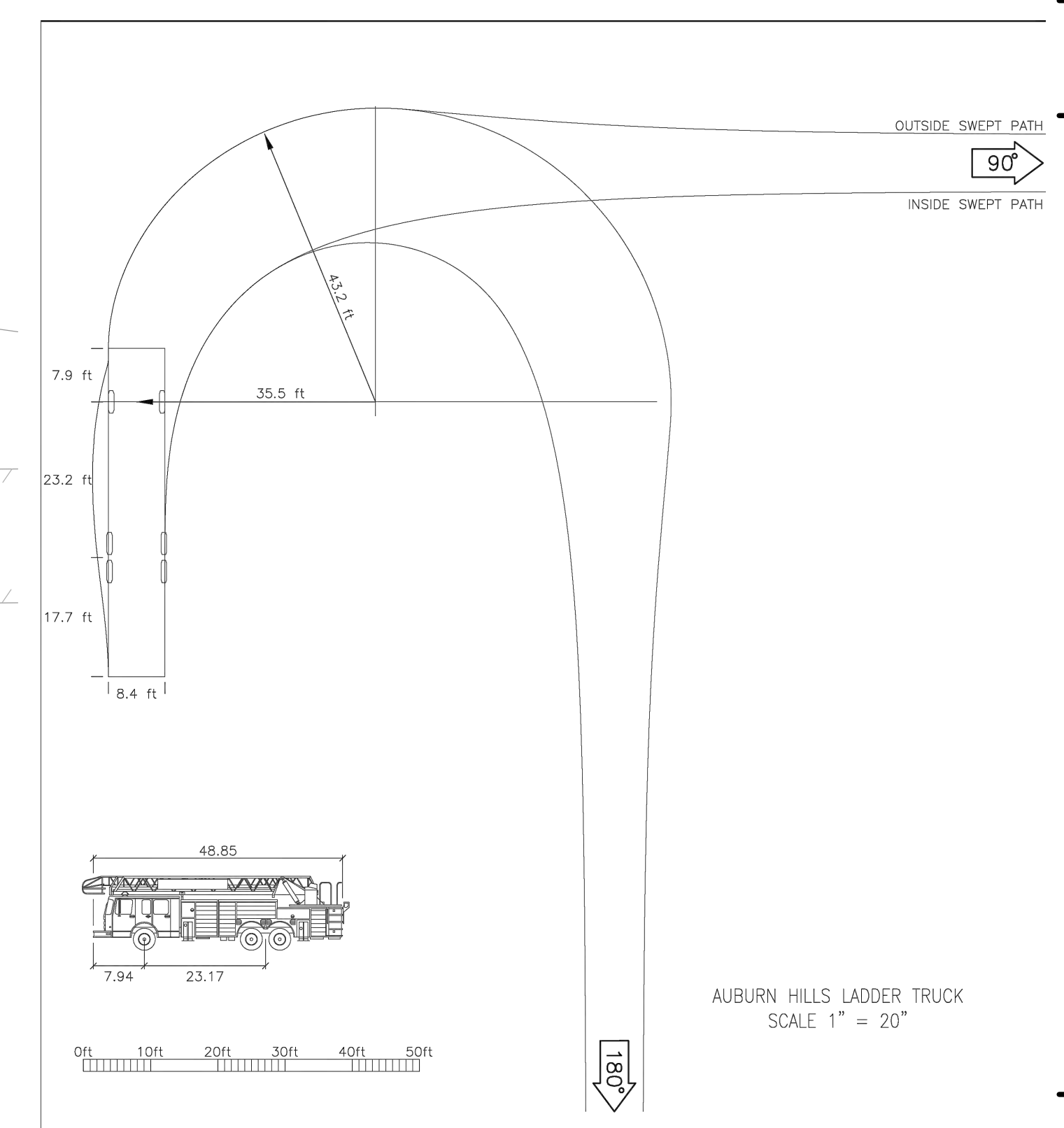
**C-3.0**

S:\PROJECTS\2021-2024-0208A-025 PARKING EXPANSION\DWG\SP1\_Plan\_C-3-Overall-21-0208A.dwg PLOT DATE: 7/16/2024 BY: Luana Dieringa





**CAUTION!!**  
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CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024



ORIGINAL ISSUE DATE:  
MAY 21, 2024

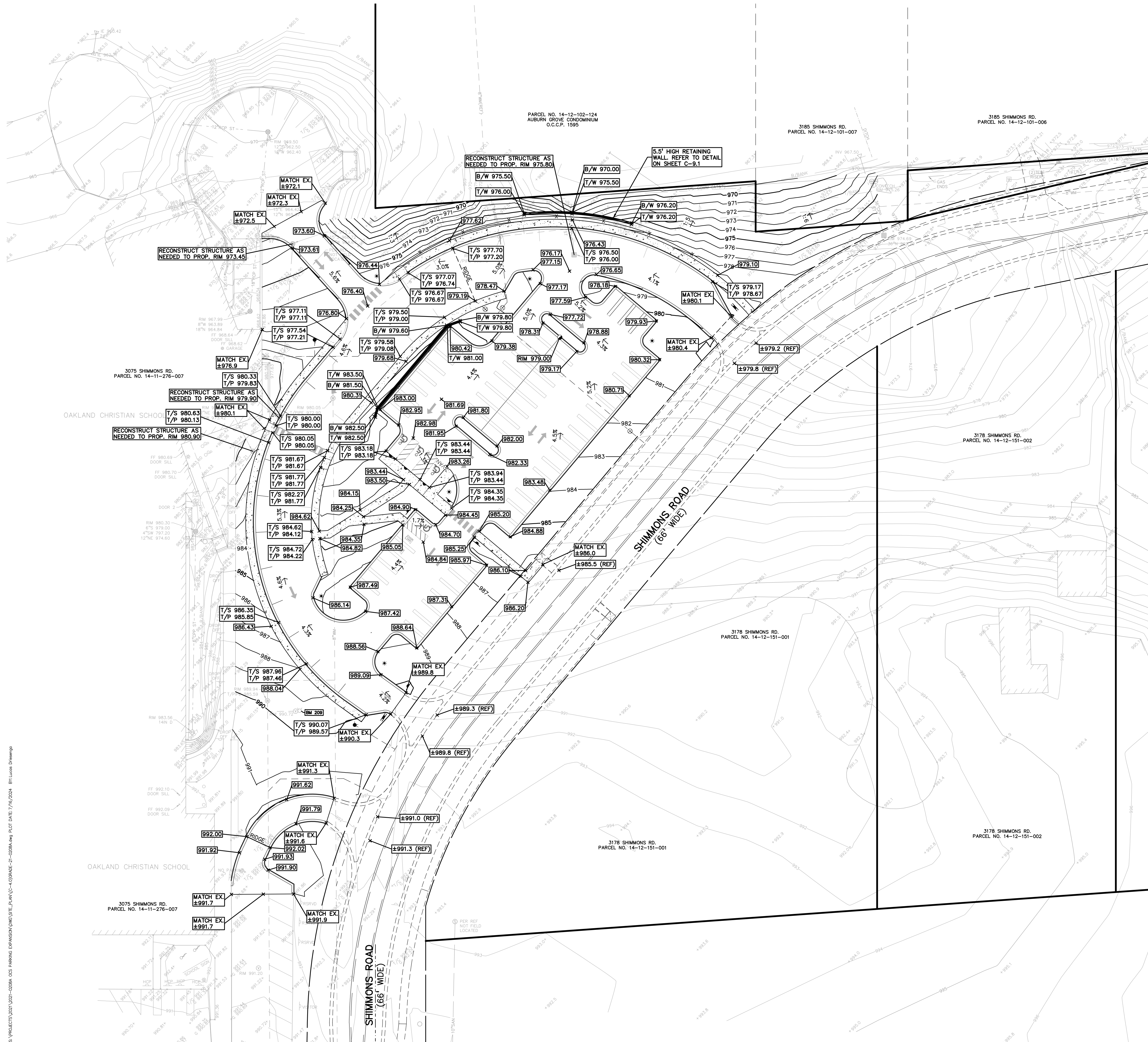
DRAWING TITLE  
**FIRE TRUCK TURNING PLAN**

PEA JOB NO.	21-0208A
P.M.	JPB
DN.	BV
DES.	LD

DRAWING NUMBER:

S:\PROJECTS\2021-2024\0208A\_OCS PARKING EXPANSION\DWG\SITE\_PLAN\C-3.1\TRUCK-21-0208A.dwg PLOT DATE: 7/16/2024 BPL User: Drenwaga





**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- B/W = BOTTOM OF WALL
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RIM = RIM ELEVATION

**SYMBOLS: GRADING**

- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- PROPOSED CONTOUR LINE

**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL. NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.



**CAUTION!!**  
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**CITY OF AUBURN HILLS STANDARD NOTES:**

1. CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS.
2. NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.
3. A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW.
4. ALL CITY STREET MUST BE MAINTAINED DURING CONSTRUCTION. STREET SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
5. WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM, SUNDAY TO SUNDOWN, WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.
6. ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.
7. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
8. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MMS DIG 1-800-462-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
9. THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
10. ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OFF OF THE PROJECT SITE.
11. ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
12. FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT." "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
13. WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
14. 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & McCLIMENT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.
15. PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

**EARTHWORK BALANCING NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

**CLIENT**  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

**PROJECT TITLE**  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48326

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	21-0208A
P.M.	JPB
DN.	BV
DES.	LD

DRAWING NUMBER:

S:\PROJECTS\2021\0208A\_OCS PARKING EXPANSION\DWG\STATE\_PLAN\C-4-0208A-21-0208A.dwg PLOT DATE: 7/16/2024 BPL User: bhwang





0 15 30 60  
SCALE: 1" = 30'



**CAUTION!!**  
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CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48322

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48322

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

PEA JOB NO. 21-0208A

P.M.	JPB
DN	BV
DES.	LD

DRAWING NUMBER:

**C-6.0**

**UTILITY LEGEND:**

OH-ELEC-W	EX. OH. ELEC. POLE & GUY WIRE
UG-CATV	EX. U.G. CABLE TV & PEDESTAL
UG-COMM	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
UG-ELEC	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
---	EX. GAS LINE
⊕	EX. GAS VALVE & GAS LINE MARKER
⊕	EX. TRANSFORMER & IRRIGATION VALVE
---	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊕	EX. SANITARY SEWER
⊕	EX. SANITARY CLEANOUT & MANHOLE
⊕	EX. COMBINED SEWER MANHOLE
⊕	EX. STORM SEWER
⊕	EX. CLEANOUT & MANHOLE
⊕	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊕	EX. YARD DRAIN & ROOF DRAIN
⊕	EX. UNIDENTIFIED STRUCTURE
---	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT AND GATE VALVE
⊕	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊕	PROPOSED POST INDICATOR VALVE
⊕	PROPOSED SANITARY SEWER
⊕	PROPOSED SANITARY CLEANOUT & MANHOLE
⊕	PROPOSED STORM SEWER
⊕	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊕	PROPOSED CATCH BASIN, INLET & YARD DRAIN

**FIRE DEPARTMENT NOTES:**

- THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS SHALL BE PAINTED ACCORDING TO THE FOLLOWING:  
WHITE ON 4" MAINS  
RED ON 6" MAINS  
ORANGE ON 8" MAINS  
GREEN ON 12" MAINS  
BLUE ON 16" MAINS OR LARGER
- NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY HYDRANT OR FIRE DEPARTMENT CONNECTION PUBLIC OR PRIVATE.
- THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM TWENTY (20) FOOT WIDE PAVED DRIVEWAY OR STREET.
- GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICES, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.
- ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERRECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT EXCEEDING ONE HUNDRED (100) FEET.
- DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.
- A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

**CITY OF AUBURN HILLS STANDARD NOTES:**

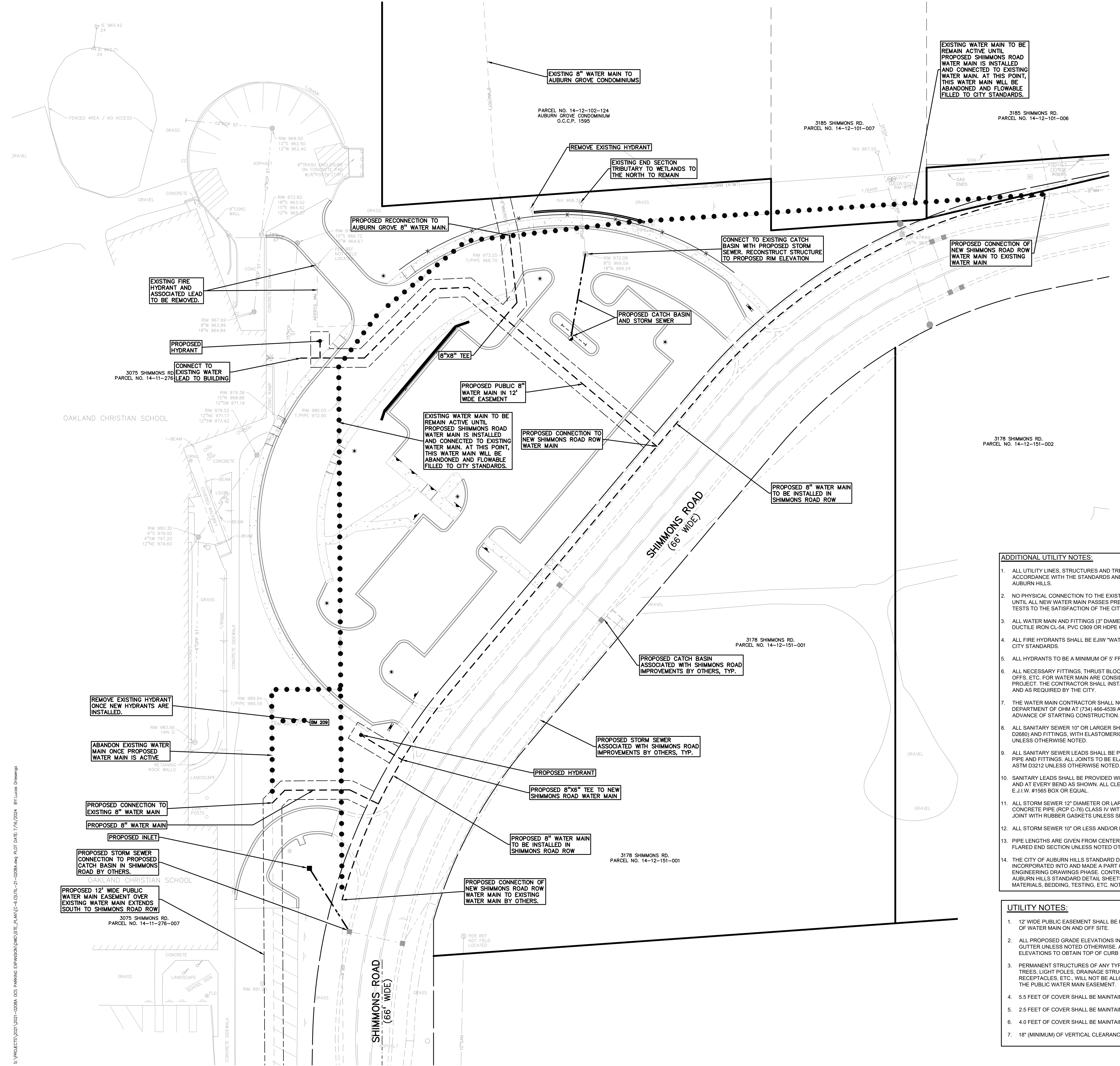
- CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF AUBURN HILLS' STANDARDS.
- NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.
- A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW.
- ALL CITY STREET MUST BE MAINTAINED DURING CONSTRUCTION. STREET SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.
- WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7.00 AM TO 7.00 PM. SUN/UP TO SUN/DOWN, WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE CITY MANAGER OR HIS DESIGNEE.
- ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.
- UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIS: 1-800-462-7711) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.
- ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.
- FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.
- WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF AUBURN HILLS SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.
- 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & McCUMMINT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO TREES, LIGHT POLES, DRAINAGE STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS.

**ADDITIONAL UTILITY NOTES:**

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF AUBURN HILLS.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON CL-54, PVC C909 OR HDPE C905 DR11 PER CITY STANDARDS.
- ALL FIRE HYDRANTS SHALL BE EJW "WATERMASTER" #56R MODEL #250 PER CITY STANDARDS.
- ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
- THE WATER MAIN CONTRACTOR SHALL NOTIFY THE CONSTRUCTION DEPARTMENT OF OHM AT (734) 466-4539 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.
- ALL SANITARY SEWER 10" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2689) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.V. #1565 BOX OR EQUAL.
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
- ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
- THE CITY OF AUBURN HILLS STANDARD DETAIL SHEETS WILL BE INCORPORATED INTO AND MADE A PART OF THESE PLANS DURING THE ENGINEERING DRAWINGS PHASE. CONTRACTOR TO REFER TO THE CITY OF AUBURN HILLS STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.

**UTILITY NOTES:**

- 12' WIDE PUBLIC EASEMENT SHALL BE PROVIDED FOR THE PUBLIC SECTION OF WATER MAIN ON AND OFF SITE.
- ALL PROPOSED GRADE ELEVATIONS INDICATED ARE TOP OF PAVEMENT OR GUTTER UNLESS NOTED OTHERWISE. ADD 0.50' TO ALL PROPOSED ELEVATIONS TO OBTAIN TOP OF CURB GRADES.
- PERMANENT STRUCTURES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO TREES, LIGHT POLES, DRAINAGE STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN EASEMENT.
- 5.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAINS.
- 2.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL STORM SEWER.
- 4.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- 18" (MINIMUM) OF VERTICAL CLEARANCE IS REQUIRED BETWEEN UTILITIES.



S:\PROJECTS\2021-0208A\_OCS PARKING EXPANSION\DWG\STL\_PLAN(C-01)PLT-21-0208A.dwg PLOT DATE: 7/16/2024 8:11:00am D:\Users\dlawrence

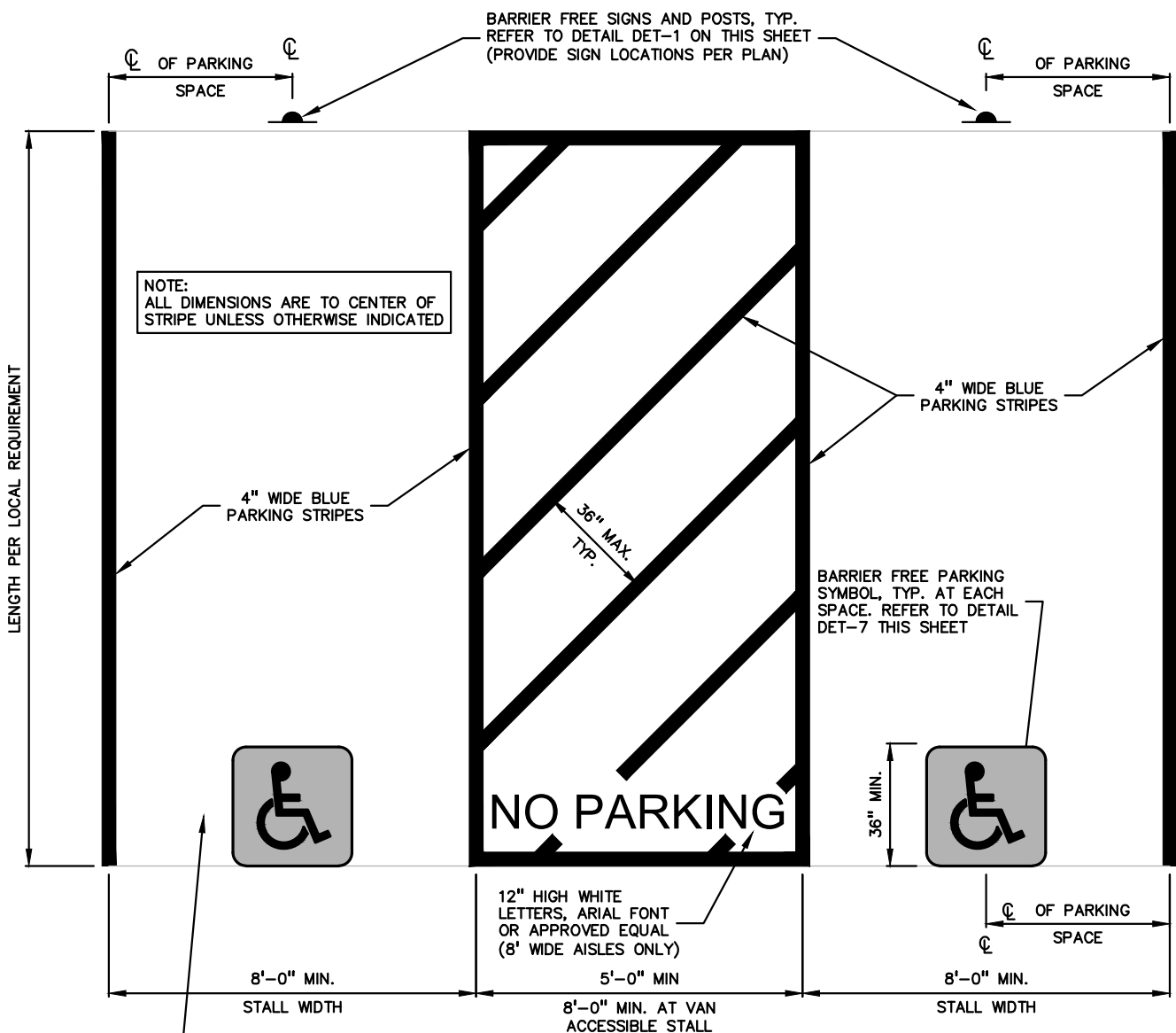
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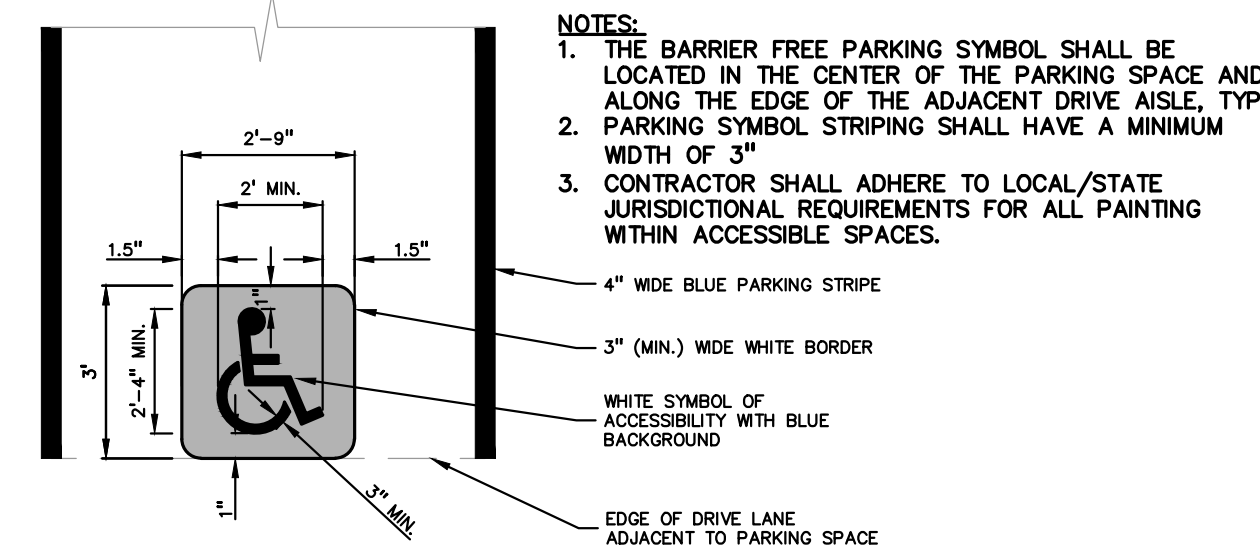
**GENERAL BARRIER FREE NOTES:**

THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.

- AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
- WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-8 THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
- TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE (1:48) IN ANY DIRECTION.
- ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM CLEAR WIDTH IS 3 FEET.
- RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
- THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48).
- THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
- THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG.
- HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS ADJOINING ANOTHER ACCESS POINT OR IF THE VERTICAL DROP-OFF AT THE EDGE OF THE RAMP DOES NOT EXCEED 1/2" IN 10 FEET. EDGE PROTECTION CAN BE PROVIDED BY MEANS OF A 4" MIN. CURB OR BARRIER.
- CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT RISE MORE THAN 6 INCHES, NOR BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5%, WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
- IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10).
- LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
- CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
- WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
- ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 502 OF THE A.D.A. IF THE SITE HAS MORE THAN ONE PARKING FACILITY, EACH FACILITY IS REQUIRED TO MEET THESE REQUIREMENTS SEPARATELY. THE REQUIRED NUMBER OF SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY ON SITE.
- FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. IF THERE IS MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SHALL BE DISPERSED ALONG THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
- BARRIER FREE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. VAN ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
- SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48)
- ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98 INCHES.
- ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO DETAILS ON THIS SHEET.



**DET 6 ALTERNATE BARRIER FREE PARKING STALL DETAIL**  
NOT TO SCALE



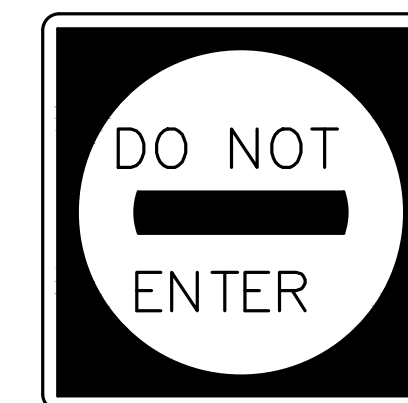
**DET 7 BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY)**  
NOT TO SCALE



**DET 2 BARRIER FREE PARKING SIGN DETAIL**  
NOT TO SCALE

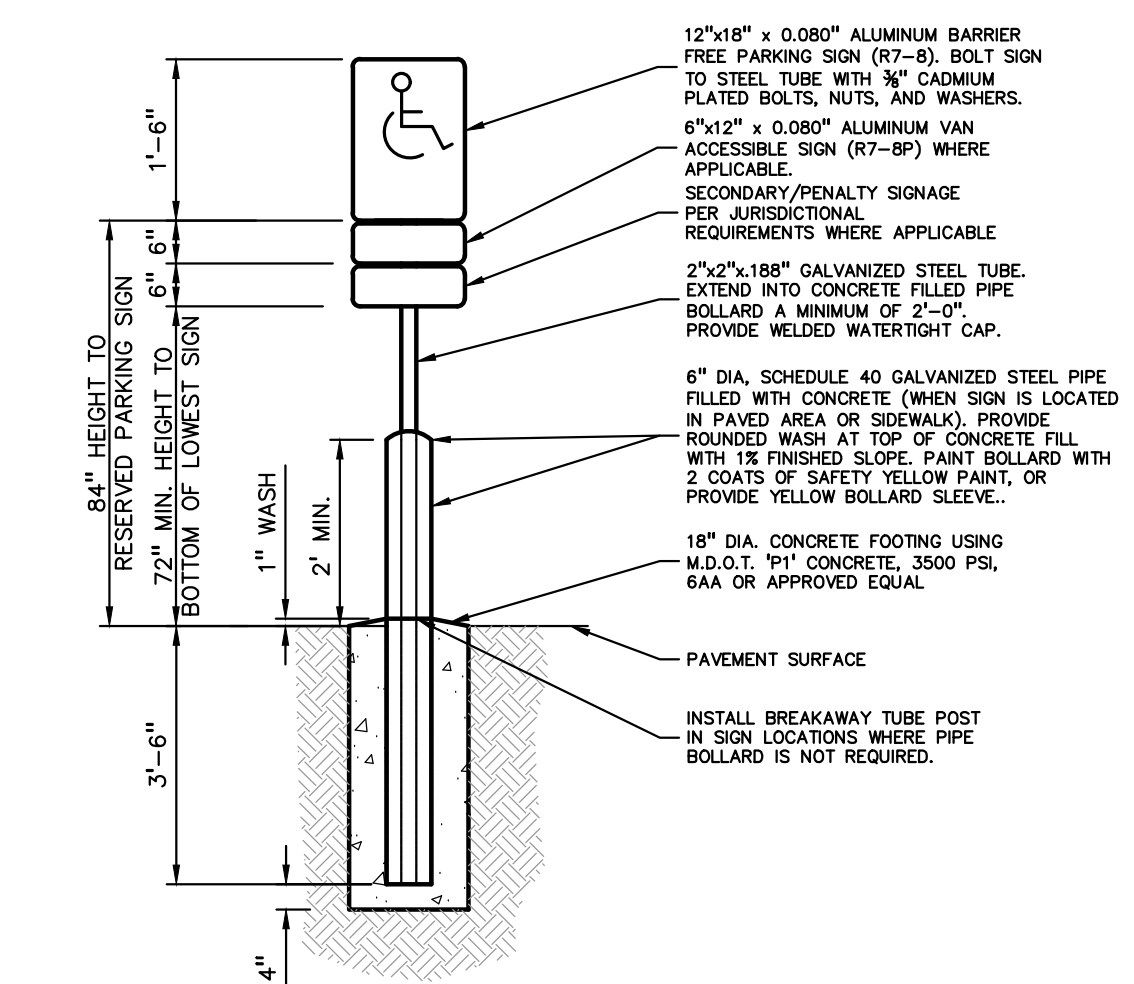


**DET 3 VAN ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE

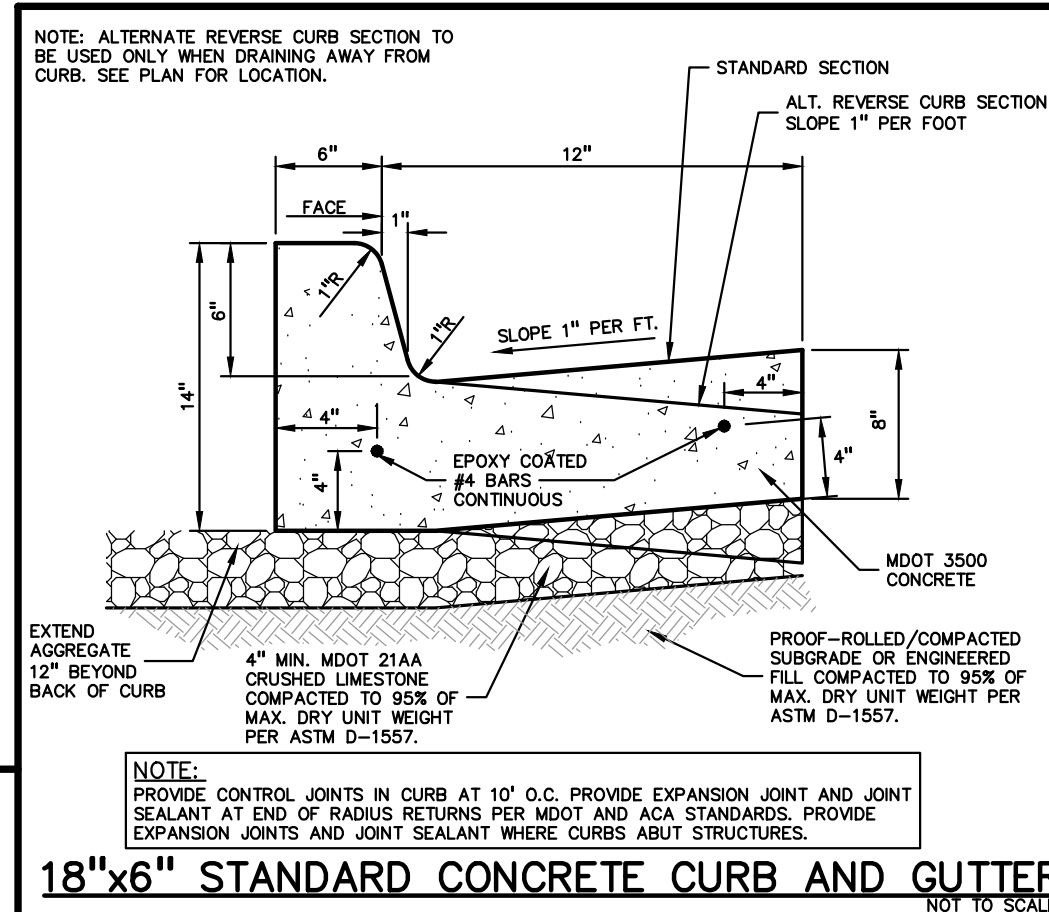


**DO NOT ENTER SIGN DETAIL**  
NOT TO SCALE

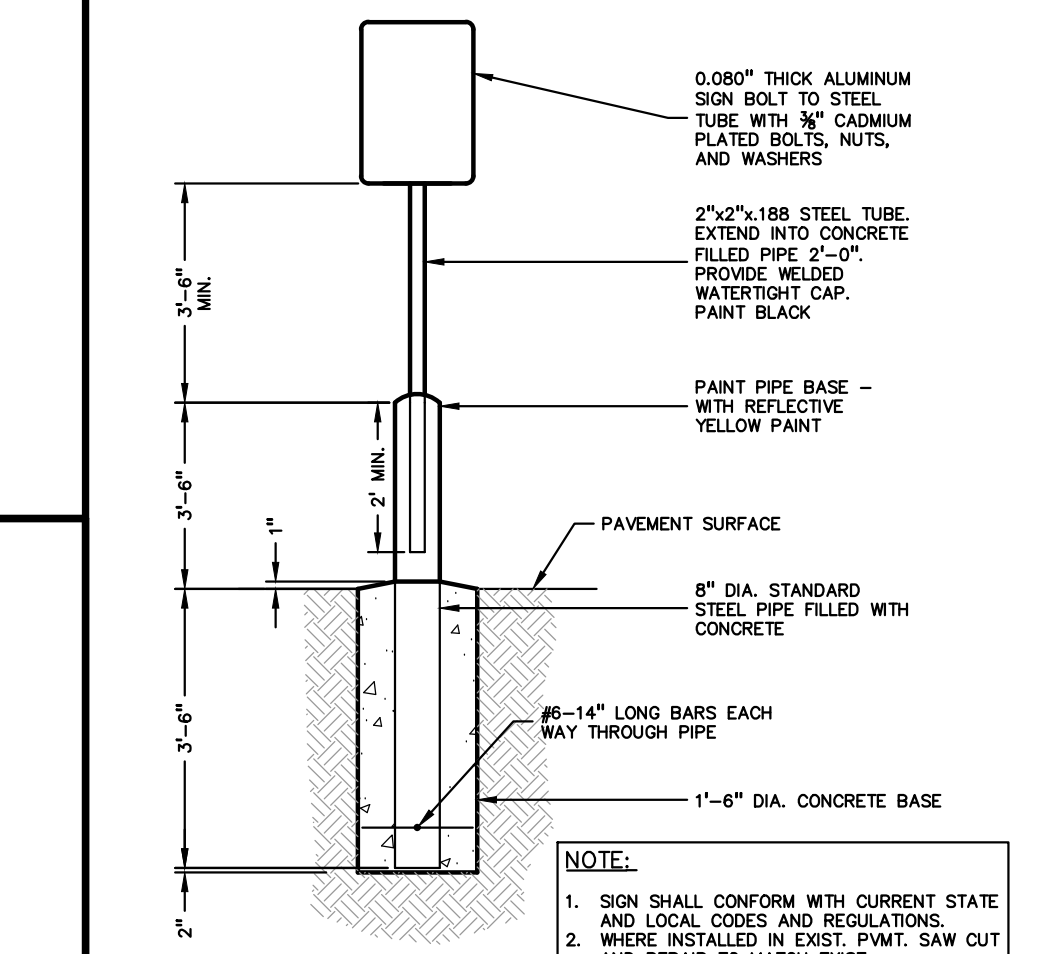
- BARRIER FREE SIGN NOTES:**
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
  - ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUCD).
  - WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
  - SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
  - ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
  - IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
  - ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



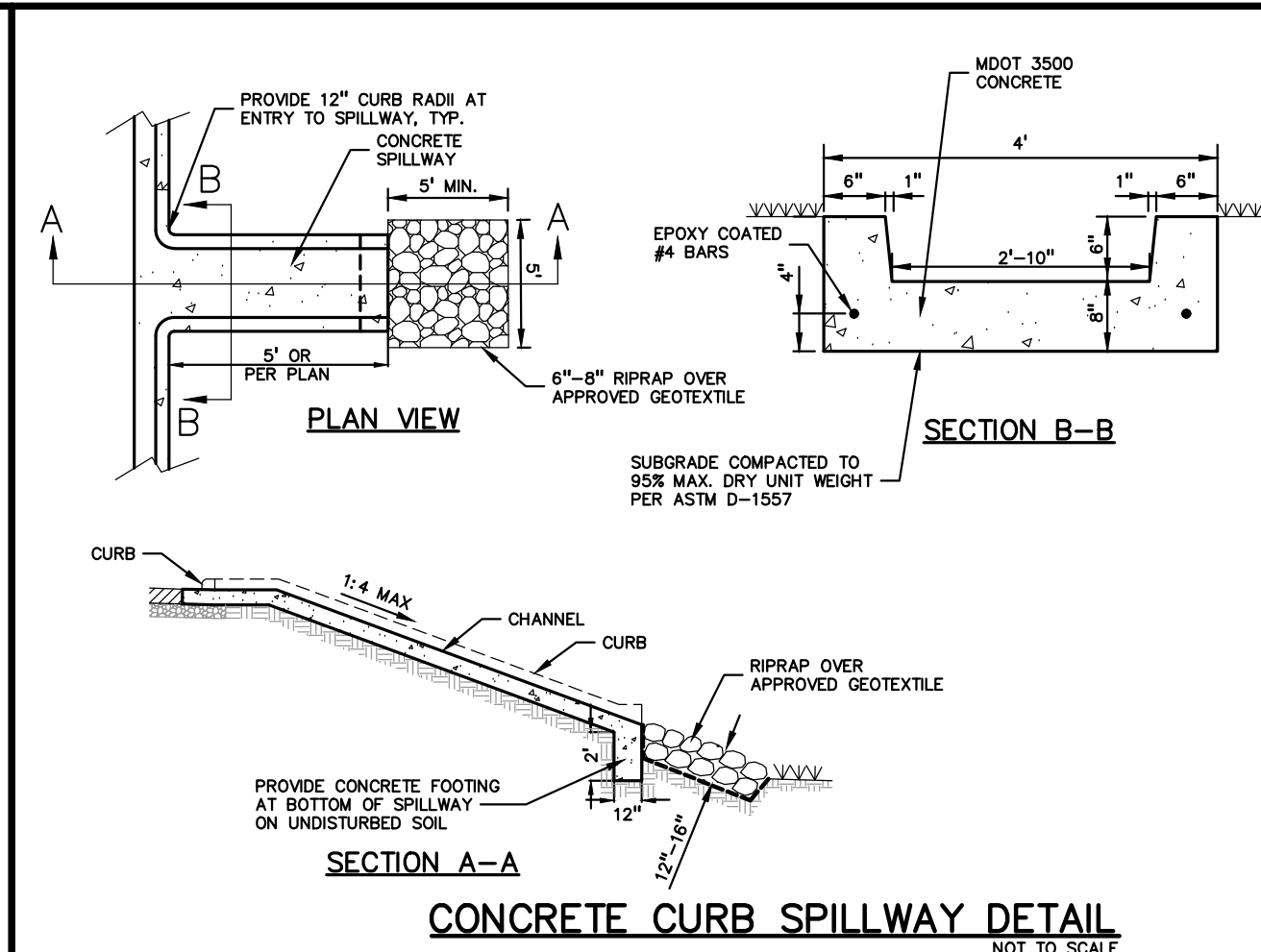
**DET 1 BARRIER FREE SIGN AND POST DETAIL**  
NOT TO SCALE



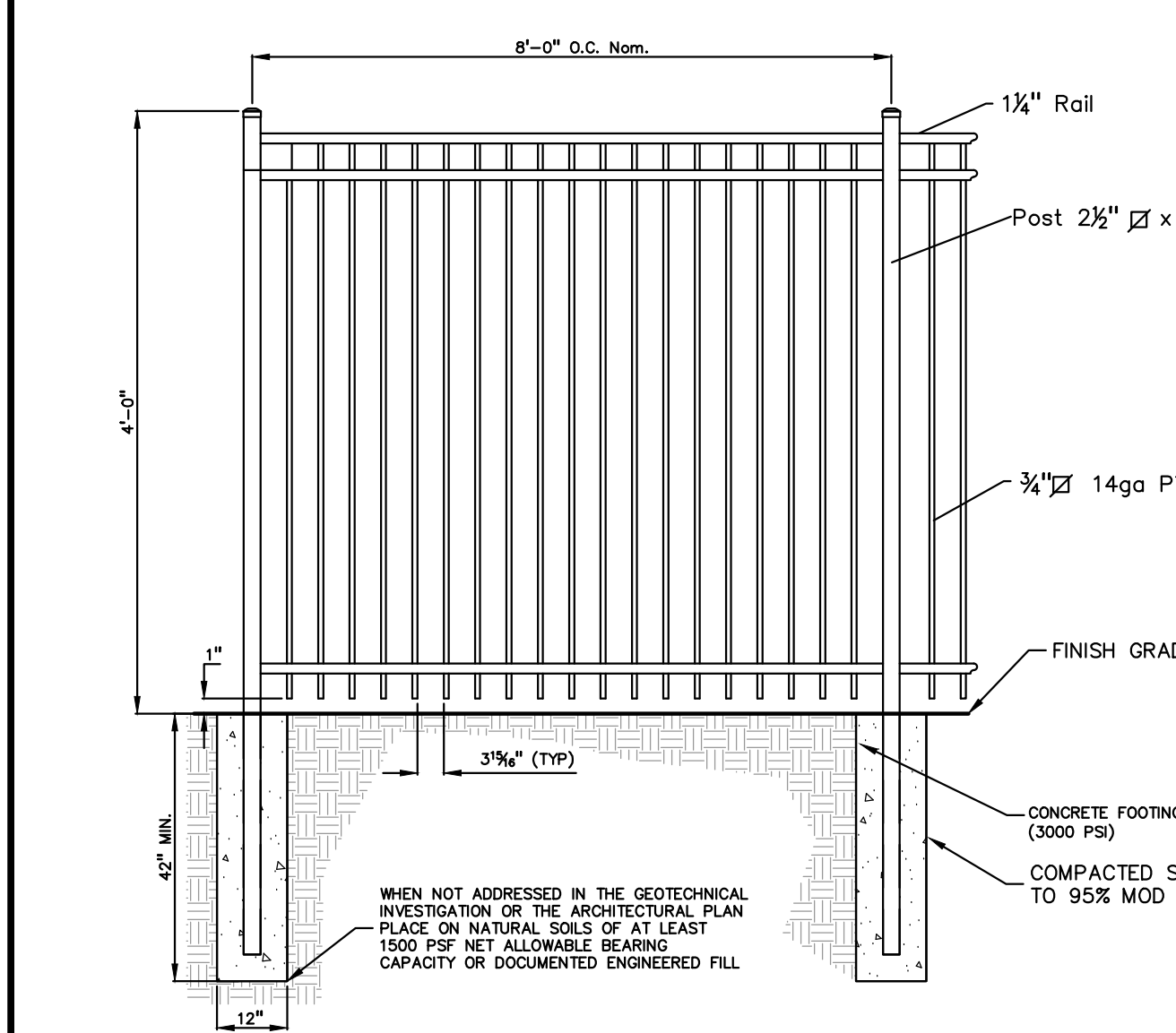
**18"x6" STANDARD CONCRETE CURB AND GUTTER**  
NOT TO SCALE



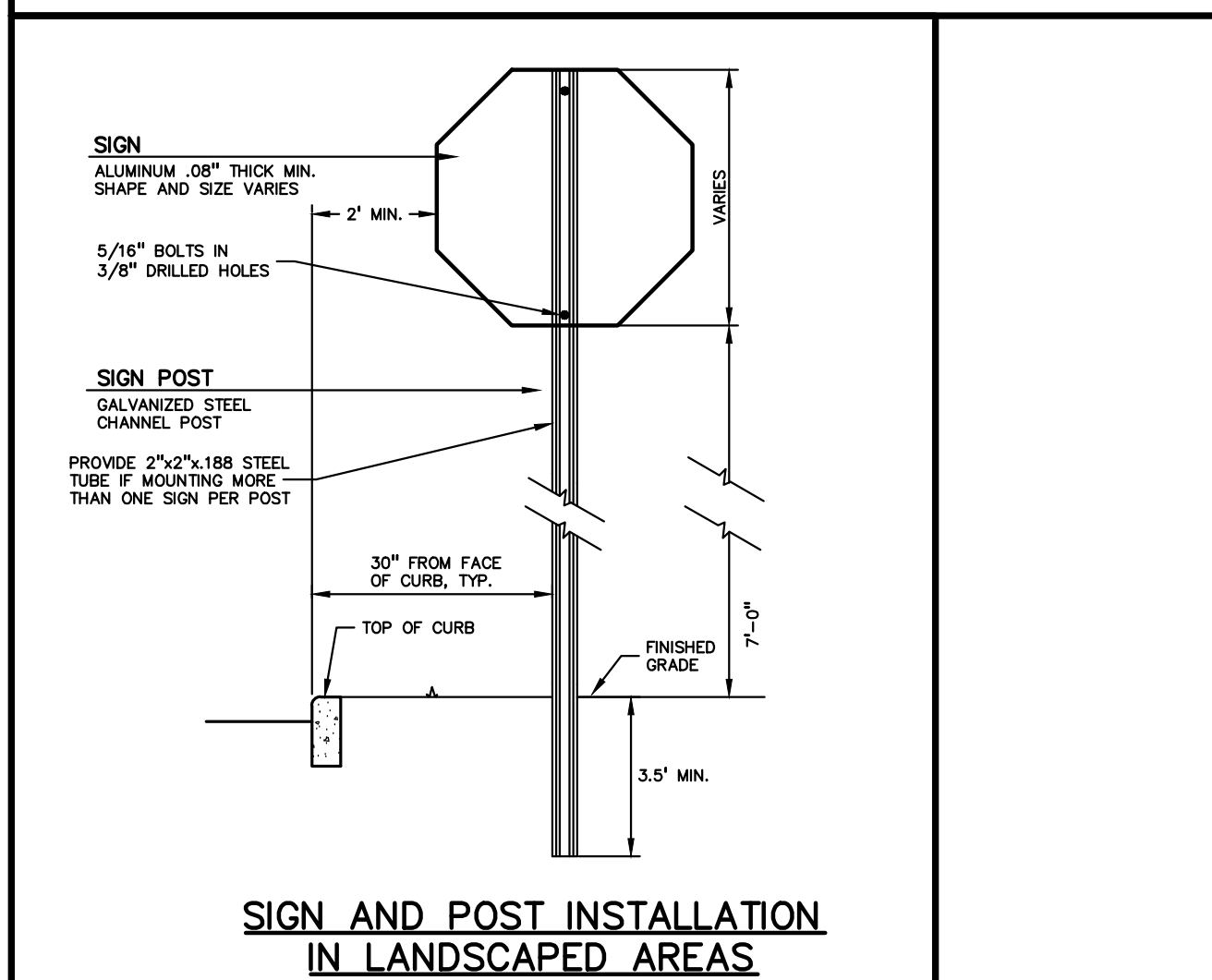
**SIGN AND POST INSTALLATION IN PAVED AREAS**  
NOT TO SCALE



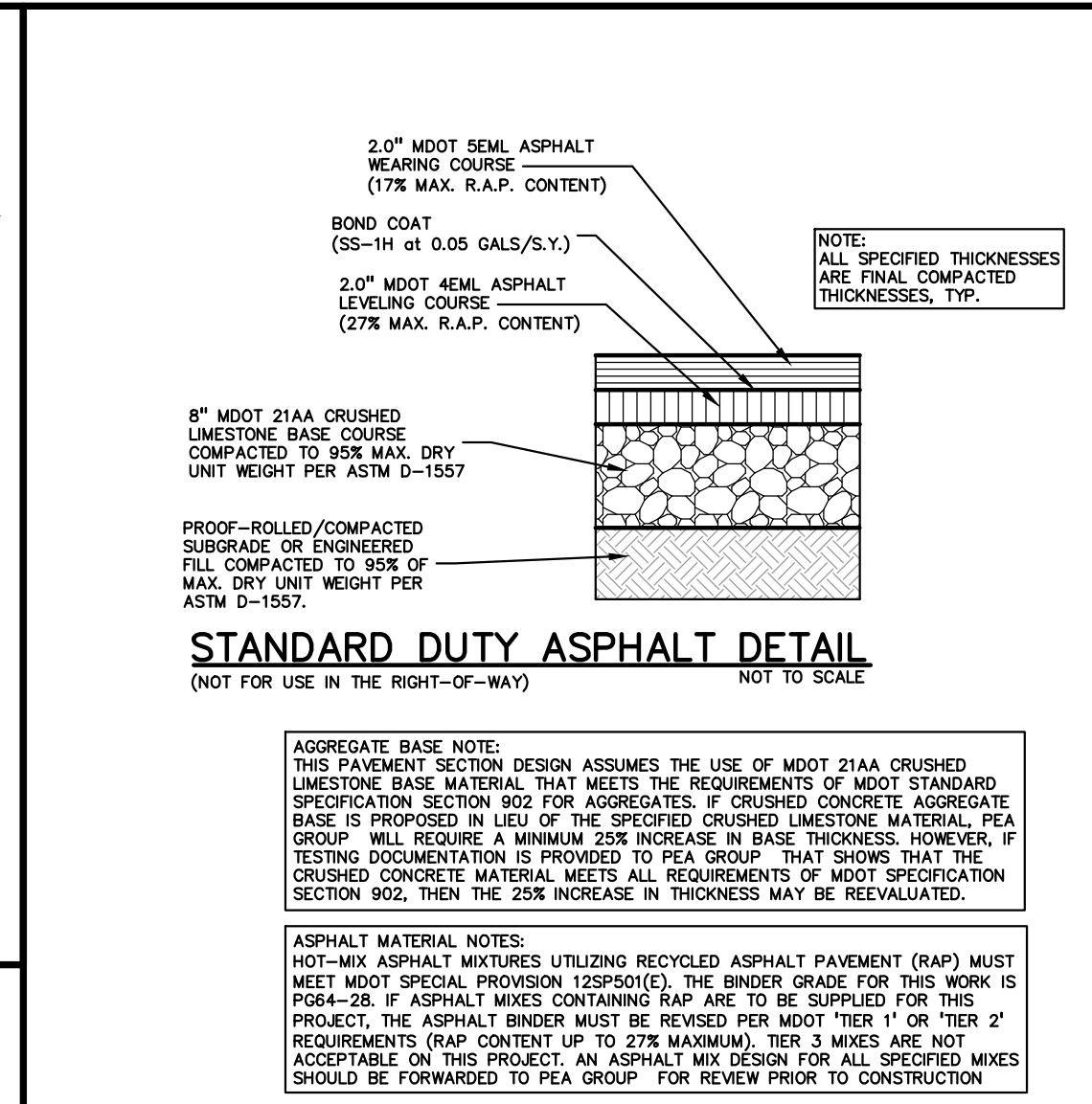
**CONCRETE CURB SPILLWAY DETAIL**  
NOT TO SCALE



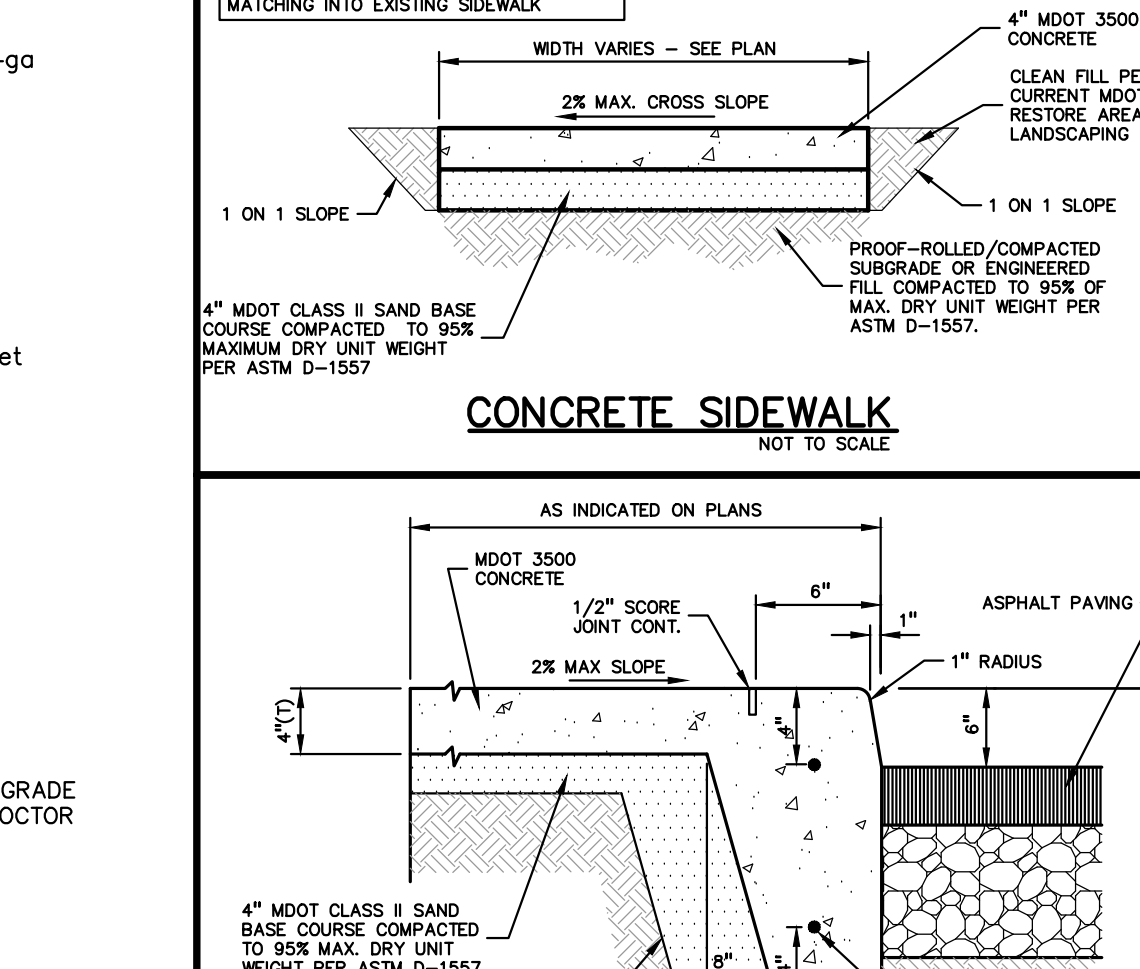
**ALUMINUM FENCE DETAIL**  
NOT TO SCALE



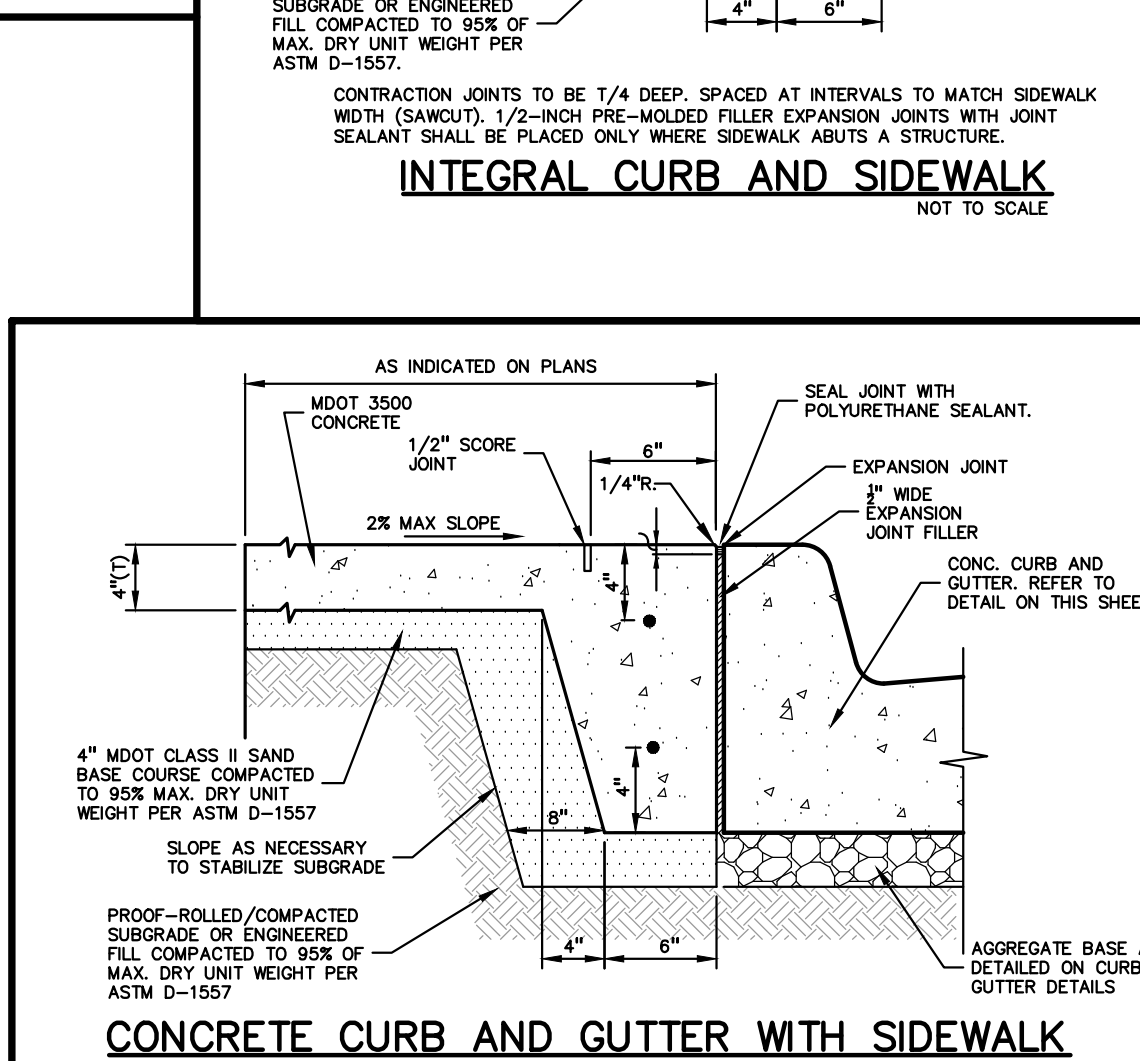
**SIGN AND POST INSTALLATION IN LANDSCAPED AREAS**  
NOT TO SCALE



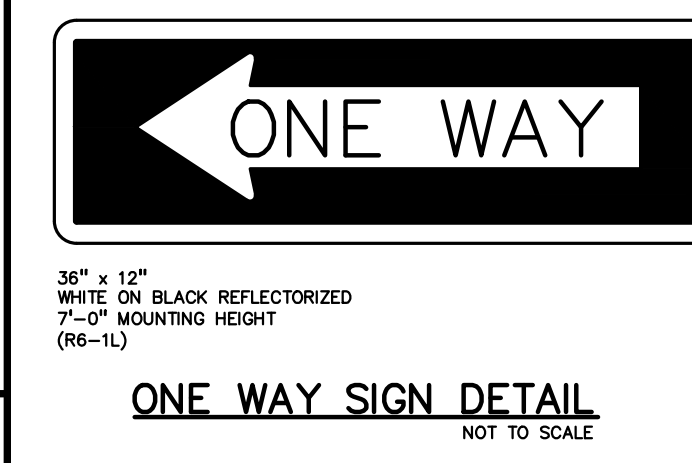
**STANDARD DUTY ASPHALT DETAIL**  
NOT FOR USE IN THE RIGHT-OF-WAY



**CONCRETE SIDEWALK**  
NOT TO SCALE



**CONCRETE CURB AND GUTTER WITH SIDEWALK**  
NOT TO SCALE



**ONE WAY SIGN DETAIL**  
NOT TO SCALE



**STOP SIGN DETAIL**  
NOT TO SCALE



**CROSSWALK SIGN DETAIL**  
NOT TO SCALE



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48004

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
3075 SHIMMONS ROAD  
AUBURN HILLS, MI 48004

REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

**NOTES AND DETAILS**

PEA JOB NO.	21-0208A
P.M.	JPB
D.N.	BV
DES.	LD
DRAWING NUMBER:	

S:\PROJECTS\2021\2021-0208A\_OCS PARKING EXPANSION\DWG\STATE\_PLAN(C)-01001025-21-0208A.dwg PLOT DATE: 7/16/2024 BY: Liane DeWang





**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
 3075 SHIMMONS ROAD  
 AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
 3075 SHIMMONS ROAD  
 AUBURN HILLS, MI 48326

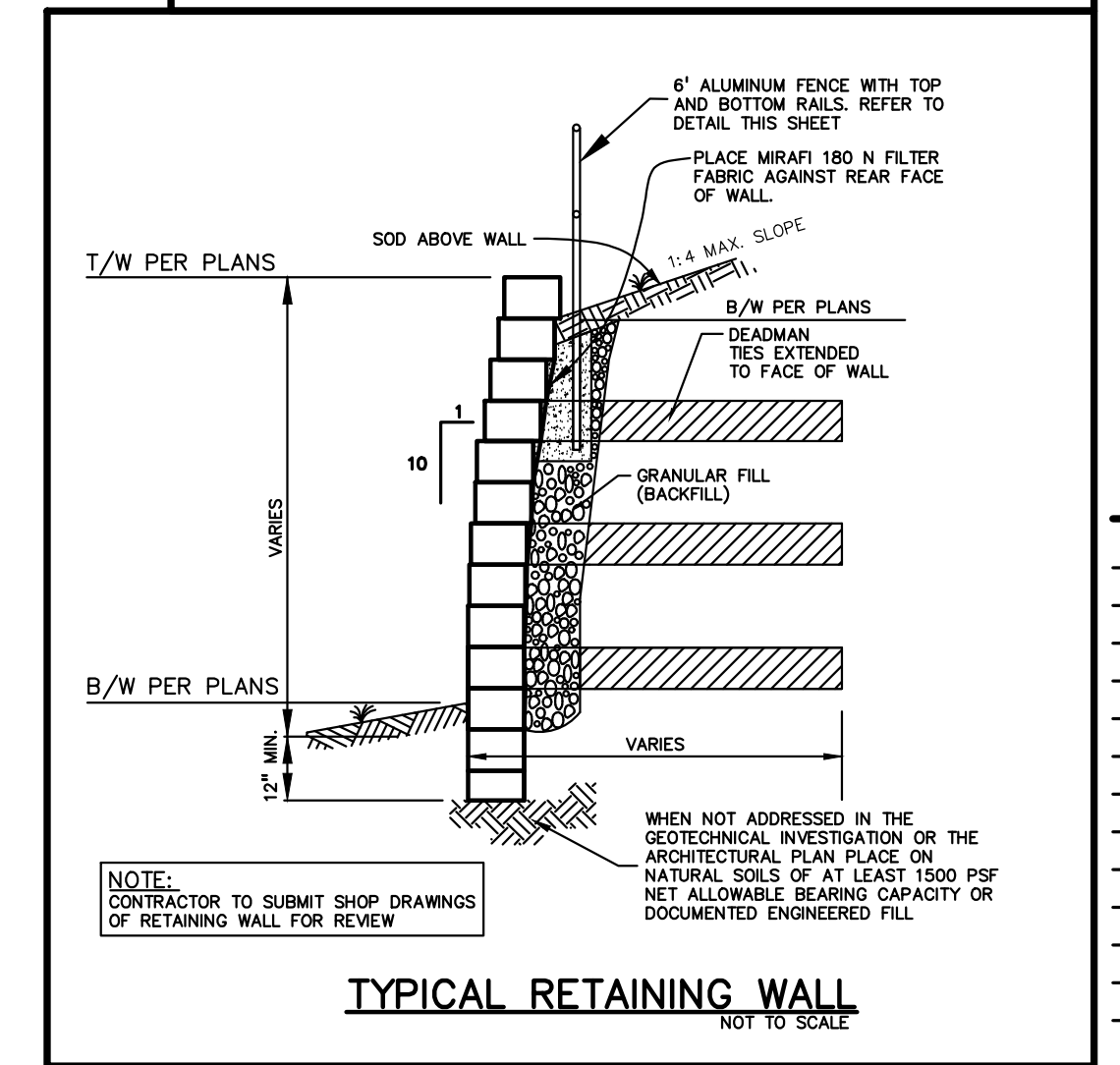
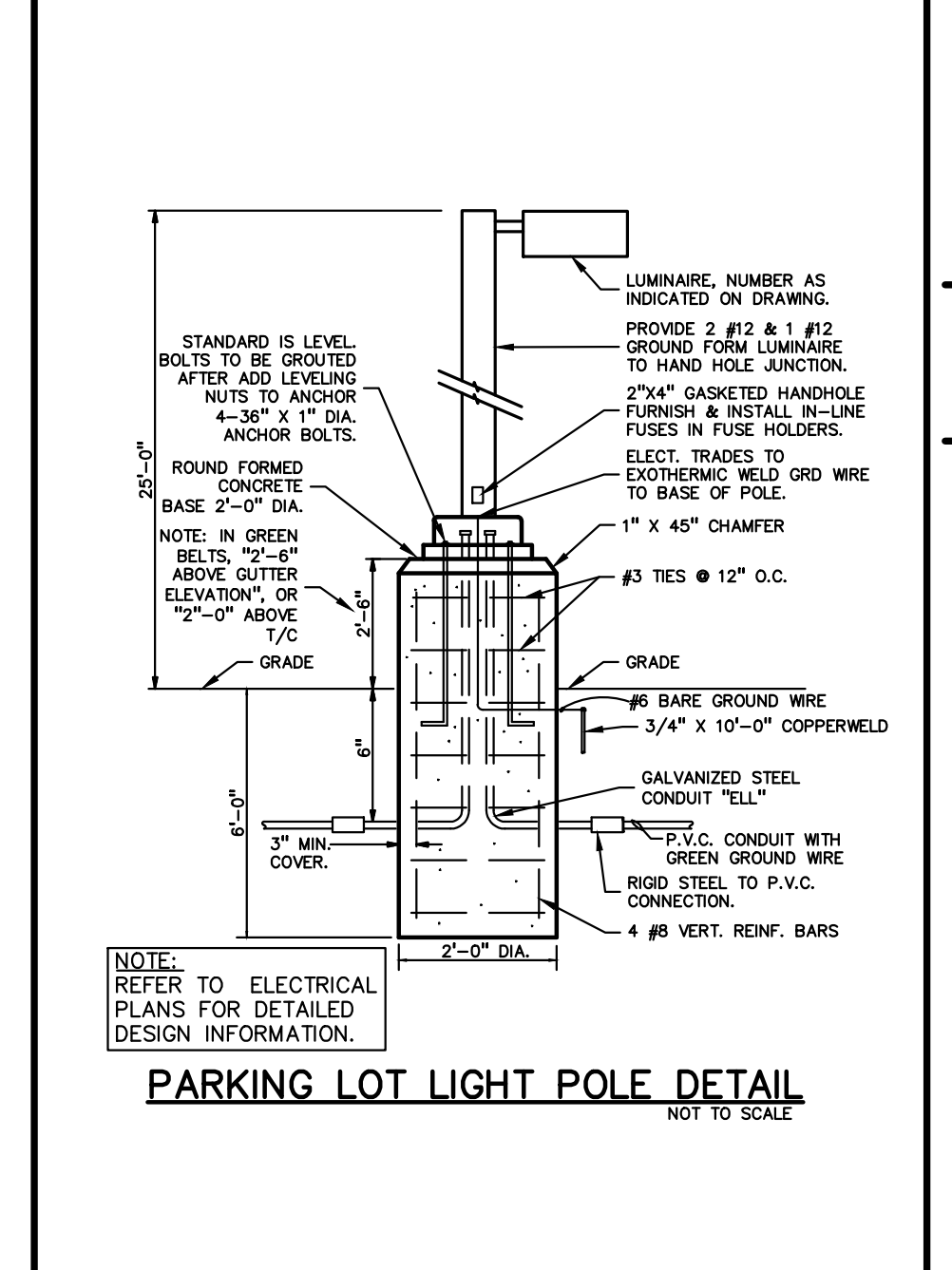
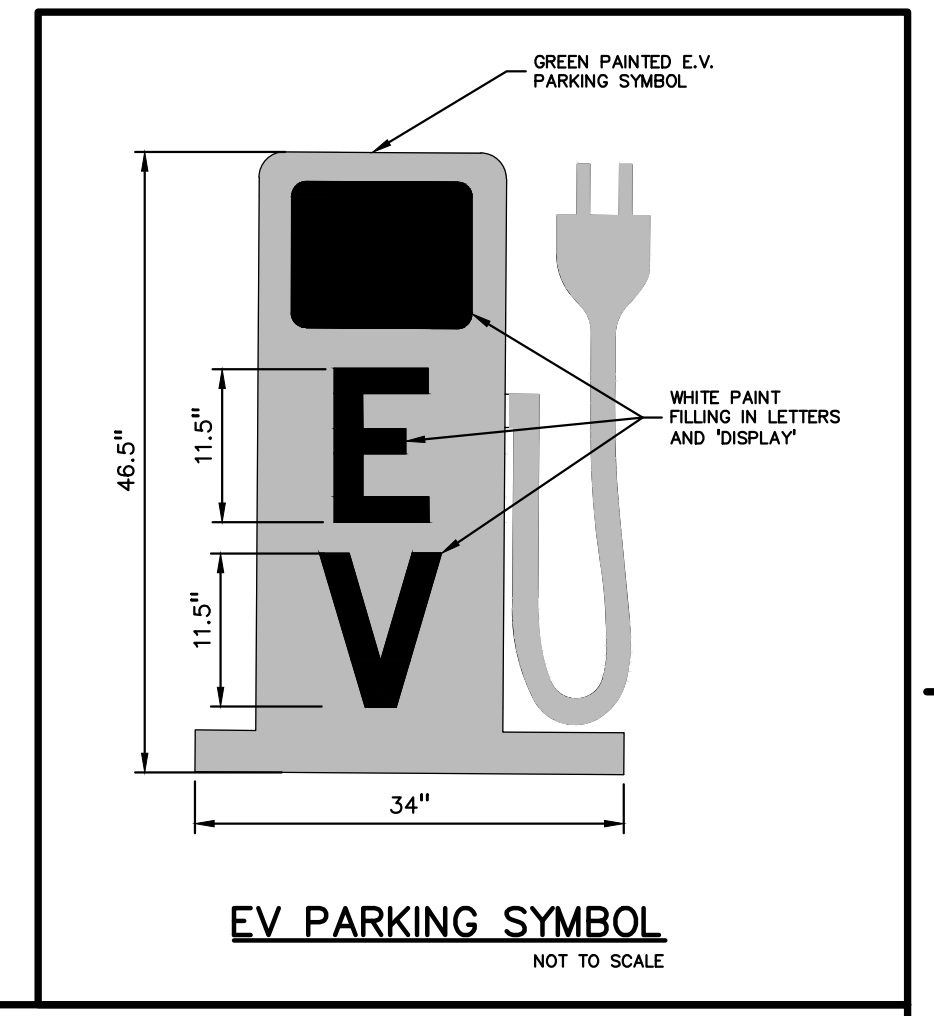
REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
 MAY 21, 2024

DRAWING TITLE  
**NOTES AND DETAILS**

PEA JOB NO.	21-0208A
P.M.	JPB
DN.	BV
DES.	LD

DRAWING NUMBER:



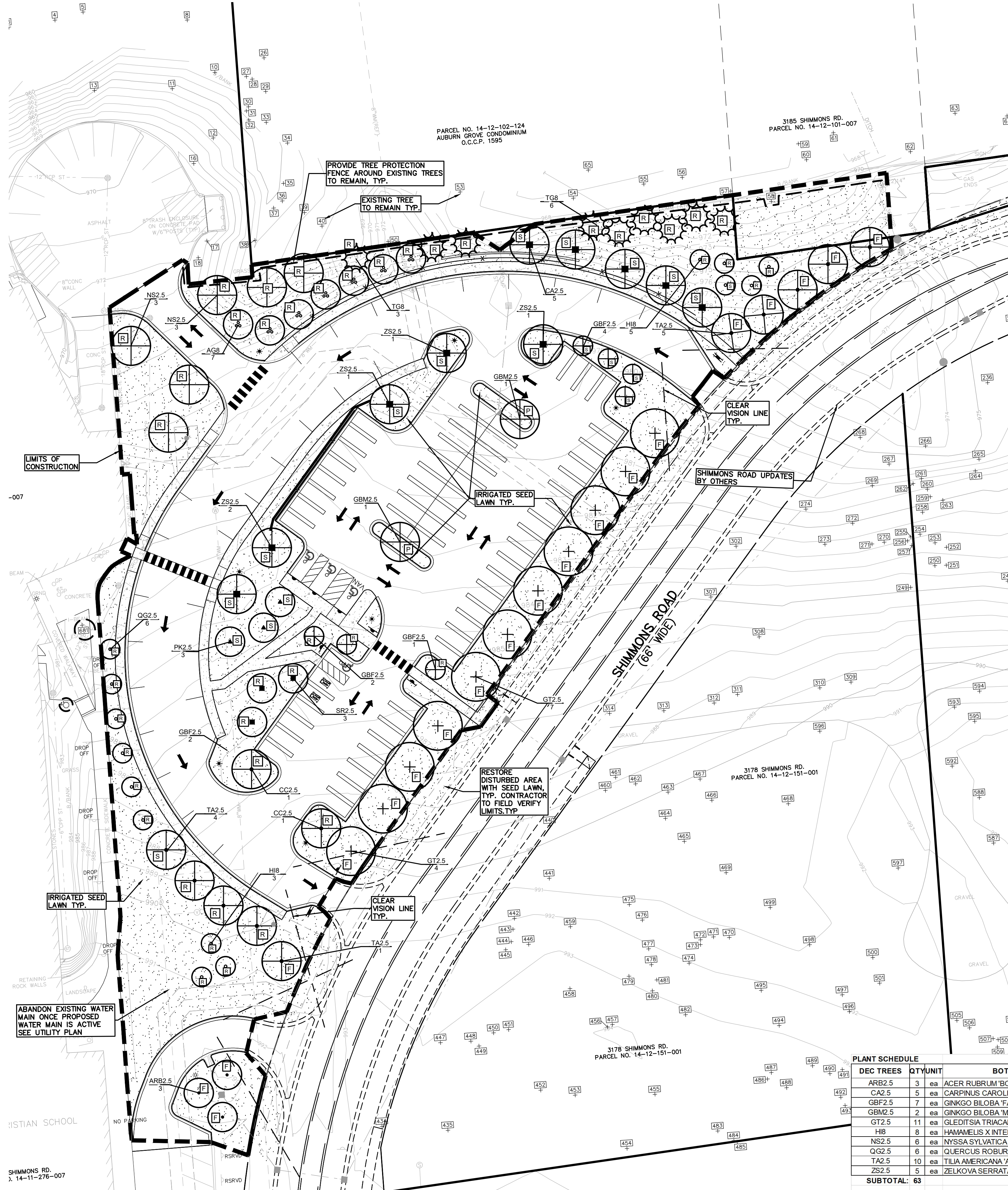
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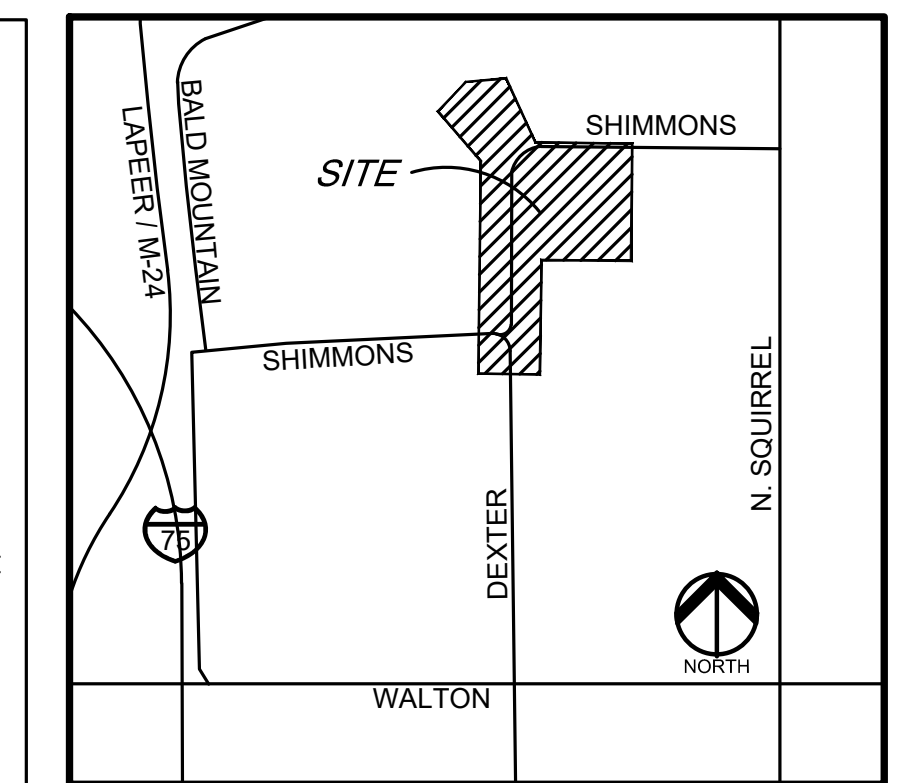
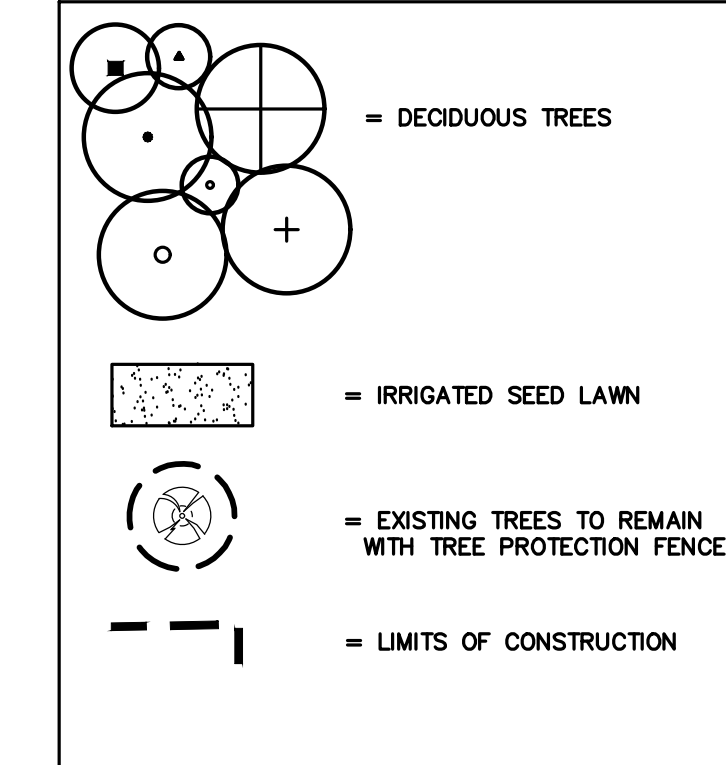


**GENERAL PLANTING NOTES:**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



**KEY:**



LOCATION MAP  
NO SCALE

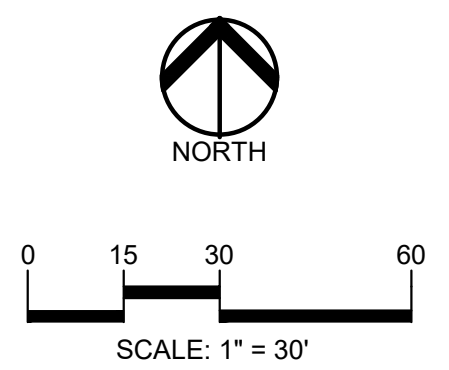
**LANDSCAPE CALCULATIONS PER CITY OF AUBURN HILLS:**

TOTAL SITE AREA	2.16 ACRES (94,480 SF) NET AND GROSS	
REQUIREMENT	REQUIRED	PROVIDED
NET LANDSCAPE AREA	94,480 FT. X 0.20 = 18,896 SQ. FT. REQ.	52,810.56 SQ. FT. LANDSCAPE AREA (33.4%)
SITE AREA LANDSCAPE (COUNT TOWARDS REPLACEMENT TREES)	18,564 / 1,000 = 19 TREES REQ.	<b>65 TOTAL TREES PROVIDED</b>
= S		(19 SITE TREES COUNTED TOWARDS REPLACEMENT TREES)
FRONTAGE LANDSCAPE	SHIMMONS ROAD: 577.81/30 = 20 TREES	20 TREES PROVIDED
= F		(20 FRONTAGE LANDSCAPE TREES COUNTED TOWARDS REPLACEMENT TREES)
PARKING INTERIOR LANDSCAPE	1 TREE/ISLAND 1 TREE PER 20 SPACES IN A ROW NOT IMMEDIATELY ADJACENT TO LANDSCAPE GREENBELT OR BUFFER 2 TREES REQUIRED	2 TREES PROVIDED 1 TREE/ISLAND EXCEPT WHERE UTILITIES CONFLICT
= P		
TOTAL LANDSCAPE TREES	41 TREES REQUIRED	<b>87 TOTAL NEW TREES PROVIDED</b>
TOTAL REPLACEMENT TREES	85 REPLACEMENT TREES REQUIRED	<b>87 REPLACEMENT TREES PROVIDED</b>
= R		

<b>STANDARD TREES (OUTSIDE EXISTING AND PROPOSED R.O.W.)</b>	
STANDARD TREES REMOVED:	85 (1:1 REPLACEMENT)
STANDARD TREES REMOVED TOTAL DBH:	782 INCHES
REPLACEMENT TREES REQUIRED:	85 (1:1 REPLACEMENT)
<b>STANDARD TREES (OUTSIDE EXISTING AND PROPOSED R.O.W.)</b>	
LANDMARK TREES REMOVED:	0
LANDMARK TREE DBH REMOVED:	0 (25% DBH REPLACEMENT)
REPLACEMENT DBH REQUIRED:	0 INCHES

**Diversity requirements for trees:**  
 1 to 10 trees..... N/A  
 11 to 50 trees..... 25% species, 50% genus  
 51 to 100 trees..... 20% species, 40% genus  
 101+ trees..... 10% species, 20% genus

DEC TREES	QTY/UNIT	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS	SPECIES (%)	GENUS (%)
ARB2.5	3 ea	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2.5" CAL	B&B	PER PLAN		4%	4%
CA2.5	5 ea	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	2.5" CAL	B&B	PER PLAN		7%	7%
GBF2.5	7 ea	GINKGO BILOBA 'FASTIGIATA'	FASTIGIATE MADDENHAIR TREE	2.5" CAL	B&B	PER PLAN	MALE	10%	13%
GBM2.5	2 ea	GINKGO BILOBA 'MAGYAR'	MAGYAR MADDENHAIR TREE	2.5" CAL	B&B	PER PLAN	MALE	3%	
GT2.5	11 ea	GLEDITSIA TRICANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2.5" CAL	B&B	PER PLAN	THORNLESS	15%	15%
H8	8 ea	HAMAMELIS X INTERMEDIA 'ARNOLD PROMISE'	ARNOLD PROMISE WITCH HAZEL	8" HT.	B&B	PER PLAN	NOT GRAFTED	11%	11%
NS2.5	6 ea	NYSSA SYLVATICA	TUPELO	2.5" CAL	B&B	PER PLAN		8%	8%
QG2.5	6 ea	QUERCUS ROBUR X ALBA 'JFS-KW2QX'	SKINNY GENESIU+00AE OAK	2.5" CAL	B&B	PER PLAN		8%	8%
TA2.5	10 ea	TILIA AMERICANA 'AMERICAN SENTRY'	AMERICAN SENTRY LINDEN	2.5" CAL	B&B	PER PLAN		14%	14%
ZS2.5	5 ea	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2.5" CAL	B&B	PER PLAN		7%	7%
<b>SUBTOTAL: 63</b>									
EVG TREES	QTY/UNIT	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS	SPECIES (%)	Duplicate
TG8	9 ea	THUJA STANDISHI X PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8" HT.	B&B	PER PLAN		13%	13%
<b>SUBTOTAL: 9</b>									
ORN TREES	QTY/UNIT	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS	SPECIES (%)	Duplicate
AG8	7 ea	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8" HT.	B&B	PER PLAN	MULTI-TRUNK	10%	10%
CC2.5	2 ea	CERCIS CANADENSIS	EASTERN REDBUD	2.5" CAL	B&B	PER PLAN		3%	3%
PK2.5	3 ea	PRUNUS SERRULATA 'KWANZAN'	KWANZAN JAPANESE FLOWERING CHERRY	2.5" CAL	B&B	PER PLAN		4%	4%
SR2.5	3 ea	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2.5" CAL	B&B	PER PLAN		4%	4%
<b>SUBTOTAL: 15</b>									



**CAUTION!!**  
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CLIENT  
**OAKLAND CHRISTIAN SCHOOL LAND AND BUILDING COMMITTEE**  
 3075 SHIMMONS ROAD  
 AUBURN HILLS, MI 48326

PROJECT TITLE  
**OAKLAND CHRISTIAN SCHOOL PARKING EXPANSION**  
 3075 SHIMMONS ROAD  
 AUBURN HILLS, MI 48326

**REVISIONS**

SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
 MAY 21, 2024

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

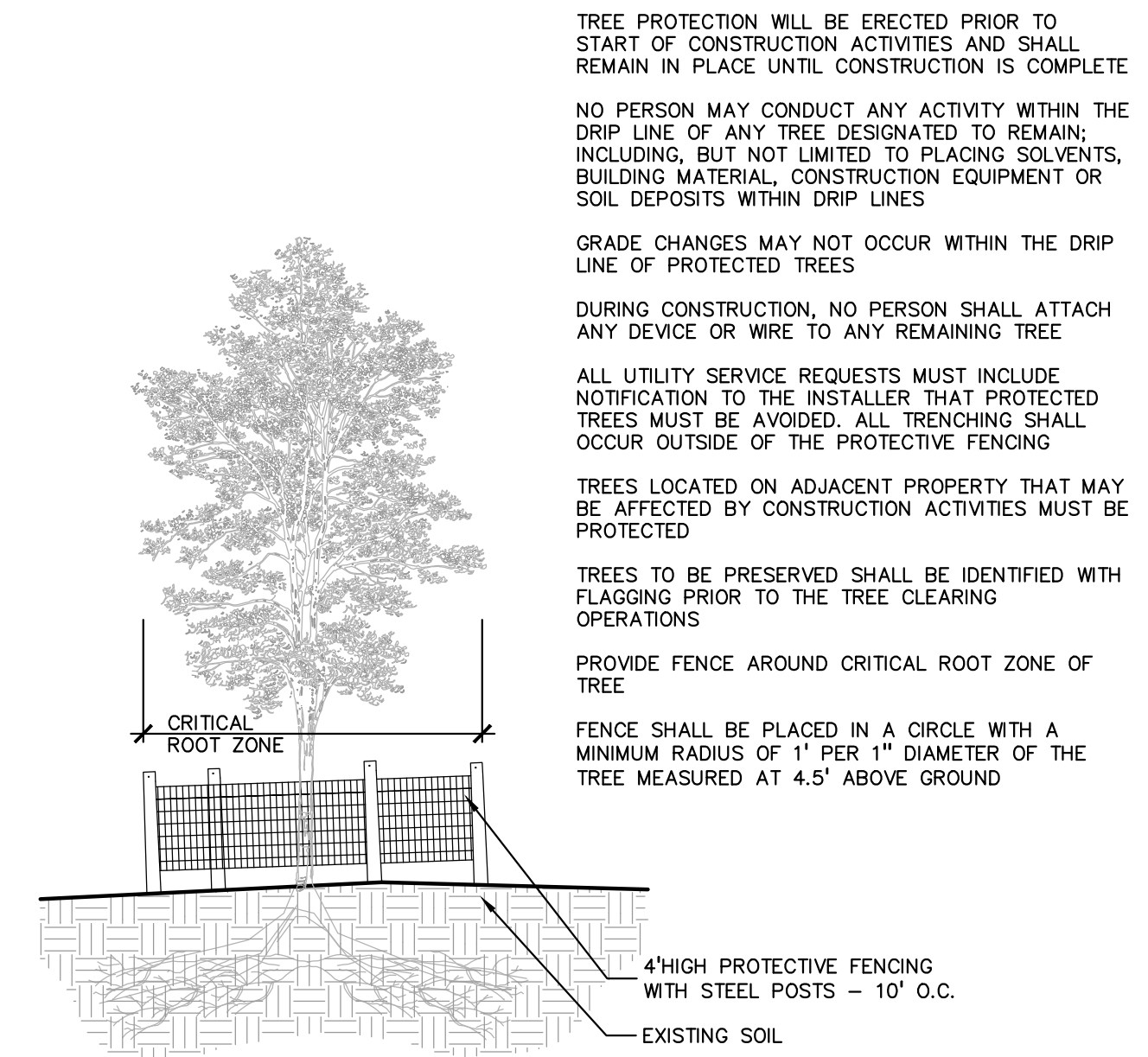
PEA JOB NO. 21-0208A

P.M.	JPB
D.N.	CAL
DES.	JLE

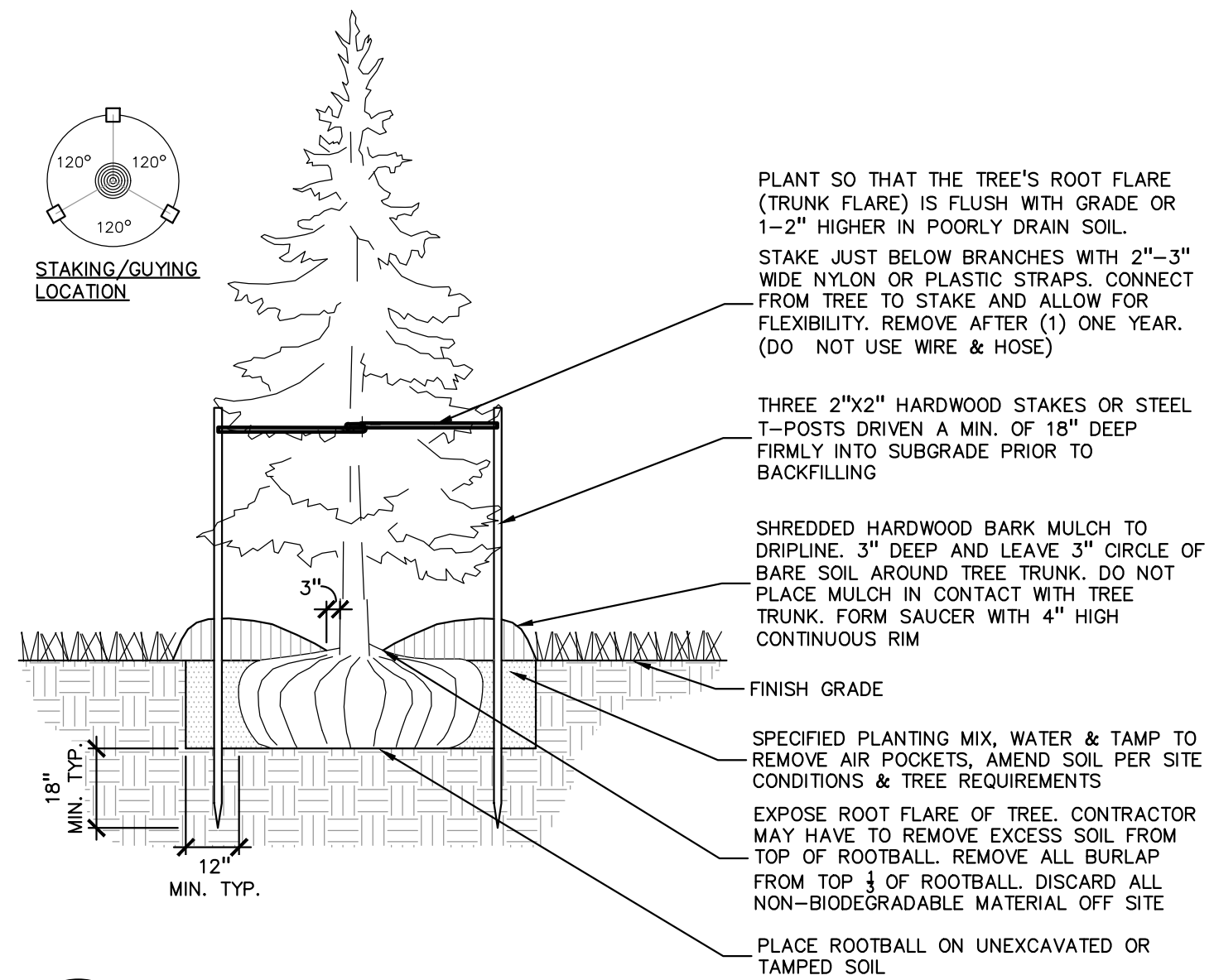
DRAWING NUMBER:

S:\PROJECTS\2021\0208A\0208A\_PARKING\_EXPANSION\DWG\3075\_LANDSCAPE\_PLAN\_V1-10-2024.dwg, PLOT DATE: 7/16/2024 BY: Christine L. Eggenroten

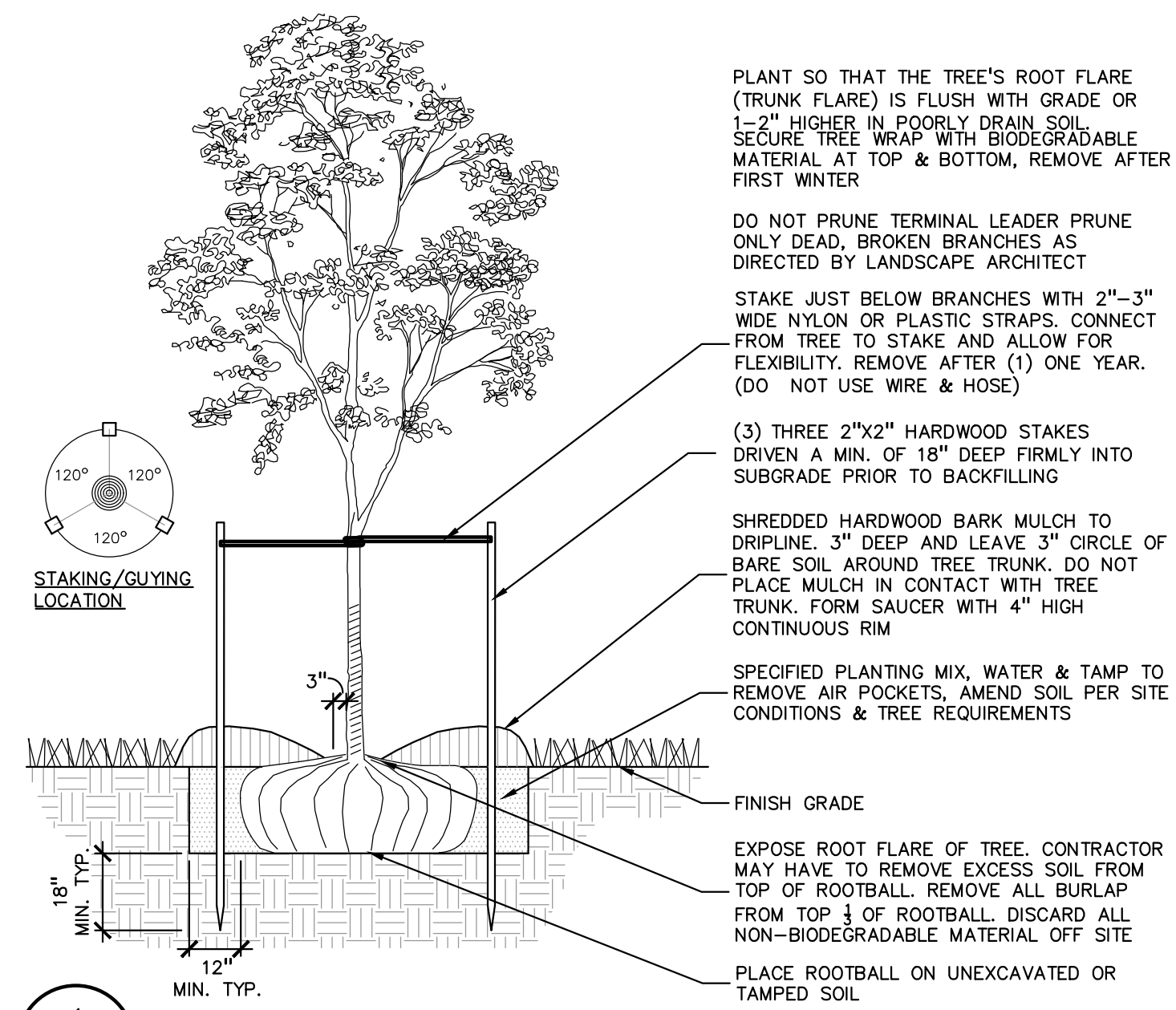




**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1" PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND

PLANT SO THAT THE TREE'S ROOT FLARE (TRUNK FLARE) IS FLUSH WITH GRADE OR 1-2" HIGHER IN POORLY DRAIN SOIL

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

THREE 2"x2" HARDWOOD STAKES OR STEEL T-POSTS DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

SHREDDED HARDWOOD BARK MULCH TO DRIFLINE. 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

FINISH GRADE

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS. AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS

EXPOSE ROOT FLARE OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP 3' OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE

PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL

PLANT SO THAT THE TREE'S ROOT FLARE (TRUNK FLARE) IS FLUSH WITH GRADE OR 1-2" HIGHER IN POORLY DRAIN SOIL. SECURE TREE WRAP WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM, REMOVE AFTER FIRST WINTER

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD, BROKEN BRANCHES AS DIRECTED BY LANDSCAPE ARCHITECT

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

(3) THREE 2"x2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

SHREDDED HARDWOOD BARK MULCH TO DRIFLINE. 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS

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REVISIONS	
SPA SUBMITTAL	6/26/2024
REVISED SPA	7/9/2024
REVISED SPA	7/16/2024

ORIGINAL ISSUE DATE:  
MAY 21, 2024

DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO.	21-0208A
P.M.	JPB
DN.	CAL
DES.	JLE
DRAWING NUMBER:	

**NOT FOR CONSTRUCTION**

**L-1.1**



# planningmichigan

# 2024 grandrapids

SEPTEMBER 25-27, 2024

CONFERENCE  
SPONSOR



## KEYNOTES

WEDNESDAY, SEPT. 25, 2024

### Winning Over Your Opponents



What do you do when public engagement turns sour and you find yourself facing angry opposition instead of productive discourse? In this session, Mr.

Lee offers practical tips for addressing differences and misinformation before people get angry, defusing situations when people do get angry, and turning even the most vocal opponents into allies by understanding the psychology behind their opposition—helping to get productive discourse back on track.

Justin Lee, *Author, Talking Across the Divide*



THURSDAY, SEPT. 26, 2024

### Thursday Opening Session



With the current state of housing feeling unattainable, unpredictable, and unfair to many community members, advocates and countless others wonder what more they can do.

This session will discuss strategies planners can use to actively promote inclusive and welcoming communities and help overcome the legacies of segregation and redlining. Cashauna Hill is the Executive Director of The Redress Movement, which works to repair the harm caused by those legacies by researching, educating, mobilizing communities, and more. This organization initially emerged in response to Richard Rothstein's book, *The Color of Law*, which documents the origins of housing segregation.

Cashauna Hill, *Executive Director, the Redress Movement*

THURSDAY, SEPT. 26, 2024

### Keynote Luncheon



Paula Glover is the President of the Alliance to Save Energy. A dynamic leader with more than 25 years of experience in the energy in-

dustry, she is responsible for working with the Alliance's diverse coalition of stakeholders to find lasting, consensus-based solutions. During her tenure, the Alliance has secured billions of dollars in federal funding for energy efficiency programs, amplified its work on energy justice, and worked to advance the next generation of technologies with the Active Efficiency Collaborative

Paula R. Glover, *President, Alliance to Save Energy*



# REGISTRATION

## Register now for our 2024 planningmichigan Conference!

**OVERNIGHT ROOM BLOCK** Amway Grand Hotel in Grand Rapids | 616.774.2000

- **\$169/night** subject to a 9% occupancy tax and 6% state tax. (Tax rates are subject to change)
- Parking is \$15/night.

### CITIZEN PLANNER PROGRAM

Michigan State University Extension  
Citizen Planner Program | \$190 (in addition to the conference fee)

Conference attendees can complete the Michigan State University (MSU) Extension Citizen Planner Program in only three days. Only registrants who register for the program (and pay the additional fee) may attend the Citizen Planner Program sessions.

#### SCHEDULE

##### WEDNESDAY, SEPT. 25

10:00 a.m. -  
12:15 p.m.

##### Session 1

Understanding the Planning and Zoning Context (Lunch provided)

12:45 p.m. - 3:15 p.m.

##### Session 2

Planning for the Future of Your Community

##### THURSDAY, SEPT. 26

10:00 a.m. -  
12:30 p.m.

##### Session 3

Implementing the Plan with Zoning (Keynote Lunch)

2:30 p.m. - 5:00 p.m.

##### Session 4

Making Zoning Decisions

##### FRIDAY, SEPT. 27

8:30 a.m. - 11:00 a.m.

##### Session 5

Using Innovative Planning and Zoning (Lunch provided)

11:15 a.m. - 1:45 p.m.

##### Session 6

Successfully Fulfilling Your Role

### REGISTRATION INFORMATION

#### FULL CONFERENCE REGISTRATION Wednesday through Friday

Early Bird Rates: Member \$440 | Non-Member \$505 | Student \$80

Includes conference materials, educational sessions, refreshment breaks, Wednesday general sessions and reception, Thursday keynote luncheon and general sessions (mobile workshops and the MSU Extension Citizen Planner program are an additional charge).

#### Wednesday Only Registration

Early Bird Rates: Member \$230 | Non-Member \$295 | Student \$70

Includes conference materials, educational sessions, Wednesday refreshment breaks, Wednesday general sessions and reception (mobile workshops are an additional charge).

#### Thursday Only Registration

Early Bird Rates: Member \$280 | Non-Member \$345 | Student \$70

Includes conference materials, educational sessions, Wednesday reception, Thursday refreshment breaks, Thursday keynote luncheon and Thursday general sessions (mobile workshops are an additional charge).

#### Registration Policy

There's a \$65 processing fee to cancel a conference registration on or before August 28, 2024. A written request must be made and sent to the MAP office. NO refunds will be granted on or after August 29, 2024. No-shows the day of the event will be responsible for the full amount of the registration because food/beverage and conference material costs have already been incurred. You may send a substitute (the difference between a member and nonmember will be charged if applicable).

Visit [www.planningmi.org](http://www.planningmi.org) for registration, workshop details, and session information.

### MOBILE WORKSHOPS

**\$25** (in addition to the conference fee)

Mobile workshops offer CM credit and include some form of physical activity – please dress accordingly.

#### WEDNESDAY, SEPT. 25

1:00 p.m. - 3:15 p.m.

- › Downtown and River Transformation – Walking Tour
- › Vital Streets and Micromobility – Bike Tour
- › Walking Through Black History in Grand Rapids sponsored by: Michigan Black Professional Planners Section

#### THURSDAY, SEPT. 26

10:00 a.m. - 12:30 p.m.

- › Alpine Township - Growing and Moving – Walk and Talk – Bus Tour
- › Make No Little Plans: Grandville's Bold Vision for its Future – Walking Tour

2:15 p.m. - 5:00 p.m.

- › Ada: A Bold Vision Comes Alive - Bus Tour
- › Scalability Matters: Translating the Place to the Page – Walking Tour
- › Transforming the Godfrey Corridor – Bus Tour

#### MAP BOARD

Mohamed Ayoub, *President and Chapter President's Council CPC*  
Shari Williams, *Vice President*  
Christina Anderson, *AICP, Secretary/Treasurer*  
Jill Bahm, *AICP, Professional Development Officer*  
Brad Kaye, *AICP, CFM, Past President*  
Trudy Galla, *FAICP*  
Christopher Germain, *AICP*  
Mandy Grewal, *PhD*  
Scott Kree

#### EX-OFFICIO MEMBERS

Kami Pothukuchi, *PhD*  
Kevin Martin, *Elected Official*

#### STUDENT BOARD REPRESENTATIVES

Justin Curry, *Wayne State University*  
Shannon Gaffney, *Wayne State University*

#### MAP STAFF

Andrea Brown, *AICP, Executive Director*  
Leah DuMouchel, *AICP*  
Rachel Goldstein  
Andy Larsen  
Amy Miller Jordan  
Wendy Rampson, *AICP*  
Amy M. Vansen, *AICP*

# SESSIONS

Visit [www.planningmi.org](http://www.planningmi.org) for registration, workshop details, and session information.

## WEDNESDAY, SEPT. 25, 2024

### 10:00 a.m. - 11:00 a.m.

- › Amplify Grand Rapids: Empowering the Community | 1 CM
- › Bridging the Affordable Housing Gap in Michigan | 1 CM RESILIENCY →

### 1:00 p.m. - 2:00 p.m.

- › Let's Play Ethics Jeopardy | 1 CM ETHICS ⚖️
- › Scalability Matters: Translating the Page to the Place | 1 CM
- › MAP Board Emerging Policy: A Conversation with Members | 1 CM

### 1:00 p.m. - 3:00 p.m.

- › Walk, Roll and Stroll for Inclusive Design | 1 CM

### 2:15 p.m. - 3:15 p.m.

- › Building Equity: Fostering Resilient & Thriving Neighborhoods in Detroit Sponsored by Michigan Black Professional Planners Section | 1 CM EQUITY ●

### 3:30 p.m. - 4:45 p.m.



- › Winning Over Your Opponents | 1 CM

### 5:00 p.m. - 5:45 p.m.

- › Awards Reception - All Attendees Invited

### 6:00 p.m. - 7:00 p.m.

- › Awards Presentation - All Attendees Invited

## THURSDAY, SEPT. 26

### 7:45 a.m. - 8:30 a.m.

- › Planners in Private Practice Grab and Go Breakfast

### 8:30 a.m. - 9:45 a.m.

- › Welcome/Opening Keynote | 1 CM

### 10:00 a.m. - 11:15 a.m.

- › A Corridor Strategy for Housing and Revitalization | 1.25 CM
- › Law Update, Part One | .25 CM + 1 CM LAW ⚖️
- › Immigration, Population Growth and Economic Prosperity | .25 CM + 1 CM ETHICS ⚖️
- › Taming the Beast: A New Approach to Updating Your Zoning Ordinance | 1.25 CM

### 11:30 a.m. - 12:45 p.m.

- › Build MI Communities Grant Initiative | 1.25 CM
- › Siting Renewable Energy: What Public Act 233 Means | .25 CM + 1 CM LAW ⚖️
- › Using the Bipartisan Infrastructure Law to Create Impactful Projects | .25 CM + 1 CM RESILIENCY →
- › Zoning Reform for Housing: Community Stories | .25 CM + 1 CM RESILIENCY →

### 12:45 p.m. - 2:15 p.m.

- › Keynote Luncheon | 1 CM

### 2:15 p.m. - 3:30 p.m.

- › Foresight for Planners | .25 CM + 1 CM RESILIENCY →
- › They said WHAT?! - Navigating Bizarre Applications and Challenging Meetings | 1.25 CM
- › The State of Housing in Michigan in 2024: An Overview of Michigan's Statewide Housing Needs Assessment | .25 CM + 1 CM RESILIENCY →
- › Update from the Michigan Office of Rural Prosperity | 1.25 CM

### 3:45 p.m. - 5:00 p.m.

- › Is Your Community Child Care Ready? | 1.25 CM
- › MAP Develops Transportation Land Use Policy Framework | 1.25 CM
- › Un-Best Practices: Lessons Learned from Real World Planning Mistakes | 1.25 CM
- › Law Update, Part Two | .25 CM + 1 CM LAW ⚖️

## FRIDAY, SEPTEMBER 27, 2024

### 8:30 a.m. - 9:45 a.m.

- › Beneath the Surface: Integrating Groundwater Resource Awareness into Master Planning | 1.25 CM
- › Practical Preservation: Creating Defensible Tree Protection Standards | .25 CM + 1 CM LAW ⚖️
- › Bridge to Our Future: Connecting to Communities | 1.25 CM
- › West Side Stories: Finding Housing in Unexpected Places | .25 CM + 1 CM RESILIENCY →

### 10:00 a.m. - 11:15 a.m.

- › Making Small Michigan Cities Thrive | 1.25 CM
- › New Housing Developments using Brownfield Tax Increment Financing (TIF) | 1.25 CM
- › One Billion Pounds: Planning to Cut Food Waste in Half by 2030 | .25 CM + 1 CM RESILIENCY →

- › The Religious Land Use and Institutionalized Persons Act: Key Land Use Provisions and Case Examples | .25 CM + 1 CM LAW ⚖️

### 11:30 a.m. - 12:45 p.m.

- › Planners in Private Practice Meeting



American Planning Association  
**Michigan Chapter**

*Creating Great Communities for All*

Non-Profit  
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Permit #388  
Detroit, MI

# Register now for our 2024 **planningmichigan** Conference! **grandrapids** September 25-27, 2024

## Registration Information

- Early Bird Registration ends August 28, 2024
- Full Conference Registration - Wednesday through Friday

## Early Bird Rates:

- Member \$440 | Non-Member \$505 | Student \$80
- Wednesday and Thursday only registrations available.

## Questions?

- 734.913.2000 | [info@planningmi.org](mailto:info@planningmi.org)

**DETAILS  
INSIDE**





July 8, 2024

Auburn Hills  
Steven J. Cohen, AICP  
Director of Community Development  
1827 N. Squirrel Road  
Auburn Hills, MI 48326

**Subject: City of Pontiac, Oakland County, State of Michigan  
Notice of Intent to Conduct Master Planning**

Dear Auburn Hills,

In accordance with the requirements of Michigan's PA 33 of 2008 and related amendments, this is to notify you that the City of Pontiac, Oakland County, Michigan is initiating the process to complete a Master Plan Update for the City. McKenna, a planning, design and building consultant, will be assisting with the planning process.

The City requests your cooperation and assistance in this process. Specifically, we would like to know if you have any thoughts, concerns, or issues you feel should be addressed in this effort that would allow us to work more cooperatively when planning for our area.

Later in the process, the City will be issuing a draft copy of the Plan for public review and comment, as required by the Act. At that time, we would appreciate all comments regarding the Plan's content and how you feel it may affect planning efforts in your community.

PLEASE BE NOTIFIED that you are invited to send a letter and/or email stating your opinions, position, or questions to Pontiac (Subject: Master Plan), 47450 Woodward Ave, Pontiac, MI 48342 or email [planning@pontiac.mi.us](mailto:planning@pontiac.mi.us).

The City of Pontiac thanks you for your cooperation and assistance.

Sincerely,

A handwritten signature in cursive script that reads "Tim Greimel".

Tim Greimel  
City of Pontiac  
Mayor